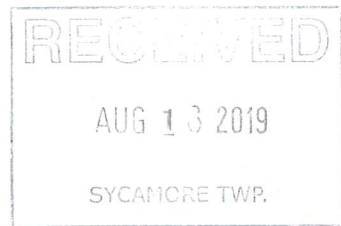


SYCAMORE TOWNSHIP, OH
 DEPARTMENT OF PLANNING & ZONING
 8540 KENWOOD ROAD, CINCINNATI, OH 45236

513.792.7250 PHONE 513.792.8564 FAX



BZA APPLICATION	
FEEs:	
APPEAL:	\$150.00
VARIANCE:	\$150.00
CONDITIONAL USE:	\$500.00
NON-CONFORMING USE:	\$500.00

COMMERCIAL	RESIDENTIAL
	X

APPLICATION NUMBER
SYCB190017
DO NOT WRITE IN THIS SPACE

1. PROJECT ADDRESS: 3850 E. Galbraith Road, Cincinnati, Ohio ZIP CODE: 45236

2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER
OWNER Rivers Crossing Community Church	5937 Kings Island Drive	Mason	OH	45040	513-204-3500
CONTRACTOR TBD					
DESIGNER Champlin Architecture	720 E. Pete Rose Way, Ste. 140	Cincinnati	OH	45202	513-241-4474
APPLICANT Bryan Duncan	720 E. Pete Rose Way, Ste. 140	Cincinnati	OH	45202	513-241-4474
APPLICANT'S E-MAIL ADDRESS	bryan.duncan@thinkchamplin.com				

3. BZA ACTION REQUESTED: APPEAL VARIANCE
 CONDITIONAL USE NON-CONFORMING USE

4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:
 Existing church building and existing shed structure to remain. Proposed new parking to increase from 30 parking spaces to 86 parking spaces. Provide new refuse structure and new landscape buffers to comply with zoning requirements.

5. SQUARE FEET: _____ 6. USE: _____ 7. HEIGHT: _____

8. EST. START DATE: TBD 9. EST. FINISH DATE: TBD

THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Board of Zoning Appeals application.

NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.

[Signature] 8/15/19
 APPLICANT'S SIGNATURE DATE

[Signature] 8/13/19
 PROPERTY OWNER'S SIGNATURE DATE

DO NOT WRITE BELOW THIS LINE



Date: August 15, 2019

To: Sycamore Township Board of Zoning Appeals
8540 Kenwood Road
Cincinnati, Ohio 45236

From: Bryan Duncan, Champlin Architecture

Re: **Rivers Crossing Community Church - Deer Park** Conditional Use Parking Lot Expansion

Members of the Board of Zoning Appeals,

On behalf of our client Rivers Crossing Community Church, I am requesting approval of an expansion of the existing parking lot at 3850 E. Galbraith Road by the Sycamore Township Board of Zoning Appeals. The church engaged Champlin Architecture to design the parking lot expansion to accommodate parking requirements more in line with the church's existing building size. The church is an existing Conditional Use in Residential District "C". The lot size is 105,149 square feet or 2.41 acres. This includes two adjacent properties owned by the church. The existing church has seating for over 400 worshippers. The existing parking lot has 30 spaces, which per the current zoning code can only accommodate 120 worshippers at its existing size. In an effort to reduce the burden of parking that may occur on the adjacent streets or adjacent parking lots, the church is proposing a parking lot expansion to allow for more worshippers to park onsite.

The proposed parking expansion would increase the parking spaces from 30 existing spaces to 86 proposed spaces. The allowable impervious surface ratio for this use is .45 per Table 3-2 of the Sycamore Township Zoning Resolution (STZR). The proposed parking expansion would be below the allowable ISR at .446. The yard setbacks and buffer yard landscape requirements are met in the proposed design. However, in an effort to meet the ISR, setbacks, and landscape requirements, the proposed parking spaces falls below the required parking spaces listed in Table 12-9 of the Sycamore Township Zoning Resolution.

We request approval of the parking expansion for this Condition Use property. We contend that the property is being improved for the community due to increased buffer landscaping, reducing on-street parking burden, and enclosing the dumpster in a masonry enclosure.

In addition, the design addresses requirements of section 17-7 of the Sycamore Township Zoning Resolution, "Specific Criteria Pertaining to Conditional Uses". The following is formatted by the criteria labeled in Table 17-12 for Institutional Use (Church).

- A. *Note (6) Parking shall not be permitted in the area defined as the front yard setback of the existing zone district.*
 - a. New parking is not within the designed front yard setback of the existing zone district.
- B. *Note (8) The vehicular use area shall be located and designed so as to minimize impact on the neighborhood.*
 - a. The vehicular use area has been located and designed with required buffer landscaping per the Sycamore Township Zoning Resolution so as to minimize impact on the neighborhood.

THINK CREATE REALIZE

720 East Pete Rose Way, Cincinnati, OH 45202 T 513.241.4474 F 513.241.0081 thinkchamplin.com

- C. *Note (12) Measures shall be taken to minimize the impact of potential nuisances such as noise, odor, vibration, and dust on adjacent properties.*
 - a. The proposed work is an expansion of the current use. The proposed work does not include a new use of the site.
- D. *Note (14) The architectural design and site layout of the structure and the location, nature, and height of any walls, screens, and fences are to be compatible with adjoining land uses and the residential character of the neighborhood.*
 - a. The only new structure proposed is a dumpster enclosure, which will be built per the Sycamore Township Zoning Resolution and in keeping with the residential character of the neighborhood.
- E. *Note (15b) Landscaping shall be installed in accordance with one of the following buffers as described in detail in Chapter 14: Boundary Buffer B (shown in Figure 14 B).*
 - a. Reference AS003 – LANDSCAPE PLAN for compliance with the zoning resolution buffer requirements.
- F. *Note (15c) Landscaping shall be installed in accordance with one of the following buffers as described in detail in Chapter 14: Streetscape Buffer (shown in Figure 14 C).*
 - a. Reference AS003 – LANDSCAPE PLAN for compliance with the zoning resolution buffer requirements.
- G. *Note (16d) Signage shall be regulated as follows: Subject to sign standards in Chapter 13.*
 - a. No new signage is planned for this submission.
- H. *Note (18) Outdoor playground, tot lots, exercise areas, and pools shall be fully enclosed by a fence.*
 - a. No new items listed in this note are planned for this submission.
- I. *Note (19) All exterior lighting shall be directed away from adjacent residential properties.*
 - a. New exterior lighting is being designed with shields for 0.0 foot candles at the property lines.
- J. *Note (33) All mechanical equipment is to be screened from view from any residential property line.*
 - a. No new mechanical equipment is planned for this submission.
- K. *Note (34) All trash handling areas / dumpsters are to be located no closer than 25 feet from any residential property line and must be screened from view.*
 - a. A new dumpster enclosure with masonry wall construction is located 33'-9" from the nearest property line and is screened by landscaping. Reference AS001 – SITE PLAN and AS003 – LANDSCAPE PLAN.
- L. *Note (35) All photometric lighting levels are to be at 0.0 foot candles at all property lines.*
 - a. New exterior lighting is 0.0 foot candles at the property lines. Reference LIGHTING CALCULATIONS FOR RIVER DEER PARK – SITE.

