

SYCAMORE TOWNSHIP, OH
 DEPARTMENT OF PLANNING & ZONING
 8540 KENWOOD ROAD, CINCINNATI, OH 45236

513.792.7250 PHONE 513.792.8564 FAX

SYCAMORE TOWNSHIP
 PLANNING & ZONING

SEP 30 2019

BZA APPLICATION	
FEES:	
APPEAL:	\$150.00
VARIANCE:	\$150.00
CONDITIONAL USE:	\$500.00
NON-CONFORMING USE:	\$500.00

COMMERCIAL	RESIDENTIAL
	✓

RECEIVED APPLICATION NUMBER
SYCB190019
DO NOT WRITE IN THIS SPACE

1. PROJECT ADDRESS: 8709 ANTRIM CT. ZIP CODE: 45236

2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER
OWNER ERIN CURRY	8709 ANTRIM CT.	CINCINNATI	OH	45236	513-227-9429
CONTRACTOR					
DESIGNER					
APPLICANT MICHAEL MACKAY	2454 PLAINFIELD RD	CINCINNATI	OH	45236	513-300-8609
APPLICANTS E-MAIL ADDRESS					

3. BZA ACTION REQUESTED: APPEAL VARIANCE
 CONDITIONAL USE NON-CONFORMING USE

4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:

FRONT DECK 10'x19'

5. SQUARE FEET: 190 6. USE: RESIDENTIAL 7. HEIGHT: 36"

8. EST. START DATE: _____ 9. EST. FINISH DATE: _____

THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

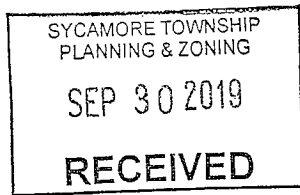
The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Board of Zoning Appeals application.

NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.

Michael Mackay 9/27/19
 APPLICANT'S SIGNATURE DATE

[Signature] 9/27/19
 PROPERTY OWNER'S SIGNATURE DATE

DO NOT WRITE BELOW THIS LINE



September 29, 2019

Board of Zoning Appeals,

Property address: 8709 Antrim Court, 45236

Lot size: 50x120

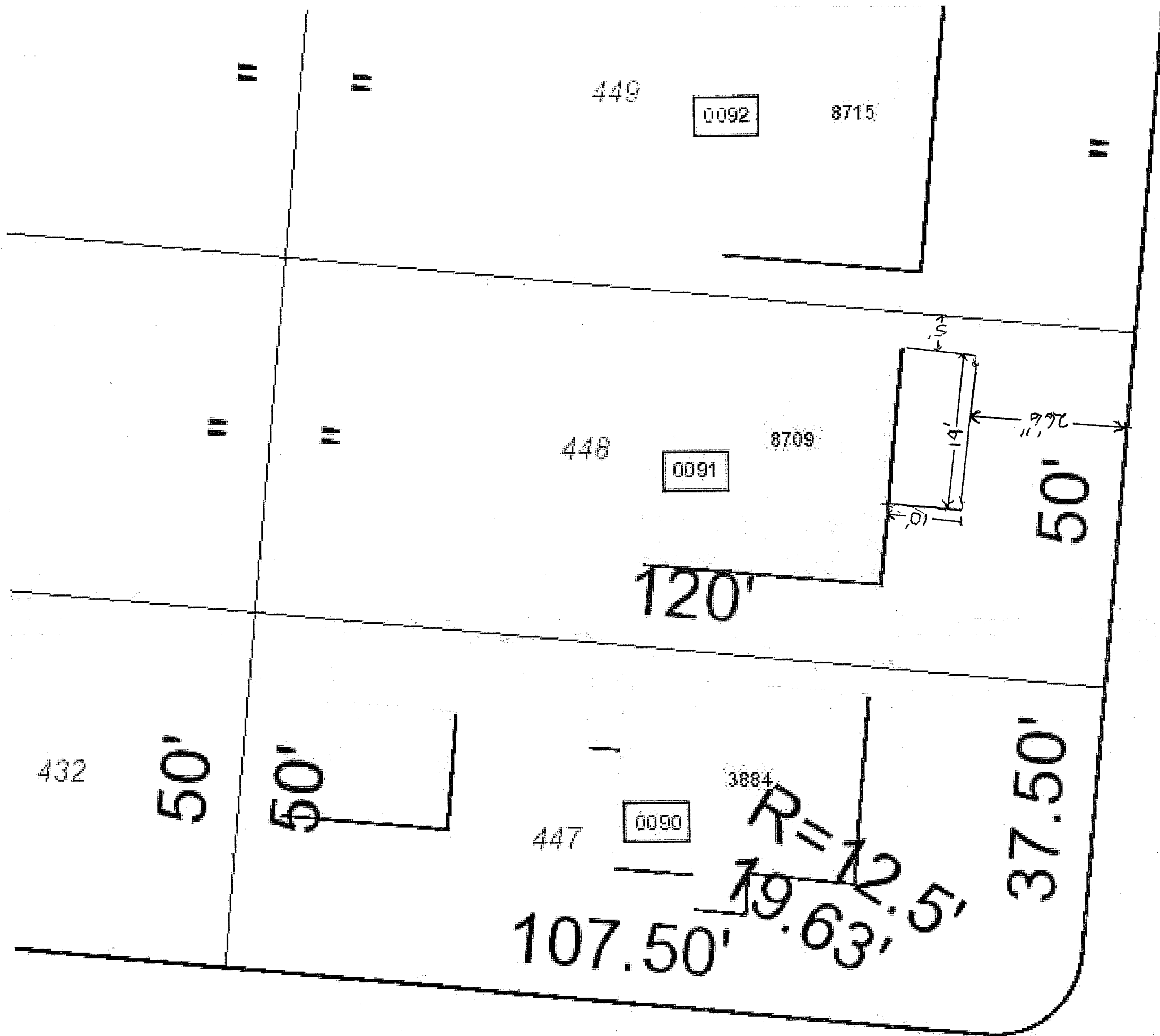
The reason we are asking for a variance is we are trying to add a deck over our existing front cement porch. We would like the deck to come out 10 feet from the house. The denial letter states that that does not meet the requirements of Table 4-6 of the Zoning Resolution. The existing porch is falling apart and crumbling. And only 4 ½ feet wide. The steps are very small and only has one handrail on one side of it due to the other side breaking. The total porch in a nutshell is a big eye sore. I do a lot of babysitting for people and I am always having little children over here. A new bigger deck would give them more room to play farther away from the street. It would also help having larger steps with a handrail on both sides for them to get up and down.

