

stanbetter architect

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April 20, 2020

Mr. Skylor Miller, Planning and Zoning Administrator
Sycamore Township
8540 Kenwood Road
Sycamore Township, OH 45236

Re: Letter of Intent for Zoning Variance
Zoning Permit Application SYZ-20-069
8084 Carnaby Lane
Cincinnati, OH 45249
Existing property 64 X 135 irregular. Approximately 9,100 sq. ft

Dear Mr. Miller,

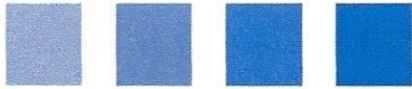
This letter is for the Board of Zoning Appeals to request a variance for a new open air attached roof structure to the above property. The Owners, Dr Fred Wagshul and Ms. Joyce Kamen wish to remove and existing 13 X 18 attached Pergola (please see photos) at the rear of the property and build a new attached 12 X 18 roof covering over an existing paver patio. The existing Pergola currently extends 18 feet from the building toward the rear of the property. The rear setback requirement is 30 feet for the property. Because of the irregular rear property line, this structure sits 16 feet into this setback (14 feet off the rear property line). The Owners wish to remove this structure and replace it with an attached open air roof structure that is only extends 12 feet from the existing house. This new roof structure will be only 10 feet into the setback (20 feet off the rear property line), thus improving the situation by 6 feet.

The Owners believe this request should be approved for the following reasons:

1. The irregular shape of the lot creates a hardship such that virtually no addition of any sort can be achieved because the 30 foot rear setback requirement. The existing dining area currently sits on the setback thereby making any addition to the rear virtually impossible. This is a hardship that is unique to this site.
2. This subdivision is a PUD and the Owners did not create this restrictive condition.
3. Beyond the rear property is subdivision green space, therefore no rear "property owner" would be affected.
4. As stated above, the proposed attached new roof will improve the existing condition and not make it worse.

The Owners state that this improvement will not:

1. Be detrimental to public welfare or materially injurious to the enjoyment, use, development value of the property or improvements permitted in the vicinity.



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2. Impair an adequate supply of light.
3. Increase hazardous conditions in public streets.
4. Increase danger of flood or fire.
5. Tax public utilities and facilities in the area
6. Endanger the public health or safety

It is our hope that the Sycamore Township Zoning Board will grant this requested Variance. Thank you for your time and consideration.

Stan Better AIA

Daves, Jessica

From: LJ Kn <cincynap11@hotmail.com>
Sent: Thursday, April 30, 2020 11:25 AM
To: Daves, Jessica
Subject: Zone app for Carnaby Lane

Jessica,

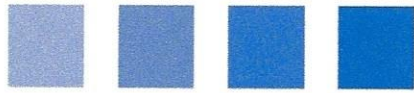
Hope you and the Township people are doing well.

The owners of the property on Carnaby have already received permission from the Somerset HOA board and architectural committee for the project pending any permits required by the Township and County.

Thank you for follow-up.

Larry Knapp
President Somerset HOA

Sent from [Mail](#) for Windows 10



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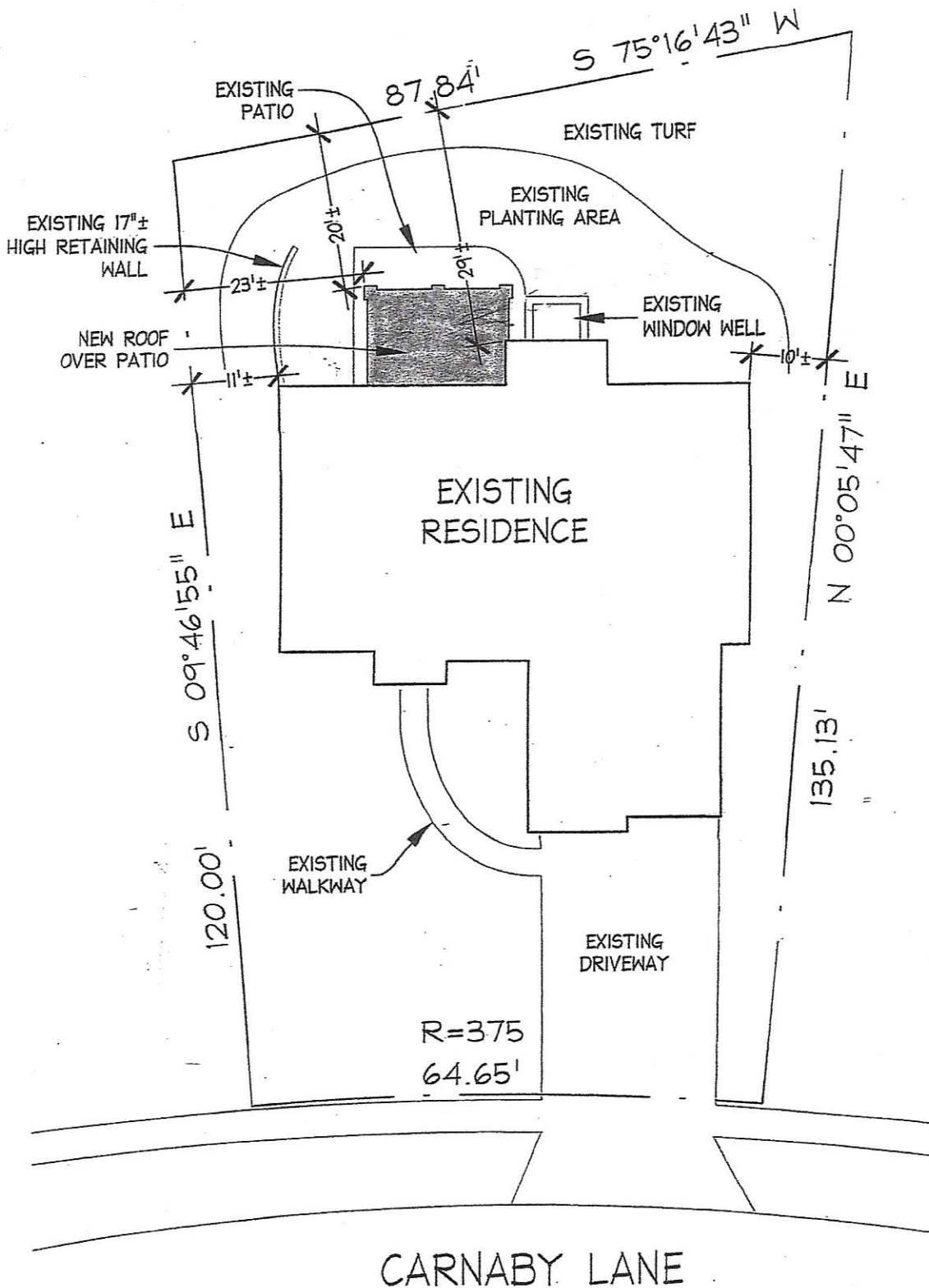
Properties Owners within 200 foot radius of 8084 Carnaby Ln.