The attached architectural site plan, demolition site plan, landscape plan, and photometric plan show the general design with the existing parking layout as well as the proposed parking layout and landscaped buffer yards. We look forward to the discussion and are excited to build this new parking expansion that will help better serve the Sycamore Township community.

Thank you for your consideration,

Bryan R. Duncan, RA, LEED AP
Architect



IMPERVIOUS SURFACE RATIO WORKSHEET
(Method of Calculation)

IMPERVIOUS SURFACE: Any hard-surfaced, man-made area that does not readily absorb or retain water, including but not limited to building roofs, parking and driveway areas, sidewalks and paved recreational facilities.

IMPERVIOUS SURFACE RATIO (ISR): The total area of impervious surfaces divided by the net area (excluding right-of-way) of the lot.

LOT AREA: The total horizontal area included within the lot lines of the lot. No public right-of-way or access easement for a public street or handle of a panhandle lot shall be included in the calculation of the lot area, nor shall the public right-of-way cross the lot area.

Site Identification 3850 E. Galbraith Road, Zoning District "C", Conditional Use - Church

Lot Area 105,149 square feet

Impervious Surfaces:

- | | |
|--------------------------|----------------------|
| 1. Building footprint | <u>11,361</u> sq.ft. |
| 2. Parking & Drive areas | <u>32,833</u> sq.ft. |
| 3. Walkways | <u>2,181</u> sq.ft. |
| 4. Other (Existing Shed) | <u>528</u> sq.ft. |

Total Impervious Surfaces: 46,903 sq.ft.

46,903 divided by 105,149 = .446
Total Impervious Surface Lot Area Impervious Surface Ratio %

I, [Signature] (Signature) certify that the calculations submitted above for the Impervious Surface Ratio are accurate and complete to the best of my knowledge.

Date 8/15/19

Please attach your business card or submit your complete name, address and telephone number, fax and e-mail in the space below.

In the event that there is a conflict of information contained herein,
the adopted Zoning Resolution shall apply.

PARKING ANALYSIS WORKSHEET

Dear Applicant,

The purpose of this worksheet is to help prevent or alleviate the congestion of the public street, to minimize any detrimental effects of vehicular use areas on adjacent properties and to enhance vehicular use areas. The off street and loading requirements of Chapter 12 of the Sycamore Township Zoning Resolution shall apply to any application permit for the construction of a new building. For an alteration, addition or change of use of an existing building; or for an alteration, development or change of land use that requires more parking; or for changes to the capacity of an existing parking area or parking structure the off street parking and loading requirements this application shall apply only to the area of the alteration, addition or change of use.

Parking Analysis

For the project address located at: 3850 E. Galbraith Road, Cincinnati, OH 45236
Sycamore Township, OH

- | | |
|--------------------------------------|--|
| 1. Building footprint is | <u>11,361</u> square feet |
| 2. Number of existing parking spaces | <u>30 spaces</u> |
| 3. Zoning district | <u>"C"</u> |
| 4. Number of parking spaces required | <u>103 spaces (proposed 86 spaces)</u> |
| 5. Proposed use | <u>No change of use. Existing A-3, Assembly - Church</u> |

Computation of Required Spaces

The following provision shall govern the computation of the number of off-street parking spaces required.

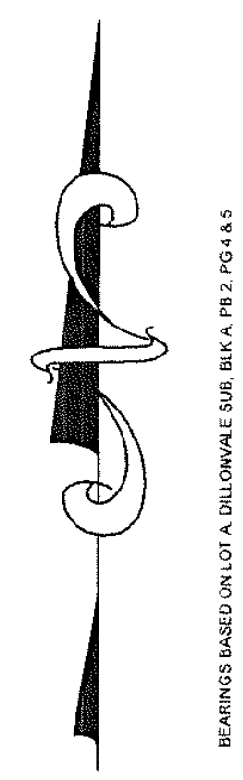
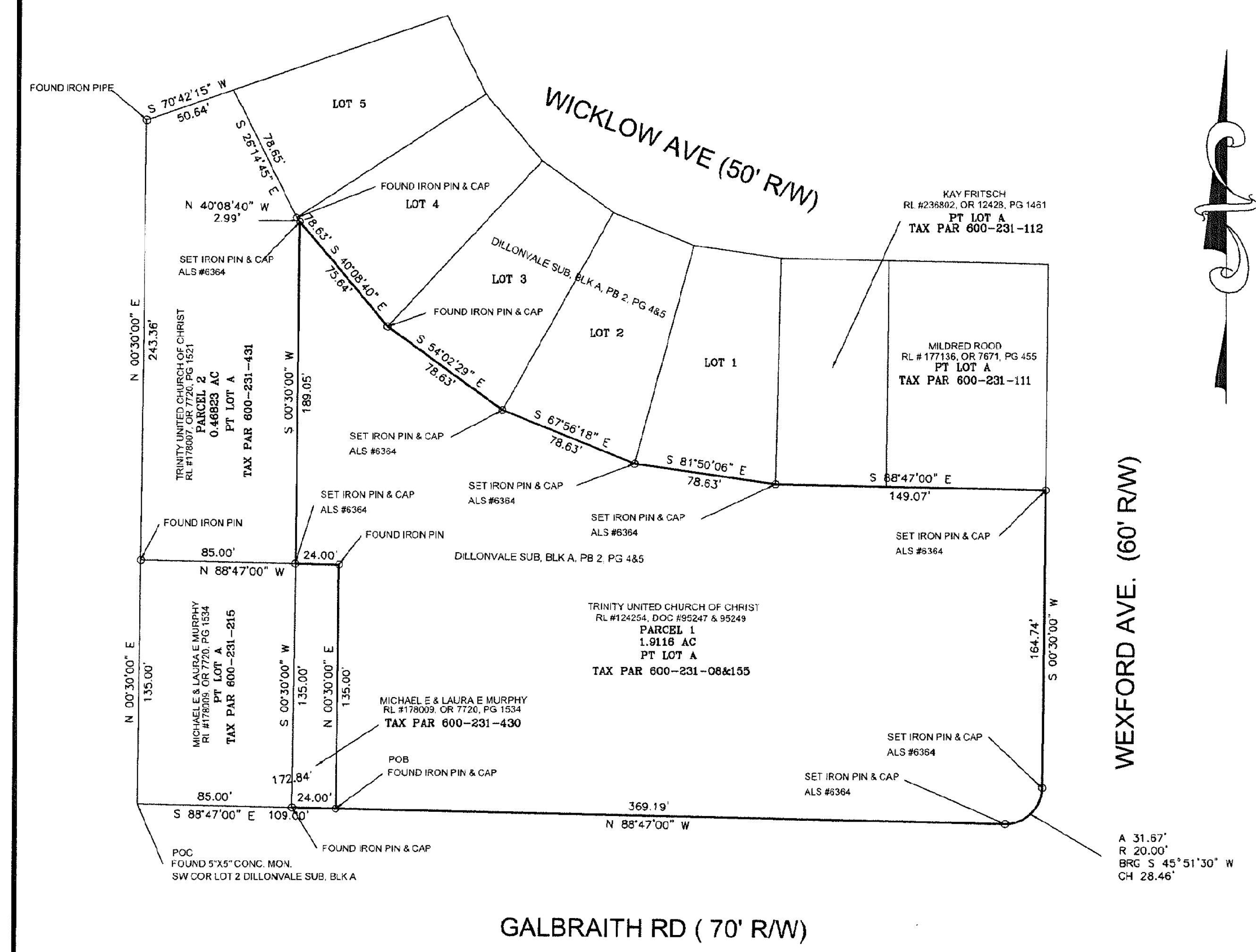
(a) Fractions. When determination of the number of required parking spaces results in the requirement of a fractional space, any fraction $\frac{1}{2}$ or less shall be disregarded and any fraction over $\frac{1}{2}$ shall require one (1) parking space.