I understand that it was stated that we could build the deck this size if we added a roof to the top. The one reason I do not want a roof to the front of my house it because we love the morning light. We do not get much afternoon sunlight in the house due to the fact we already have a covered porch in the back. Adding a nice bigger deck would honestly make the neighborhood street look a lot better than what is already there. I do see other houses around the neighborhood with a deck on the front of their house. I am just wanting to upgrade our house and make everything look nicer for people to look at.

I thank you in advance for considering this addition to our house.

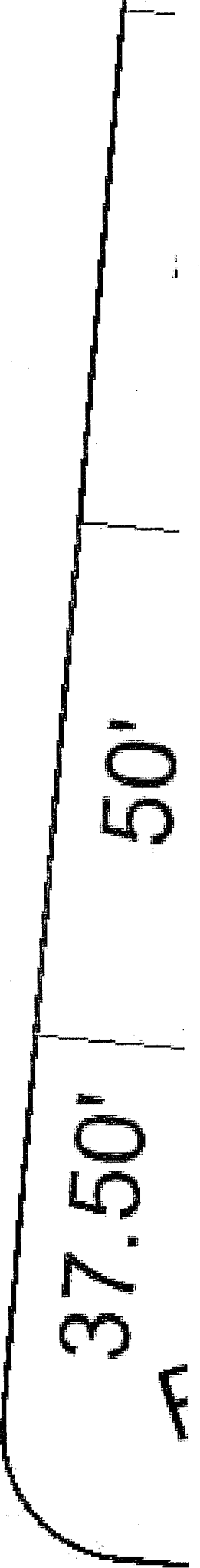
Erin and Daryl Curry

A handwritten signature in black ink, consisting of a stylized first name and a long horizontal line extending to the right.