Name	Address
Robert Loftus	8072 Carnaby Lane Cincinnati, OH 45249
Lori Zank	8076 Carnaby Lane Cincinnati, OH 45249
Marie Cioffi Samuel Zachary	8080 Carnaby Lane Cincinnati, OH 45249
Kenneth and Joan Murdock	8088 Carnaby Lane Cincinnati, OH 45249
Michele and William Witsken	8092 Carnaby Lane Cincinnati, OH 45249
Gary Peterson	8094 Carnaby Lane Cincinnati, OH 45249
Sharon Canning	8095 Carnaby Lane Cincinnati, OH 45249
Donald and Margaret Richter	8091 Carnaby Lane Cincinnati, OH 45249
Beryl Schneider Sandra Schwartz	8085 Carnaby Lane Cincinnati, OH 45249
Gloria Welling	8079 Carnaby Lane Cincinnati, OH 45249
Somerset Single Family Homeowners Assoc. Trotters Chase Towne Properties	11340 Montgomery Road, Suite 202 Cincinnati, OH 45249



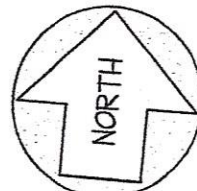
8084 CARNABY

EXISTING STRUCTURE



SITE PLAN

SCALE: 1" = 20'-0"



ADDITION & REMODELING OF RESIDENCE FOR:
FRED WAGSHUL & JOYCE KAMEN

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 CINCINNATI, OHIO 45249


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DESIGN CRITERIA - RESIDENTIAL CODE OF OHIO (RCO) 2019

ROOF / SNOW LOAD	20# / SQ.FT.
WIND SPEED	115 MPH
SEISMIC DESIGN CATEGORY	A
FROST LINE	30"
SUBJECT TO DAMAGE FROM WEATHERING	SEVERE
SUBJECT TO DAMAGE FROM TERMITES	MODERATE TO HEAVY
SUBJECT TO DAMAGE FROM DECAY	SLIGHT TO MODERATE
WINTER DESIGN TEMP	7°F
ICE SHIELD UNDERLAYMENT REQUIRED (ON FIRST 3' BEYOND PLANE OF WALL)	YES
FLOOD HAZARDS	1982
AIR FREEZE INDEX	100
MEAN ANNUAL TEMP	50°F

MINIMUM ASSUMED SOIL LOAD BEARING 401-4.1	1,500 PSF
MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE OF CONSTRUCTION TYPES AND LOCATIONS OTHER THAN THOSE LISTED BELOW	2,500 PSI ^a
MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE OF BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	3,000 PSI ^b
MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE OF PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS	3,500 PSI ^b