(b) Bench Seating Calculation. In stadiums, sports arenas, churches and other places of assembly in which patrons or spectators occupy benches, pews or other similar seating facilities, each twenty inches (20") of such seating facilities shall be counted as one (1) seat for the purpose of determining the requirement for off-street parking facilities,

(c) Use of Maximum. When parking spaces are required on the basis of the number of faculty, staff, students or employees, the maximum number present at any one time shall govern.

(d) Interpretation. For uses not expressly listed in Table 12-9, found at the end of Chapter 12 of the Sycamore Township Zoning Resolution, parking spaces shall be provided on the same basis as required for the most similar listed use as determined by the Administrative Official and as adopted by the Sycamore Township Zoning Commission Policy for that specific use.

PLAT OF SURVEY
 SITUATED IN SECTION 20, TOWN 4, ENTIRE RANGE 1,
 PART OF LOT "A" BLOCK "A" DILLONVALE SUBDIVISION, PB 2, PG 4 & 5 RL
 SYCAMORE TOWNSHIP, HAMILTON COUNTY, OHIO

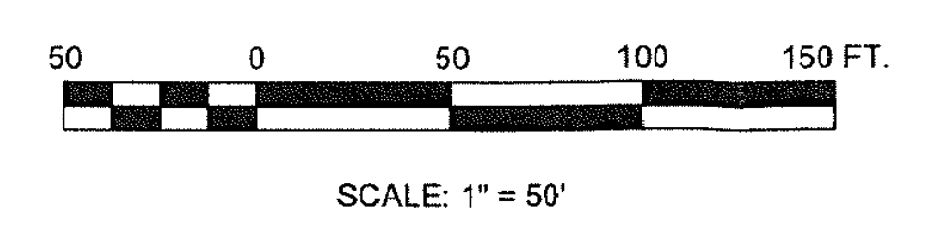


SURVEY NOTES
 ALL MONUMENTS FOUND ARE A GOOD CORRECTION
 OCCUPATION IS VOLUNTARILY FOUND OR SET
 SOURCE DOCUMENTS: B, J, S, E, R
 DEEDS OF RECORD
 DILLONVALE SUB. BLK. A, PG. 4 & 5
 SURVEY BY S. K. B. L. & S. C. L. FEB. 1988

CURVE
PARCEL 1

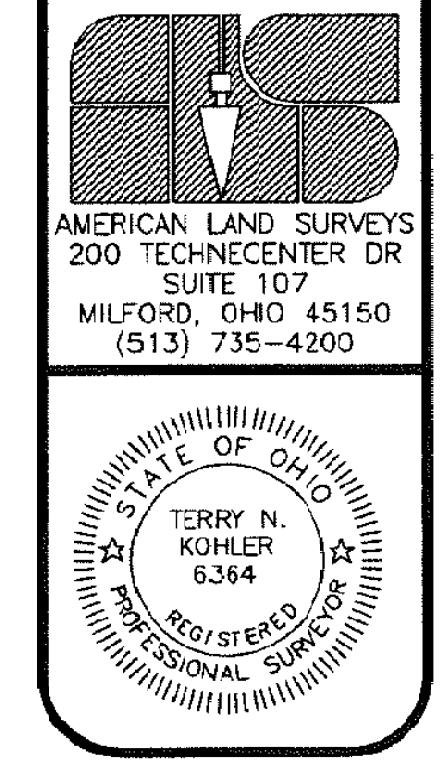
Course	Bearing	Distance	PC	PT	EC	Stationing	Area
18.19	N 69° 50' 00" E	105.56	19	182.96	374.32	19	182.96
18.22	S 89° 57' 00" E	20.00	20	182.96	374.32	20	182.96
26.21	N 00° 30' 00" E	149.07	21	302.03	523.39	21	302.03
27.12	S 89° 57' 00" E	78.63	22	302.03	523.39	22	302.03
28.14	S 89° 57' 00" E	78.63	23	407.34	624.12	23	407.34
29.14	S 89° 57' 00" E	78.63	24	485.97	752.75	24	485.97
30.14	S 89° 57' 00" E	78.63	25	564.60	881.38	25	564.60
31.14	S 89° 57' 00" E	78.63	26	643.23	1010.01	26	643.23
32.14	S 89° 57' 00" E	78.63	27	721.86	1138.64	27	721.86
33.14	S 89° 57' 00" E	78.63	28	800.49	1267.27	28	800.49
34.14	S 89° 57' 00" E	78.63	29	879.12	1395.90	29	879.12
35.14	S 89° 57' 00" E	78.63	30	957.75	1524.53	30	957.75
36.14	S 89° 57' 00" E	78.63	31	1036.38	1653.16	31	1036.38
37.14	S 89° 57' 00" E	78.63	32	1115.01	1781.79	32	1115.01
38.14	S 89° 57' 00" E	78.63	33	1193.64	1910.42	33	1193.64
39.14	S 89° 57' 00" E	78.63	34	1272.27	2039.05	34	1272.27
40.14	S 89° 57' 00" E	78.63	35	1350.90	2167.68	35	1350.90
41.14	S 89° 57' 00" E	78.63	36	1429.53	2296.31	36	1429.53
42.14	S 89° 57' 00" E	78.63	37	1508.16	2424.94	37	1508.16
43.14	S 89° 57' 00" E	78.63	38	1586.79	2553.57	38	1586.79
44.14	S 89° 57' 00" E	78.63	39	1665.42	2682.20	39	1665.42
45.14	S 89° 57' 00" E	78.63	40	1744.05	2810.83	40	1744.05
46.14	S 89° 57' 00" E	78.63	41	1822.68	2939.46	41	1822.68
47.14	S 89° 57' 00" E	78.63	42	1901.31	3068.09	42	1901.31
48.14	S 89° 57' 00" E	78.63	43	1979.94	3196.72	43	1979.94
49.14	S 89° 57' 00" E	78.63	44	2058.57	3325.35	44	2058.57
50.14	S 89° 57' 00" E	78.63	45	2137.20	3453.98	45	2137.20

I HEREBY CERTIFY THAT THIS PLAT OF SURVEY IS
 BASED ON A TRUE AND CORRECT FIELD SURVEY
 PERFORMED BY AMERICAN LAND SURVEYS, INC.
 UNDER THE SUPERVISION OF TERRY N. KOHLER, P.S.
 TERRY N. KOHLER DATE: 3-12-19
 OHIO REGISTRATION NO. 6384