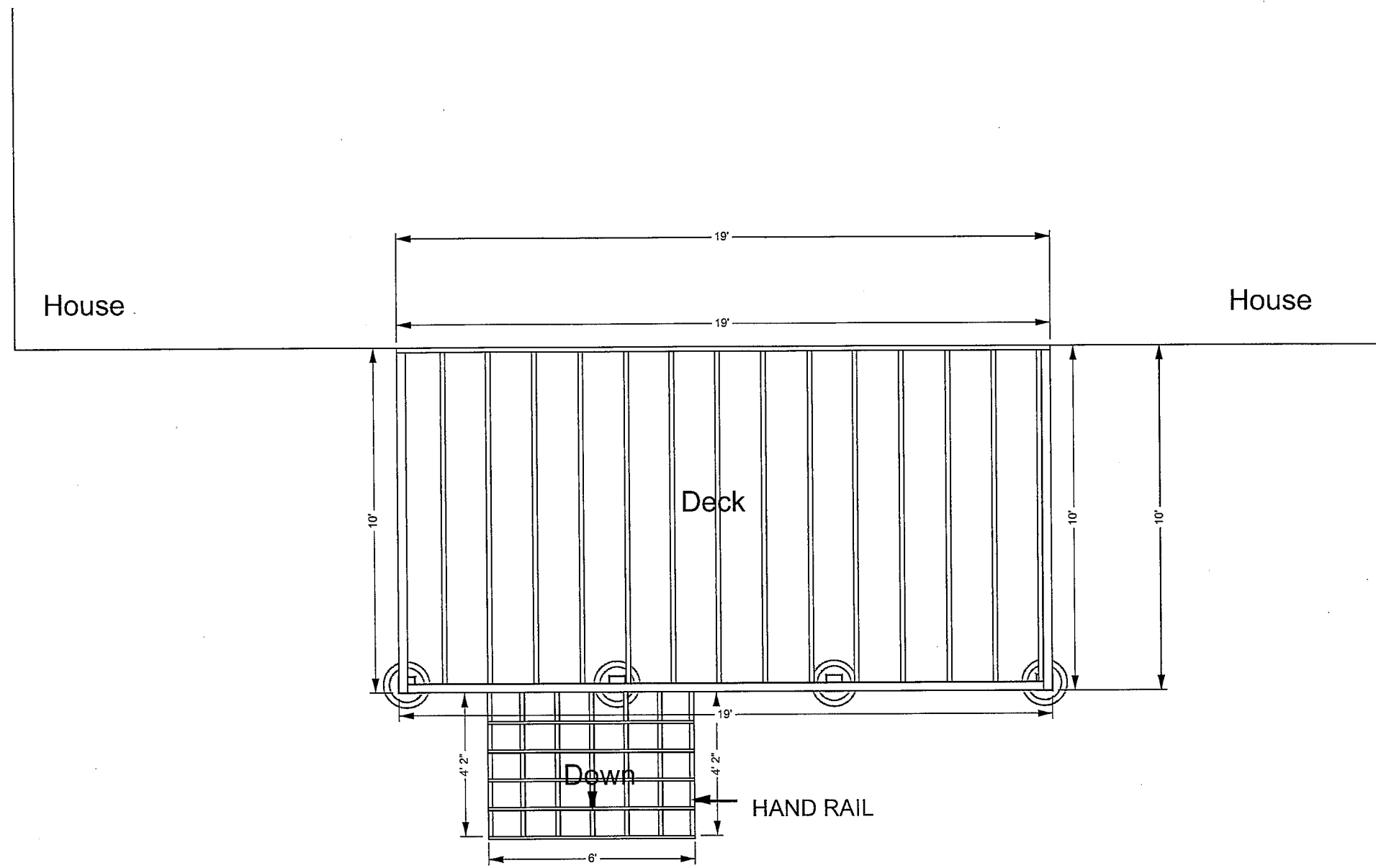


SYCAMORE TOWNSHIP
 PLANNING & ZONING
 SEP 30 2019
 RECEIVED

Arden Ct



SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER



Total Depth: 32
Base Diameter: 16
Pier Diameter: 16

Footings to be installed to 32" depth as is required by your local building ordinance. Frost footing sizes based on 55 lbs per square foot tributary loads applied to 1500 psi soil compression capacity (assumed clay soil). See footing detail in deck construction guide.

2x8 Ledger Board to be flashed and bolted (2) 1/2" bolts with washers or equivalent every 16" on center. (See ledger detail in deck construction guide)

Joists to be 2x8 pressure treated southern yellow pine installed 16" on center.

Beams to be 2-2x10 pressure treated southern yellow pine nailed.

Guard Rails to be 36" high with less than 4" openings per IRC code. (See rail detail in deck construction guide)