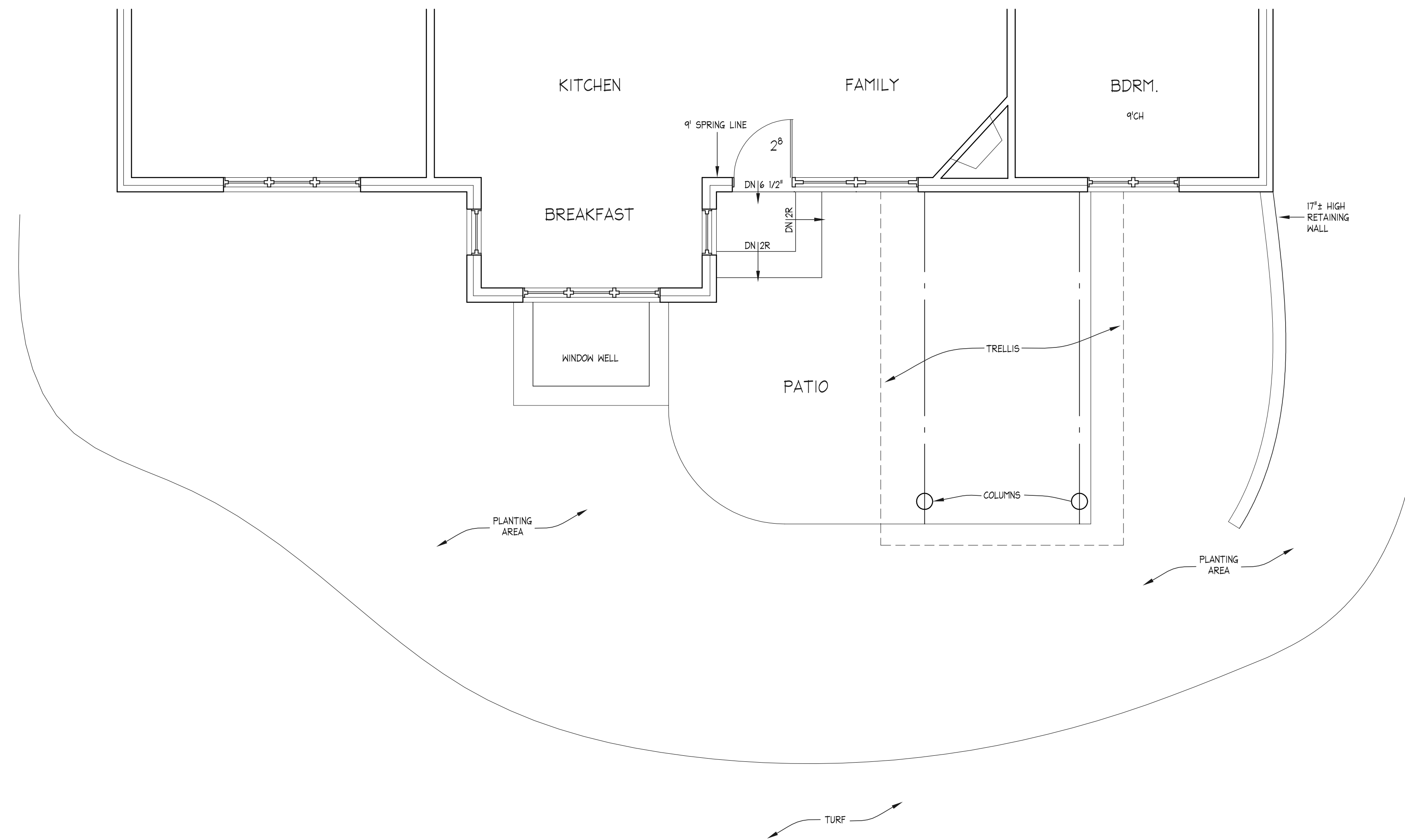
a. CONCRETE IN THESE LOCATIONS THAT MAY BE SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION SHALL HAVE 55-75 AIR ENTRAINMENT
 b. CONCRETE SHALL HAVE 55-75 AIR ENTRAINMENT

LUMBER STRENGTH SPECIFICATIONS					
MEMBER	DESCRIPTION	SPECIES	GRADE	NORMAL DURATION F _b	MODULUS OF ELASTICITY E
2X6	ROOF FRAMING	SOUTHERN YELLOW PINE	# 1	1650	1,700,000
2X8	ROOF FRAMING	SOUTHERN YELLOW PINE	# 1	1500	1,700,000
2X10	ROOF FRAMING	SOUTHERN YELLOW PINE	# 1	1300	1,700,000

GENERAL NOTES:

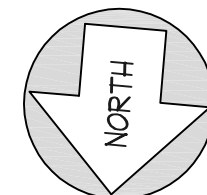
- General Contractor (GC) to field verify all conditions and dimensions and to immediately report any significant discrepancies of the plans and the actual field conditions to the attention of the Architect. The Architect shall respond to the GC report and make necessary recommendations. The GC and Owner shall indemnify and hold harmless the Architect from and against any and all claims, damages, losses and expenses arising out of or resulting from the performance of the services due to errors or omissions. The Architect's liability shall be limited to the Architect's compensation pursuant to any agreement with the GC or Owner.
- The latest version of the Ohio Residential Code as well as the latest Zoning Code of the governing municipality shall govern these drawings. The Architect reserves the right to make changes to the drawings if an item is in conflict with the latest up to date requirement, or a building official has a different interpretation of an item specified by the Architect. In either case, general note #1 regarding liability and indemnity applies.
- Any conditions or materials not specified, means to match on existing condition or material as closely as possible.
- All shaded walls on drawings are new walls. All unshaded walls are existing walls to remain.
- Pressure treated lumber shall be used on all areas where wood touches concrete, ground, or is exteriorly exposed to water.
- Erosion control measures shall be implemented during construction.
- All footings and piers shall be a minimum of 2'-6" below finished grade.
- Ice Guard is to be installed on all shingle roofs 3 feet beyond wall plane up the roof.
- Replace, repair, or reconfigure existing gutters, downspouts, and downspout terminations for newly remodeled areas.
- Apply dust containment and protect interior elements in immediate work areas.
- Provide final cleanup of all affected areas of construction.
- An automatic residential fire alarm system, as per the 2019 IRC code, is NOT REQUIRED.