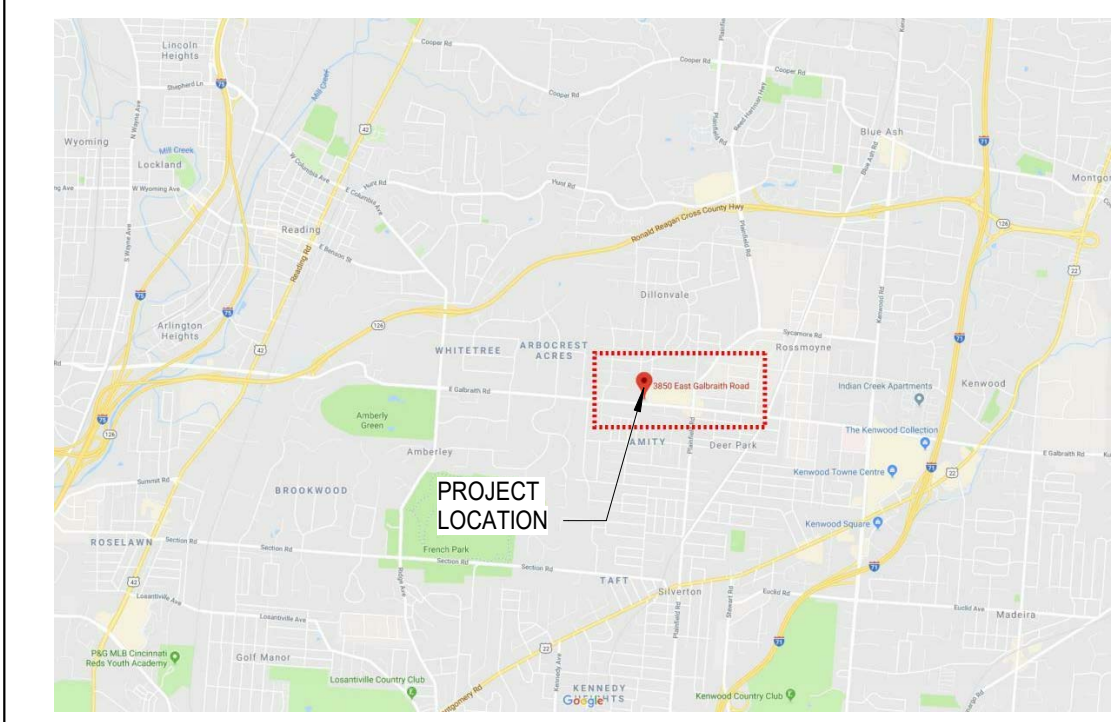


REVISION	BY

PLAT OF SURVEY
 SITUATED IN SECTION 20, TOWN 4, ENTIRE RANGE 1,
 PART OF LOT "A" BLOCK "A" DILLONVALE SUBDIVISION, PB 2, PG 4 & 5 RL
 SYCAMORE TOWNSHIP, HAMILTON COUNTY, OHIO



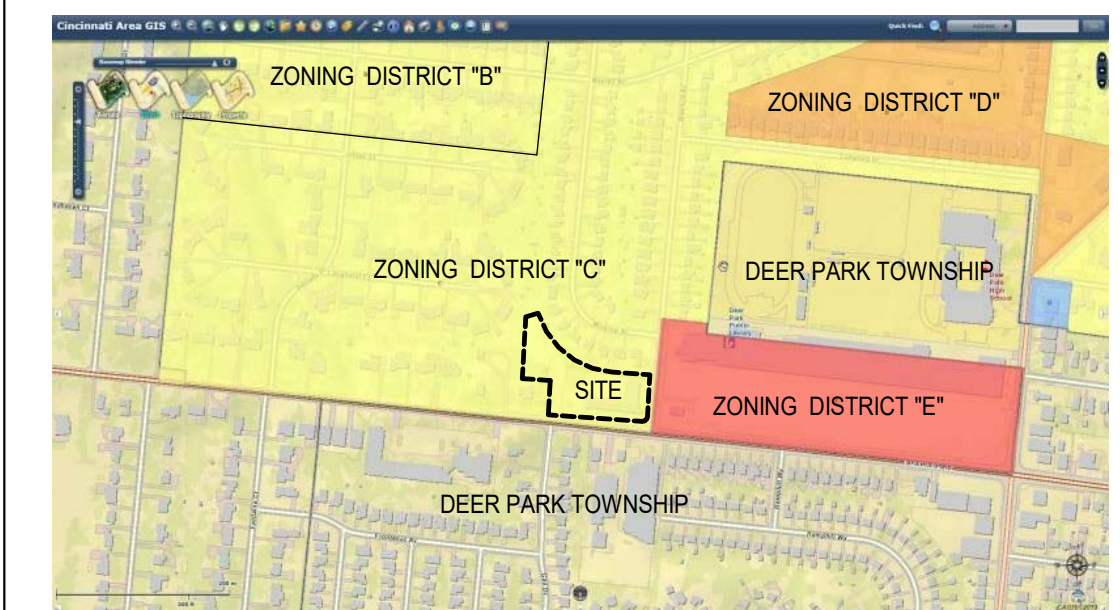
DRAWN: TNK
CHECKED: TNK
DATE: 3-12-19
SCALE: 1" = 50'
JOB NO.: 7521
SHEET:
 1
 OF 1 SHEETS



VICINITY MAP



CONTEXT MAP



ZONING DESIGNATION

OWNER: RIVERS CROSSING COMMUNITY CHURCH
PROJECT: DEER PARK RENOVATIONS - PARKING LOT
APPLICANT: CHAMPLIN ARCHITECTURE

EXISTING USE: *A-3* PLACE OF WORSHIP
PROPOSED USE: *A-3* PLACE OF WORSHIP (NO CHANGE)

TOTAL PROJECT SITE: 105,149 SF (2.41 ACRES)
HARDSHAPE AREA: 35,014 SF (0.80 ACRES)

EXISTING BUILDING FOOTPRINT: 11,361 SF (0.27 ACRES)
EXISTING SHED: 528 SF (0.01 ACRES)

IMPERMEABLE SURFACE AREA: 46,903 SF (1.08 ACRES)

ISR RATIO ACTUAL: .446
ISP RATIO ALLOWED: .45 MAXIMUM

PROPOSED PARKING SPACES: 86 SPACES

ZONING - SUMMARY

NO.	NOTE
1	AREA OF VEHICLE OVERHANG. CONCRETE INTEGRAL CURB WITH ADJACENT GRASS PLANTINGS. REF. SYCAMORE TOWNSHIP ZONING SECTION 12.4.7(i)
2	TYPICAL VEHICLE PARKING SPOT. REFERENCE DIMENSIONS FOR SIZE OF PARKING SPOT.
3	EXISTING SHED STRUCTURE AND CONCRETE SLAB TO REMAIN.
4	NEW BRICK MASONRY DUMPSTER ENCLOSURE WITH WOOD SLATS AT ENTRY. DUMPSTER WALL HEIGHT AT 7'-0" HIGH ABOVE FINISH GRADE. CONCRETE SLAB INSIDE ENCLOSURE.
5	EXISTING ASPHALT DRIVE TO REMAIN.
6	EXISTING CONCRETE SIDEWALK TO REMAIN.
7	EXISTING BUILDING TO REMAIN.
8	EXISTING ADA ACCESSIBLE RAMP TO REMAIN.
9	NEW 5'-0" WIDE CONCRETE SIDEWALK
10	NEW ADA ACCESSIBLE RAMP TO LOWER LEVEL.
11	RETAINING WALL.