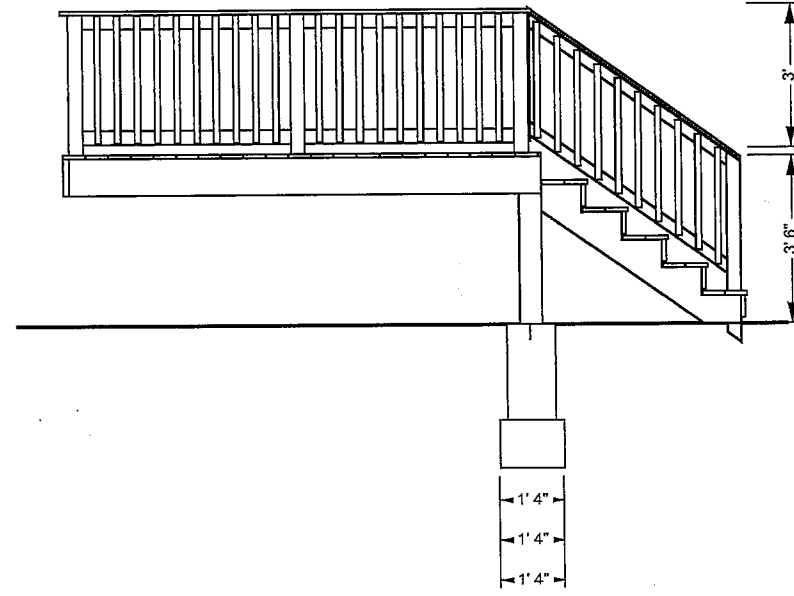
Stairs to be built max rise 7-3/4" min rise 4" in run 10" per IRC code. (See stair detail in deck construction guide)

Decking to be 5/4x6 Pressure Treated Pine. (Follow manufacturers' installation instructions)

All hardware to be corrosion resistant and installed per manufacturers' instructions.

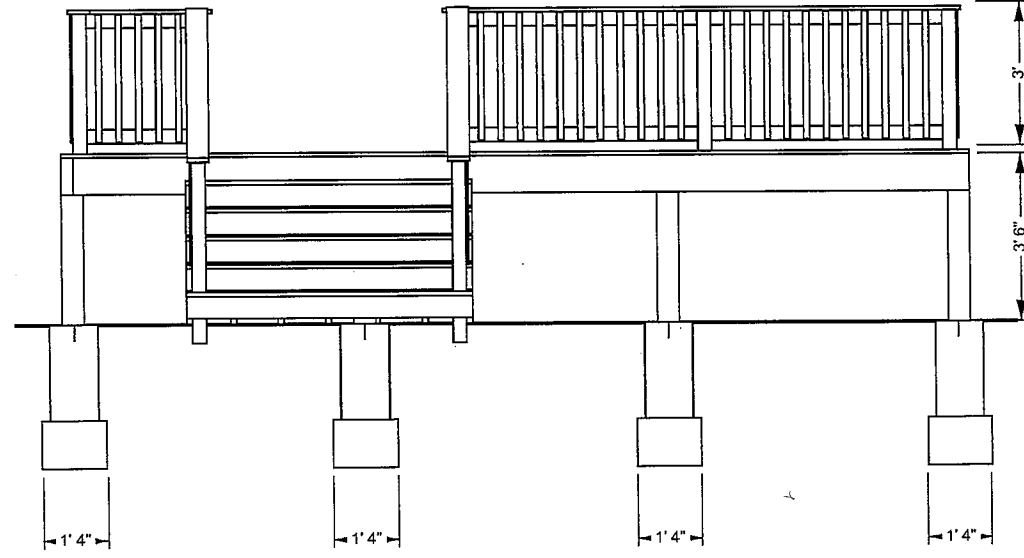
SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

BASED ON THE INTERNATIONAL RESIDENTIAL CODE



2x8 Ledger Board to be flashed and bolted (2) 1/2" bolts with washers or equivalent every 16" on center. (See ledger detail in deck construction guide)
Joists to be 2x8 pressure treated southern yellow pine installed 16" on center.
Beams to be 2-2x10 pressure treated southern yellow pine nailed.
Guard Rails to be 36" high with less than 4" openings per IRC code. (See rail detail in deck construction guide)
Stairs to be built max rise 7-3/4" min rise 4" in run 10" per IRC code. (See stair detail in deck construction guide)
Decking to be 5/4x6 Pressure Treated Pine. (Follow manufacturers' installation instructions)
All hardware to be corrosion resistant and installed per manufacturers' instructions.

SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER



2x8 Ledger Board to be flashed and bolted (2) 1/2" bolts with washers or equivalent every 16" on center. (See ledger detail in deck construction guide)

Joists to be 2x8 pressure treated southern yellow pine installed 16" on center.

Beams to be 2-2x10 pressure treated southern yellow pine nailed.