- Section 314: Smoke Alarms:**
 - In every sleeping room.
 - Outside each separate sleeping area in the immediate vicinity of the sleeping rooms.
 - On each additional story including basements and habitable attics. (Item B counts as the requirement for the floor that the sleeping rooms are on.)
 - Within 3 feet horizontally from a door or opening that contains a bathtub or shower.
 - Smoke alarms shall not be installed within 20 feet of a cooking appliance.
 - Interconnection: The alarms shall be interconnected in such a manner that the actuation of one alarm will activate all alarms. Physical interconnection of smoke alarms shall not be required where listed and labeled wireless alarms are installed and all alarms sound upon activation of one alarm. EXCEPTION: Interconnection of smoke alarms in existing areas shall not be required where alterations or repairs do not result in the removal of interior wall or ceiling finishes exposing the structure, unless there is an attic, crawl space or basement available which could provide access for interconnection without the removal of interior finishes.
 - Combination alarms: Combination smoke and carbon monoxide alarms shall be permitted to be used in lieu of smoke alarms.
 - Power Source: Primary power shall be provided from permanent building wiring. When power is interrupted the smoke alarm shall receive power from a battery. EXCEPTION: Hard wiring of smoke alarms in existing areas shall not be required where the alterations or repairs are similar to exemption in Item F.
 - Fire alarm systems: Fire alarm systems shall be permitted to be used in lieu of smoke alarms. Where a household fire alarm is installed it shall be a permanent fixture of the occupancy, owned by the homeowner.
 - Combination detectors: Combination smoke and carbon monoxide detectors shall be permitted to be installed in the fire alarm systems in lieu of smoke detectors.
- Section 315: Carbon Monoxide Alarms:**
 - In every new or altered sleeping room.
 - Outside every new or altered sleeping room.
 - An addition of, or alteration to, an attached garage.
 - An addition, alteration, repair or replacement of a fuel fired appliance.
 - Outside of each sleeping area in the immediate vicinity of the bedrooms. Where a fuel burning appliance is located within a bedroom or it's attached bathroom, a carbon monoxide alarm shall be installed within the bedroom.
 - Combination carbon monoxide and smoke alarms shall be permitted to be used in lieu of carbon monoxide alarms.
 - Carbon monoxide detection systems shall be permitted to be used in lieu of carbon monoxide alarms.
 - Where a household carbon monoxide detection is installed, it shall be a permanent fixture of the occupancy and owned by the homeowner.
- Section 302.11: Fireblocking**
 - Fireblocking shall be provided to cut off both vertical and horizontal concealed draft openings and to form an effective fire barrier between stories, and between a top story and the roof space. Provide fireblocking in the following locations:
 - In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs vertically at the ceiling and floor levels, and horizontally at intervals not exceeding 10 feet.
 - At intersections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, and cove ceilings.
 - In concealed spaces between stair stringers at top and bottom of run.
 - At openings around vents, pipes, ducts, cables and wires at ceiling and floor level.
 - Chimneys and fireplaces.
 - Fireblocking materials shall conform to section 302.11.1 through 302.11.1.3
- Section 302.12: Draftstopping**
 - Where there is usable space both above and below the concealed space of a floor ceiling assembly, draftstopping shall be installed so that the area of the concealed space does not exceed 1,000 square feet.
 - Draftstopping shall divide the concealed space into approximately equal areas.
 - Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor-ceiling assemblies when ceiling is suspended under the floor framing or if floor framing is constructed of a truss-type open-web or perforated members.
 - Materials for draftstopping shall be not less than 1/2 inch gypsum board, 3/8 inch wood structural panels or other approved materials.