720 E Pete Rose Way, Suite 140
Cincinnati, OH 45202
t:513.241.4474 f:513.241.0081
thinkchamplin.com

THINK CREATE REALIZE



P.O. Box 382
Lebanon, OH 45036
Tel: 513.932.2293



1527 Madison Road
Cincinnati, OH 45206
Tel: 513.396.8900



3804 Settle Road, Cincinnati, Ohio 45227
mkoepke@cinci.rr.com 513.561.7379



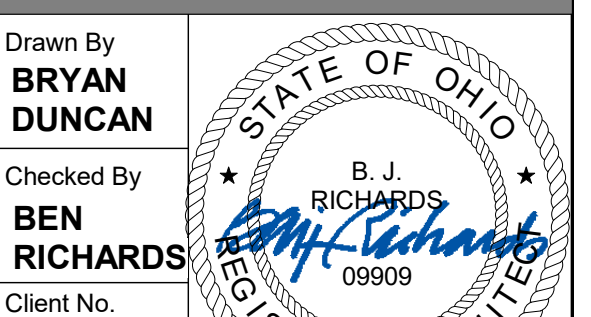
DEER PARK RENOVATIONS PARKING LOT

Rivers Crossing Community Church

3850 E. GALBRAITH RD.
CINCINNATI, OH 45236

ISSUANCES

No.	Description	Date



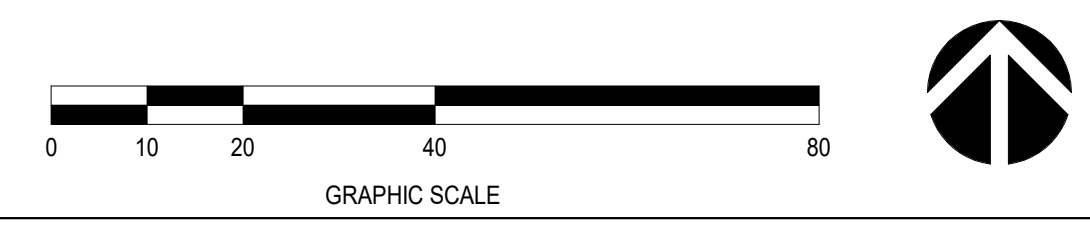
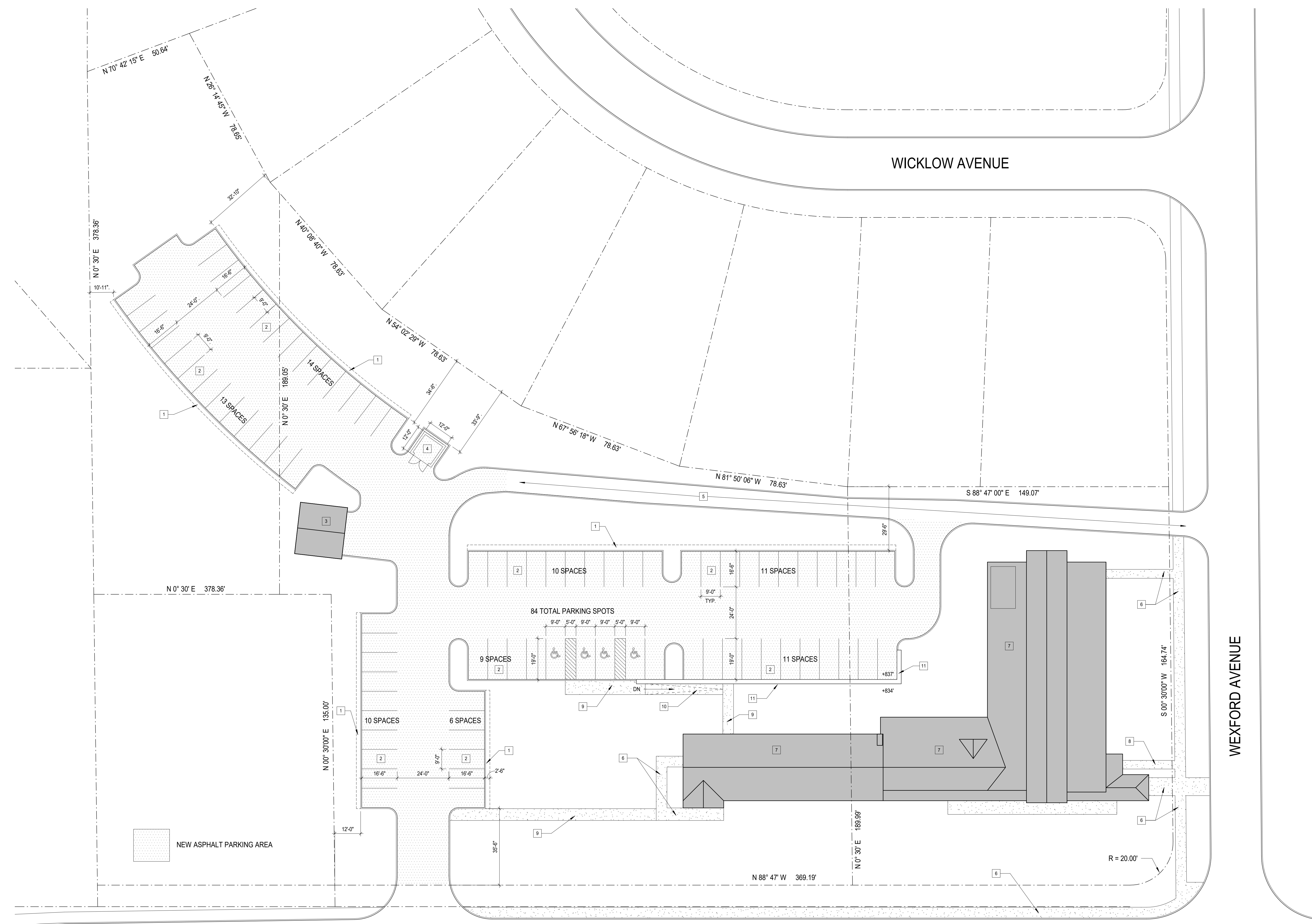
Drawn By **BRYAN DUNCAN**
Checked By **BEN RICHARDS**
Client No. **720**
Project No. **6287**