Guard Rails to be 36" high with less than 4" openings per IRC code. (See rail detail in deck construction guide)

Stairs to be built max rise 7-3/4" min rise 4" in run 10" per IRC code. (See stair detail in deck construction guide)

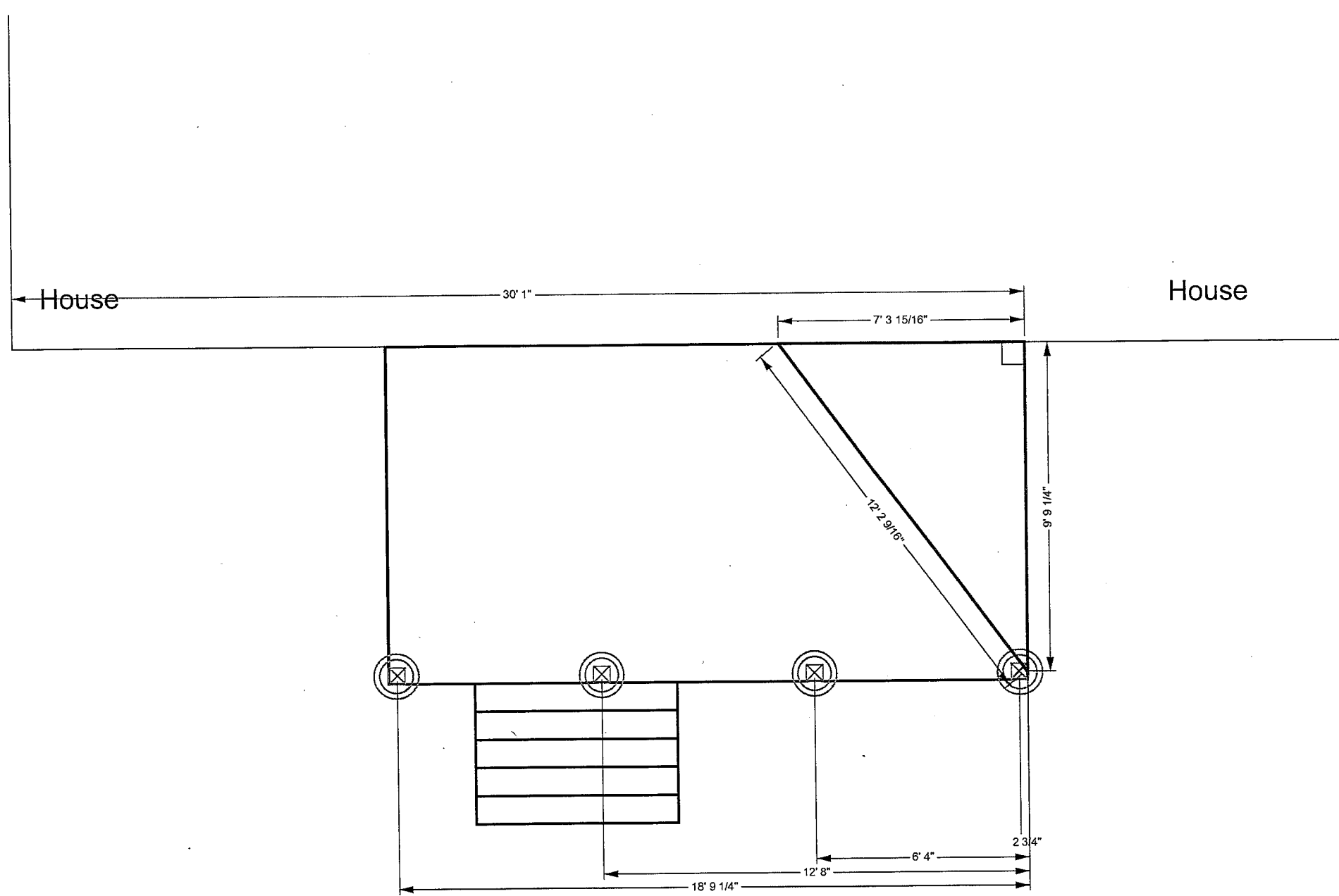
Decking to be 5/4x6 Pressure Treated Pine. (Follow manufacturers' installation instructions)

All hardware to be corrosion resistant and installed per manufacturers' instructions.

SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

BASED ON THE INTERNATIONAL RESIDENTIAL CODE

STAIR FOOTING REQUIREMENTS
WHERE THE STAIRWAY MEETS GRADE, ATTACH THE STAIR
STRINGERS TO THE STAIR GUARD RAIL POSTS. POSTS SHALL
BEAR ON FOOTINGS



Total Depth: 32
Base Diameter: 16
Pier Diameter: 16

Footings to be installed to 32" depth as is required by your local building ordinance. Frost footing sizes based on 55 lbs per square foot tributary loads applied to 1500 psi soil compression capacity (assumed clay soil). See footing detail in deck construction guide.

Footings to be installed to 32" depth as is required by your local building ordinance. Frost footing sizes based on 55 lbs per square foot tributary loads applied to 1500 psi soil compression capacity (assumed clay soil). See footing detail in deck construction guide.