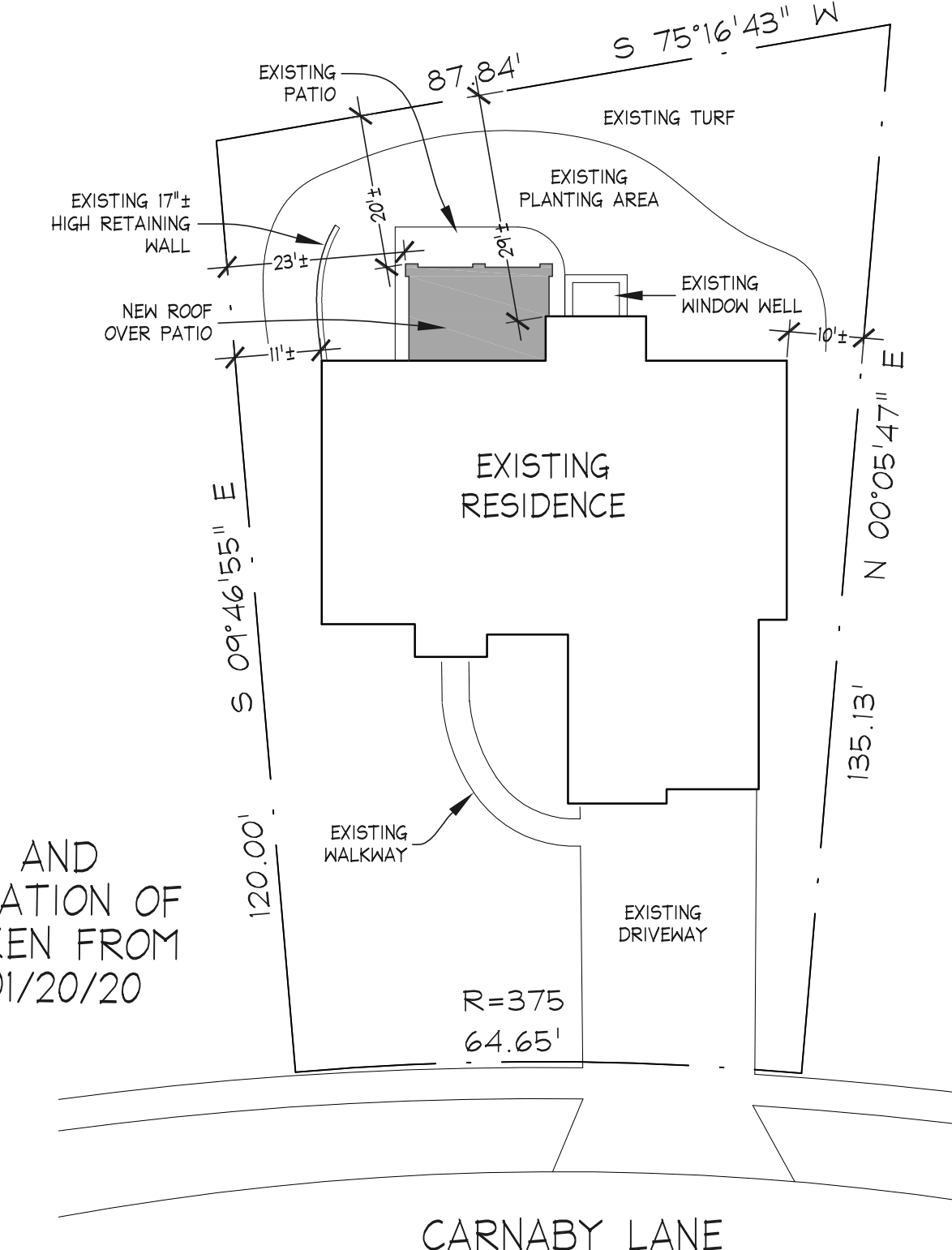


EXISTING PARTIAL 1ST FLOOR PLAN

SCALE: 1/4" = 1'- 0"



SURVEY DATA AND APPROXIMATE LOCATION OF RESIDENCE IS TAKEN FROM CAGIS ON LINE 01/20/20



SITE PLAN

SCALE: 1" = 20'-0"

SYCAMORE TOWNSHIP, OHIO ZONING: B-2 SINGLE FAMILY RESIDENCE	
LOCATION	SETBACKS
FRONT	35'
SIDES	5' MIN. / 13' TOTAL
REAR	30'

INDEX TO DRAWINGS	
SHEET	DESCRIPTION
1	SITE PLAN, NOTES, EXISTING PARTIAL 1ST FLOOR PLAN, & INDEX TO DRAWINGS
2	EXISTING ELEVATIONS
3	PROPOSED PARTIAL 1ST FLOOR PLAN
4	PROPOSED ELEVATIONS & SECTION
5	PLAN & SECTION DETAILS



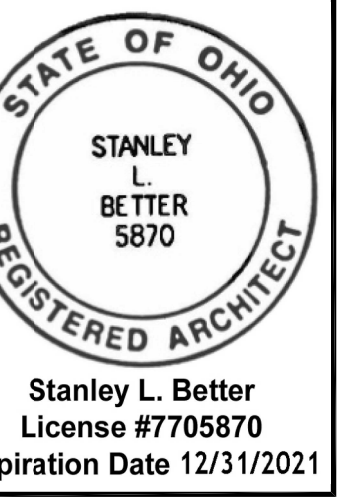
NO.	REVISIONS	DATE	BY

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ADDITION & REMODELING OF RESIDENCE FOR:
FRED WAGSHUL & JOYCE KAMEN
 8084 CARNABY LN.
 CINCINNATI, OHIO 45249