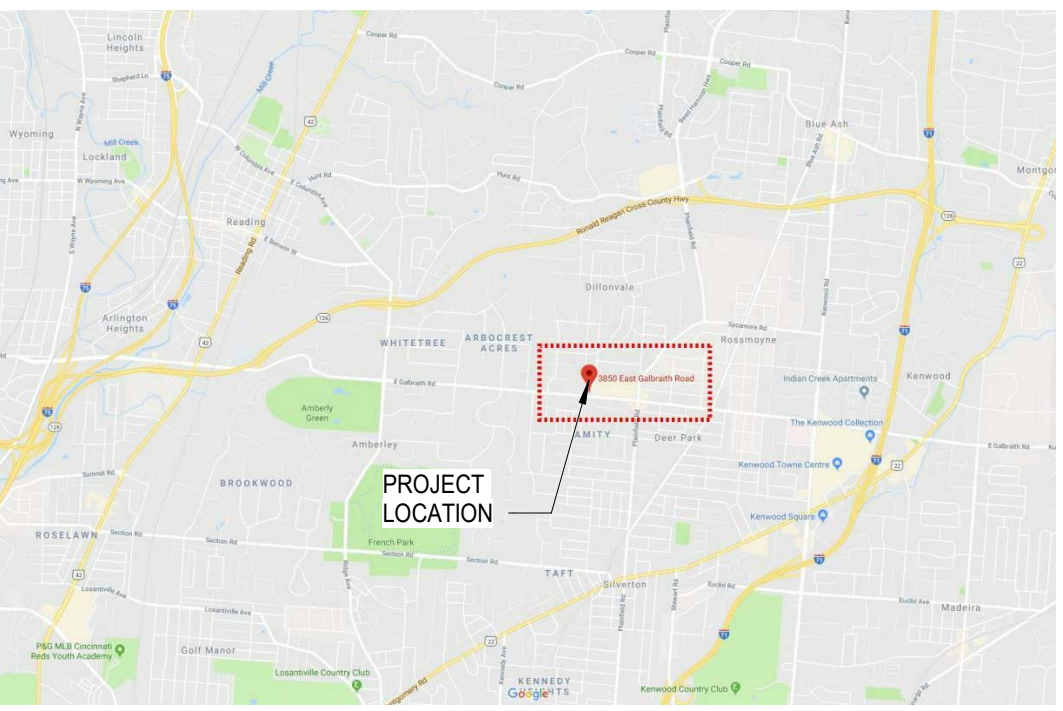
Project No. **720**
License #09609
EXPIRATION DATE 12/31/2019

SITE PLAN

AS001

8/15/2019 2:16:31 PM

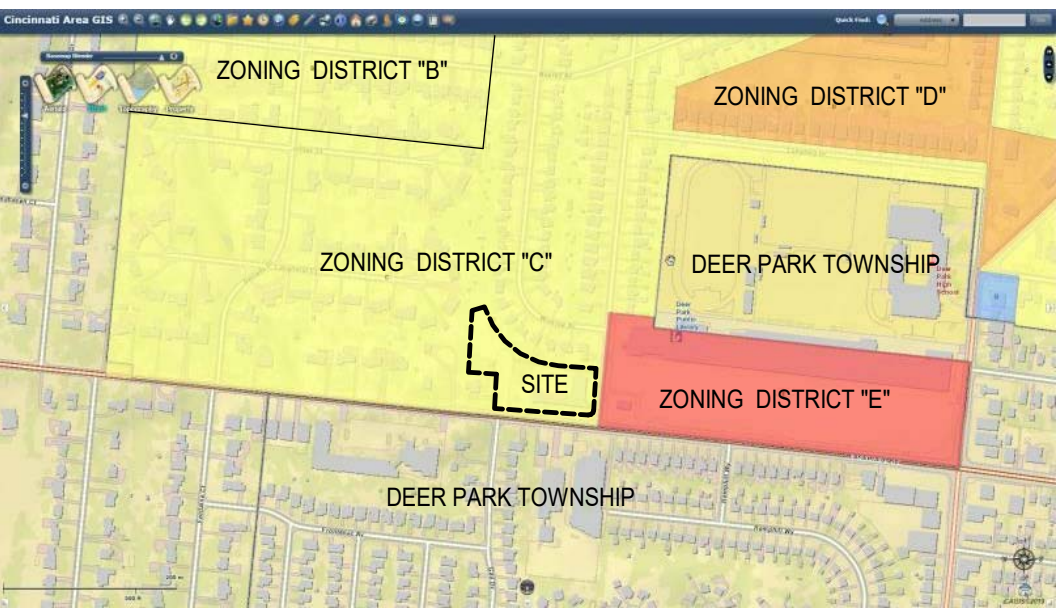




VICINITY MAP



CONTEXT MAP



ZONING DESIGNATION

OWNER: RIVERS CROSSING COMMUNITY CHURCH
PROJECT: DEER PARK RENOVATIONS - PARKING LOT
APPLICANT: CHAMPLIN ARCHITECTURE

EXISTING USE: *A-3* PLACE OF WORSHIP
 PROPOSED USE: *A-3* PLACE OF WORSHIP (NO CHANGE)
 TOTAL PROJECT SITE: 105,149 SF (2.41 ACRES)
 HARDSCAPE AREA: 35,014 SF (0.80 ACRES)
 EXISTING BUILDING FOOTPRINT: 11,361 SF (0.27 ACRES)
 EXISTING SHED: 528 SF (0.01 ACRES)
 IMPERMEABLE SURFACE AREA: 46,903 SF (1.06 ACRES)
 ISR RATIO ACTUAL: .446
 ISP RATIO ALLOWED: .45 MAXIMUM
 PROPOSED PARKING SPACES: 86 SPACES

ZONING - SUMMARY

KEYNOTES - SITE DEMOLITION	
NO.	NOTE
1	DEMOLISH EXISTING ASPHALT AND PREP SITE FOR NEW ASPHALT BASED ON NEW PARKING LAYOUT.
2	EXISTING ASPHALT DRIVE TO REMAIN.
3	EXISTING SHED TO REMAIN.
4	EXISTING BUILDING.
5	EXISTING SIDEWALK TO REMAIN.
6	DEMOLISH EXISTING ASPHALT NEXT TO BUILDING AND PREP SITE FOR NEW SIDEWALK TO LOWER LEVEL ENTRY.
7	DEMOLISH EXISTING SIDEWALK AND PREP SITE FOR NEW SIDEWALK TO GROUND LEVEL ENTRY.
8	DEMOLISH EXISTING TREE.



720 E Pete Rose Way, Suite 140
 Cincinnati, OH 45202
 t:513.241.4474 f:513.241.0081
 thinkchamplin.com

THINK CREATE REALIZE

KING'S
ELECTRIC SERVICES
"Committed To Building Trust"

P.O. Box 382
Lebanon, OH 45036
Tel: 513.932.2293

ADVANTAGE GROUP
ENGINEERS, INC.

1527 Madison Road
Cincinnati, OH 45206
Tel: 513.396.8900

Martin Koepeke Design
Landscape Architecture - Planning - Design

3804 Settle Road, Cincinnati, Ohio 45227
mkoepeke@cinci.rr.com 513.561.7379



DEER PARK RENOVATIONS PARKING LOT

Rivers Crossing
Community Church
3850 E. GALBRAITH RD.,
CINCINNATI, OH 45236

ISSUANCES

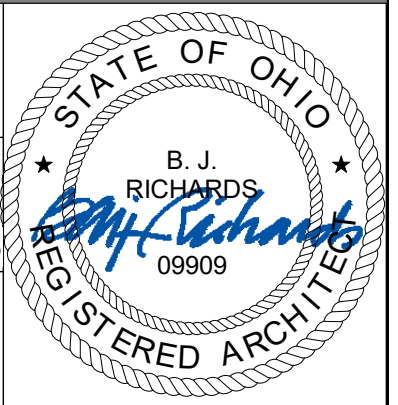
No.	Description	Date

Drawn By
BRYAN DUNCAN

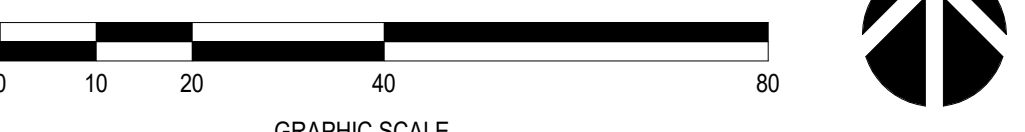
Checked By
BEN RICHARDS

Client No.
720

Project No.
6287



DEMOLITION SITE PLAN





P.O. Box 382
Lebanon, OH 45036
Tel: 513.932.2293



1527 Madison Road
Cincinnati, OH 45206
Tel: 513.396.8900



DEER PARK RENOVATIONS PARKING LOT

Rivers Crossing Community Church
3850 E. GALBRAITH RD.
CINCINNATI, OH 45236

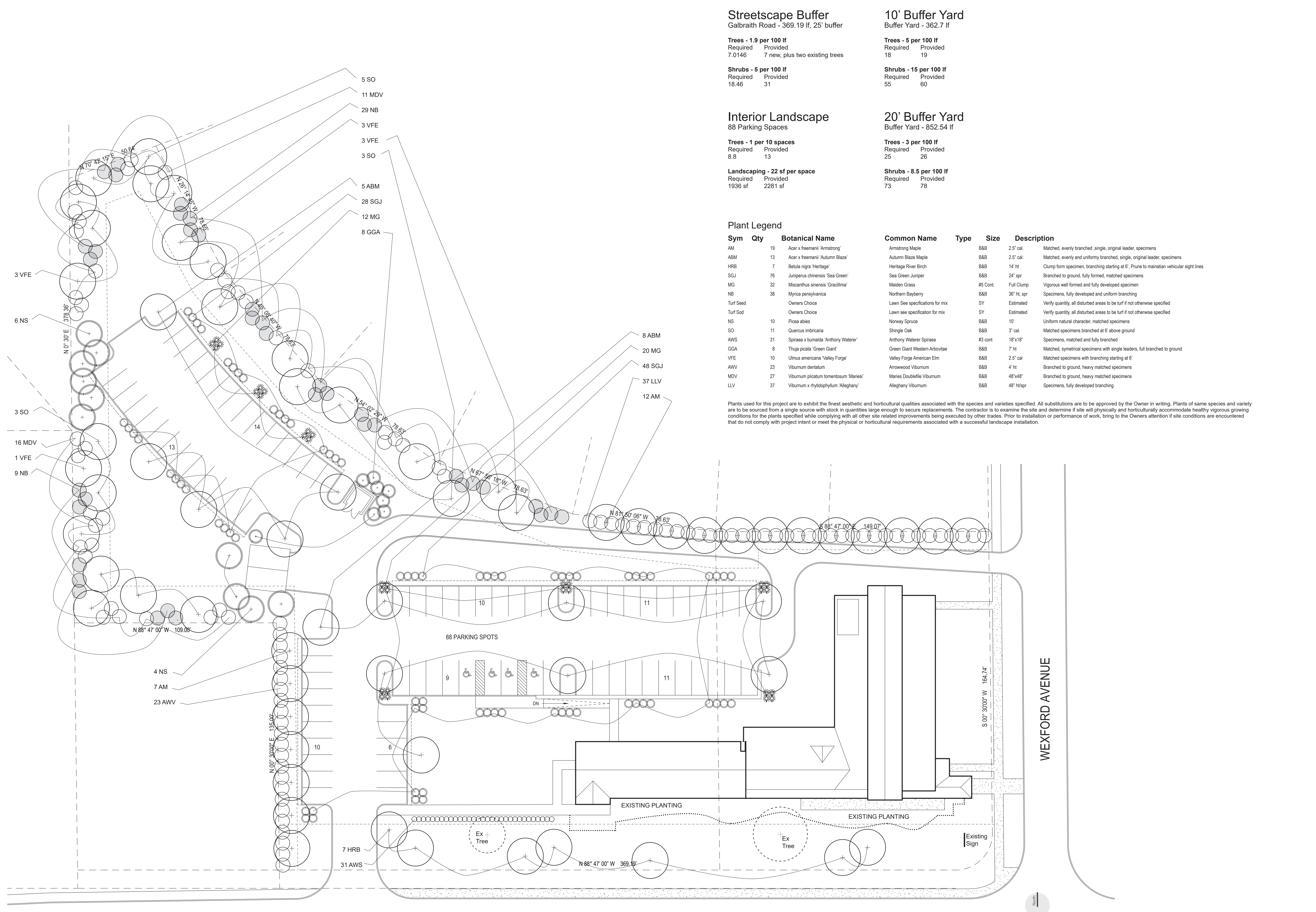
ISSUANCES

No.	Description	Date

Drawn By	
Checked By	
Client No.	720
Project No.	6287

LANDSCAPE PLAN

AS003



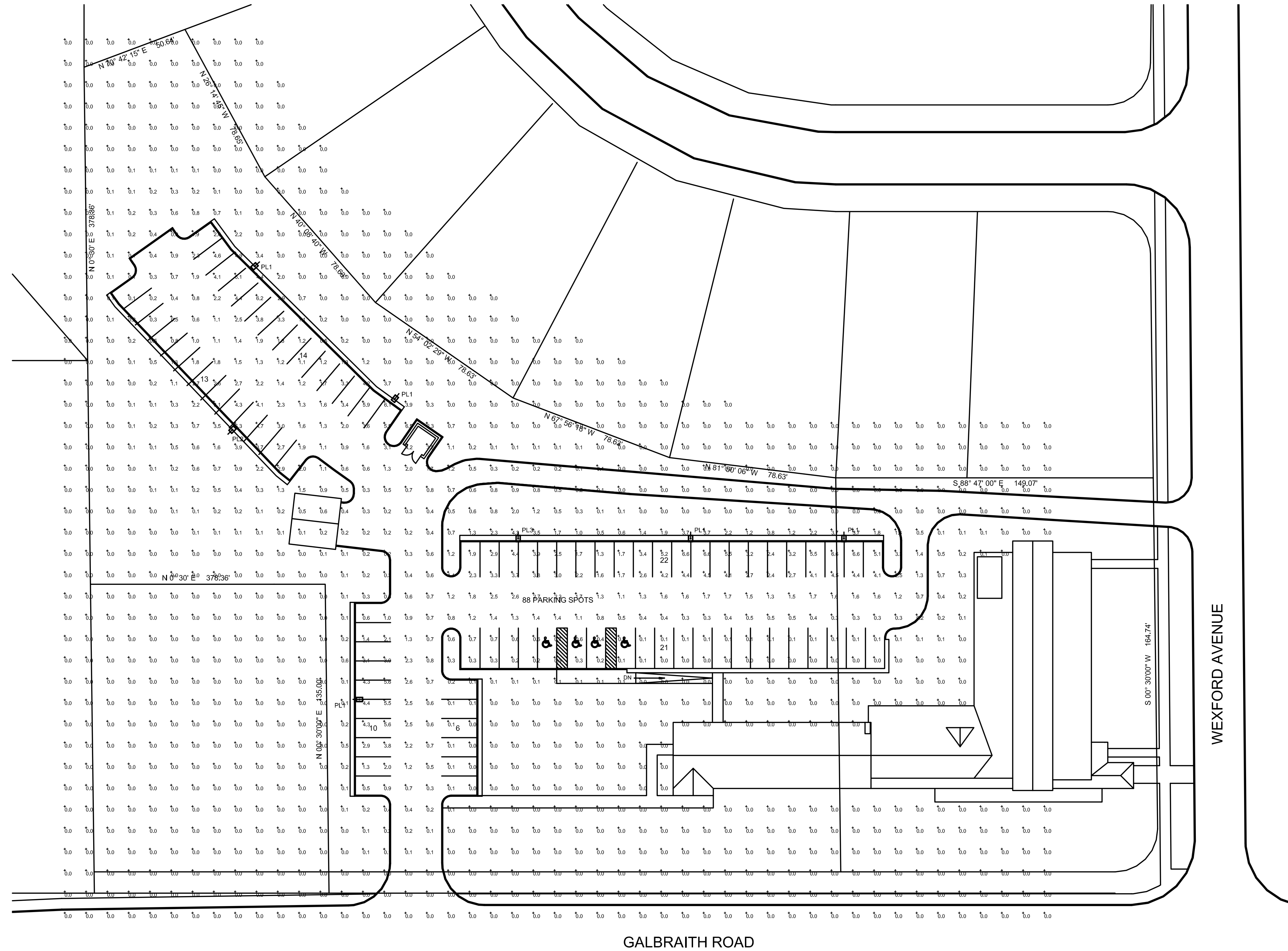
Plants used for this project are to exhibit the finest aesthetic and horticultural qualities associated with the species and varieties specified. All substitutions are to be approved by the Owner in writing. Plants of same species and variety are to be sourced from a single source with stock in quantities large enough to secure replacements. The contractor is to examine the site and determine if site will physically and horticulturally accommodate healthy vigorous growing conditions for the plants specified while complying with all other site related improvements being executed by other trades. Prior to installation or performance of work, bring to the Owners attention if site conditions are encountered that do not comply with project intent or meet the physical or horticultural requirements associated with a successful landscape installation.