DATE	03/05/20	JOB No.	
SHEET	1		
TITLE	SITE PLAN, NOTES & INDEX TO DRAWINGS		



NO.	DATE	REVISIONS	DRAWN BY:
			KMH

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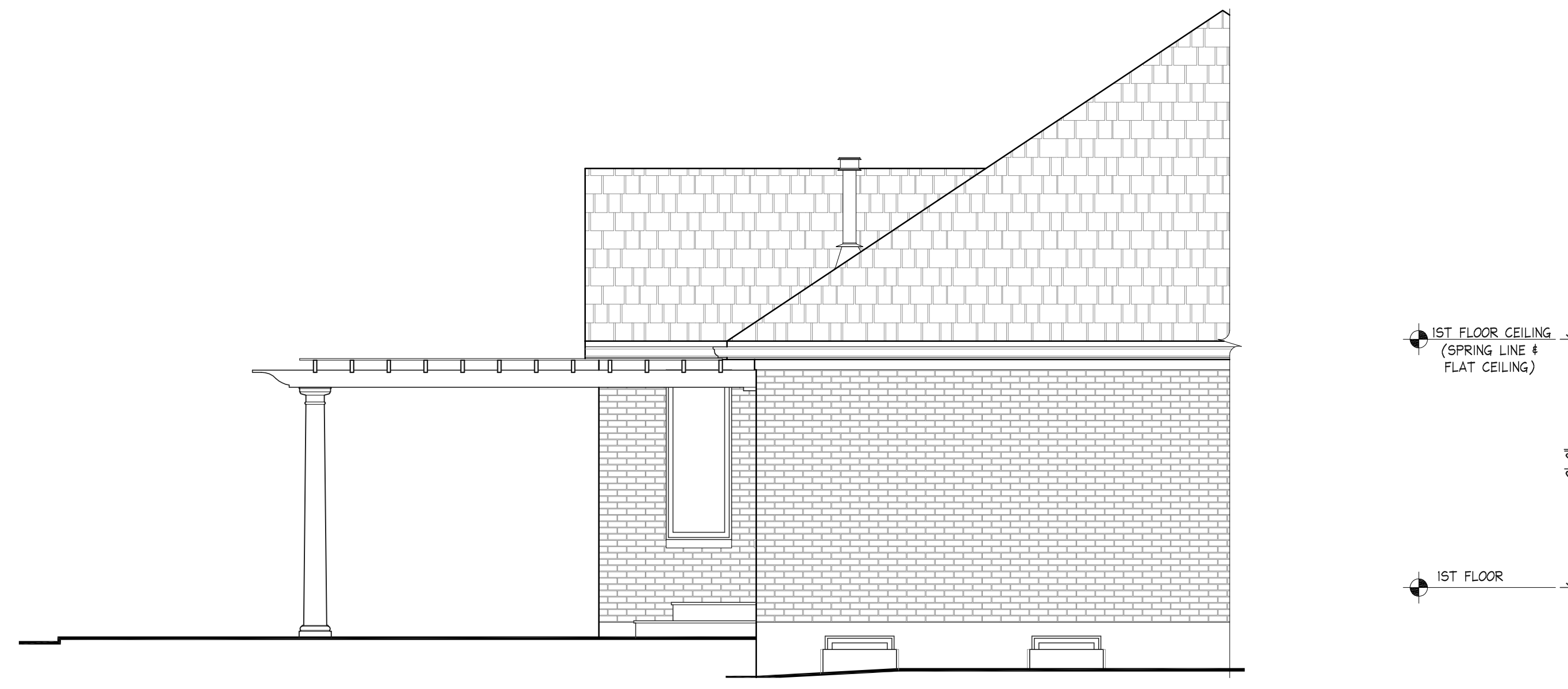
SHEET **2**

TITLE
EXISTING ELEVATIONS



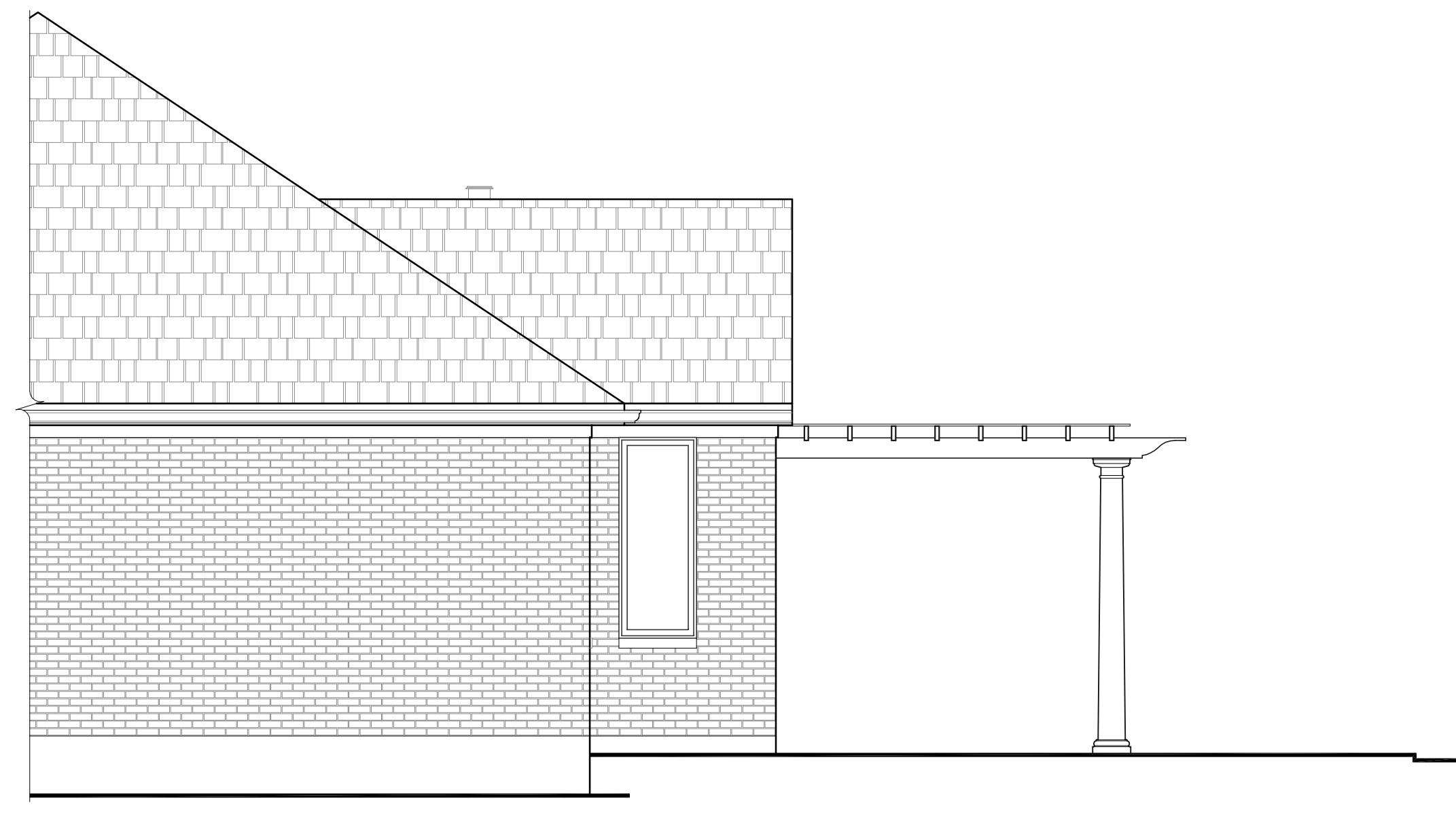
EXISTING REAR ELEVATION

SCALE: 1/4" = 1'- 0"



EXISTING PARTIAL LEFT ELEVATION

SCALE: 1/4" = 1'- 0"



EXISTING PARTIAL RIGHT ELEVATION

SCALE: 1/4" = 1'- 0"

NO.	DATE	REVISIONS	BY

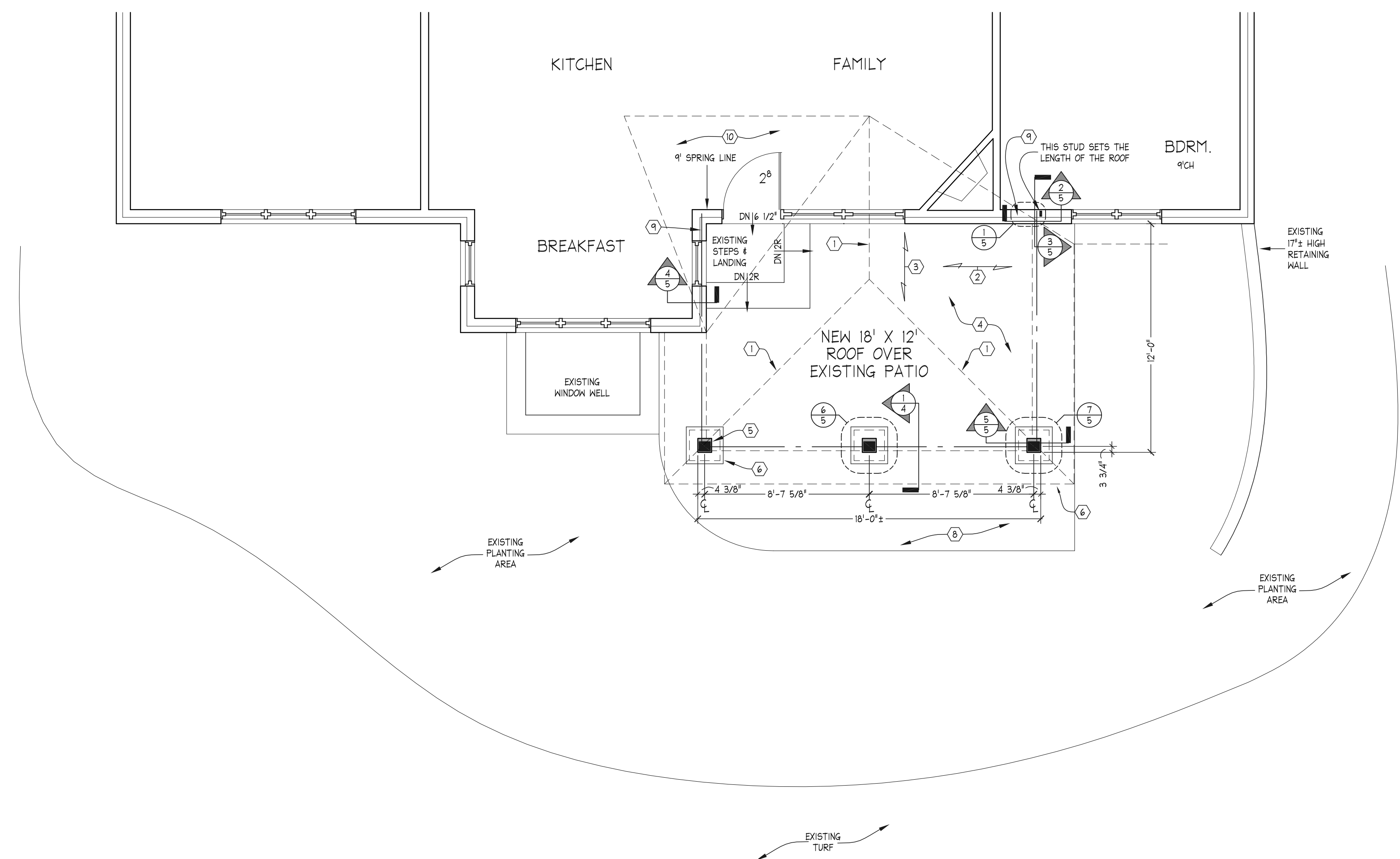
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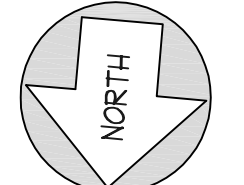
SHEET	3
TITLE	PROPOSED PARTIAL 1ST FLOOR PLAN