GALBRAITH ROAD

Planting Plan

WEXFORD AVENUE

1" = 20'



D-Series Size 0 LED Area Luminaire

Specifications

EPA: 0.95 ft
 Length: 26"
 Width: 13"
 Height: 5"
 Weight (max): 16 lbs

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSK0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DBDXD

Series	Code	Color temperature	Beam/distribution	Mounting	Accessories
DSK0LED	Forward optics	SKK 3000K	T3M Taper beam	T3M Taper beam	PIRHN
	PI F1	40K 4000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F2	SKK 3000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F3	40K 4000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F4	SKK 3000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F5	40K 4000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F6	SKK 3000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F7	40K 4000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F8	SKK 3000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F9	40K 4000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F10	SKK 3000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F11	40K 4000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F12	SKK 3000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F13	40K 4000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F14	SKK 3000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F15	40K 4000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F16	SKK 3000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F17	40K 4000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F18	SKK 3000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F19	40K 4000K	T3M Taper beam	T3M Taper beam	DBDXD
	PI F20	SKK 3000K	T3M Taper beam	T3M Taper beam	DBDXD

LITHONIA LIGHTING One Lithonia Way • Cumers, Georgia 30013 • Phone: 800-705-7278 • www.lithonia.com

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTRODUCTION - These specifications are for D-Series only. Check with factory for Custom specifications. Square Straight Steel is a general purpose 100 gauge 16" high mounting height. The pole provides a robust yet cost effective option for mounting area lights and floodlights.

CONSTRUCTION - Pole shaft is of uniform diameter and wall thickness and made of a variable grade, hot rolled, commercial quality steel tubing with a minimum yield of 55 KSI (11 gauge, 1780, or 40 KSI 1700). Shaft is one piece with a high longitudinal high frequency induction hardened end. High frequency induction hardened end is case hardened with oil, and center section is case hardened with oil.

Pole Top - Hot rolled, commercial quality steel tubing with a minimum yield of 55 KSI (11 gauge, 1780, or 40 KSI 1700). Shaft is one piece with a high longitudinal high frequency induction hardened end. High frequency induction hardened end is case hardened with oil, and center section is case hardened with oil.

Base Cover - A durable HD plastic two piece full base cover finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request.

Anchor Base Bolt - Anchor base is fabricated from steel that meets ASTM A36 standards, and can be altered to match existing foundations. Consult factory for modification. Anchor bolts are manufactured to ASTM F1554 Standard, grade 55, 5/8 x 1/2 minimum length and include a nut and washer. The standard portion (minimum 12") is hot dipped galvanized per ASTM A-153.

WARRANTY - 1 year limited warranty. Complete warranty terms located at: www.lithonia.com/controls/resources/terms_and_conditions.asp

NOTE - Actual performance may differ as a result of real-world environment and application. Specifications subject to change without notice.

GALBRAITH ROAD

WEXFORD AVENUE

Luminaire Schedule

Symbol	Qty	Label	Arrangement	ILP	Description	Lum. Watts	Total Watts	Lot#	Lot#
		PL1	SINGLE	1-1	Lithonia DSK0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DBDXD	440	440		2076
	1	PL2	SINGLE	1-1	Lithonia DSK0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DBDXD	440	440		1185
	1	PL3	SINGLE	1-1	Lithonia DSK0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DBDXD	440	440		1185

Calculation Summary

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
Light Level	Footcandle	FC	1.27	1.27	1.27	1.00	1.00

NOTES:
 FIXTURES ARE MOUNTED AT 16'-0" A.F.G. (14'-0" POLE & 2'-0" BASE)

THIS DOCUMENT IS THE PRODUCT AND EXCLUSIVE PROPERTY OF KING LIGHTING, INC. NEITHER THE DOCUMENT NOR THE INFORMATION IT CONTAINS MAY BE COPIED OR USED BY ANY COMPANY OTHER THAN THE COMPANY FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF KING LIGHTING, INC. ANY VIOLATION MAY RESULT IN APPROPRIATE LEGAL ACTION.

Design Criteria

DESIGN FILE: RiverDeerPark_site08149191.dwg

MINIMUM: MAXIMUM: AVERAGE:	AVE./MIN: A.F.G. MAX./MIN:	INTERIOR LIGHTING LEVELS ARE SHOWN AT A.F.G. UNLESS NOTED OTHERWISE	EXTERIOR LIGHTING LEVELS ARE SHOWN AT 1'-0" A.F.G. UNLESS NOTED OTHERWISE
----------------------------------	----------------------------------	---	---

King Lighting, Inc.
 26 Spiral Drive
 Florence, Kentucky 41042
 (859) 281-5511 Fax (859) 281-2228
 www.king-lighting.com

Lighting Calculations for
 River Deer Park -Site
 Alternate

LIGHTING SITE PLAN	SCALE 1"=30'-0"	DESIGNER JJ	CHECKED JJ	DATE 08/14/19	SHEET S1A
--------------------	-----------------	-------------	------------	---------------	-----------

Disclaimer:
 AGI and Genlyte has made great efforts to ensure the accuracy of their program, however AGI, Genlyte and King Lighting Inc. assume no liability for the decisions made with the assistance of these design programs. Actual light levels generated by installed luminaires may differ from the light levels predicted by AGI or GENLYTE for a number of reasons including (but not limited to) electrical supply, equipment tolerances, installation details, lamp/ballast interaction, thermal factors and obstructions from within the space.