- CONSTRUCTION NOTES**
- ① 2X10 HIP RAFTERS AND RIDGE BOARD.
 - ② 2X8 RAFTERS @ 16' O.C.
 - ③ 2X6 CEILING JOISTS @ 16' O.C.
 - ④ BEADBOARD CEILING.
 - ⑤ COLUMN MADE UP OF (4) 2X8(PT). SEE DETAILS ⑤/① + ⑦/⑤.
 - ⑥ COLUMN BASE. SEE DETAIL ⑤/①.
 - ⑦ ROOF OVERHANG.
 - ⑧ EXISTING PATIO TO REMAIN.
 - ⑨ REMOVE BRICK AS NECESSARY.
 - ⑩ INSTALL ROOF CRICKET FOR POSITIVE DRAINAGE.

PROPOSED PARTIAL 1ST FLOOR PLAN

SCALE: 1/4" = 1' - 0"



NO.	DATE	REVISIONS	DRAWN BY: KMH

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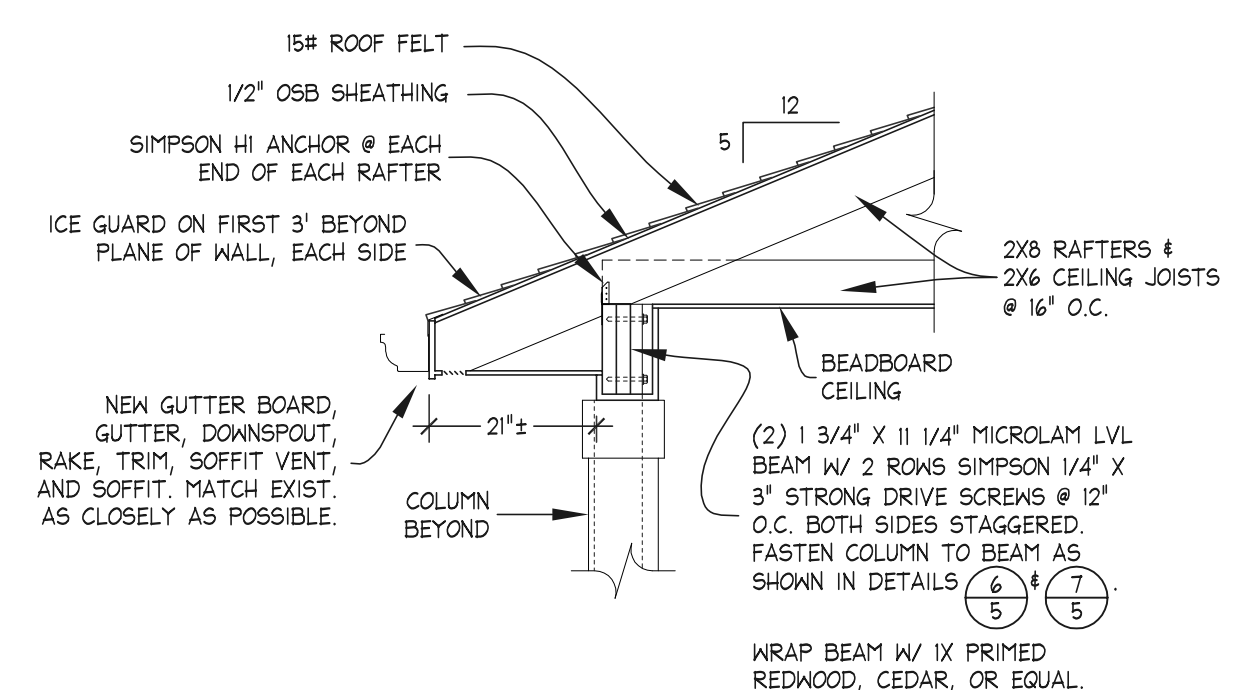
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DATE: 03/05/20
 JOB No.:

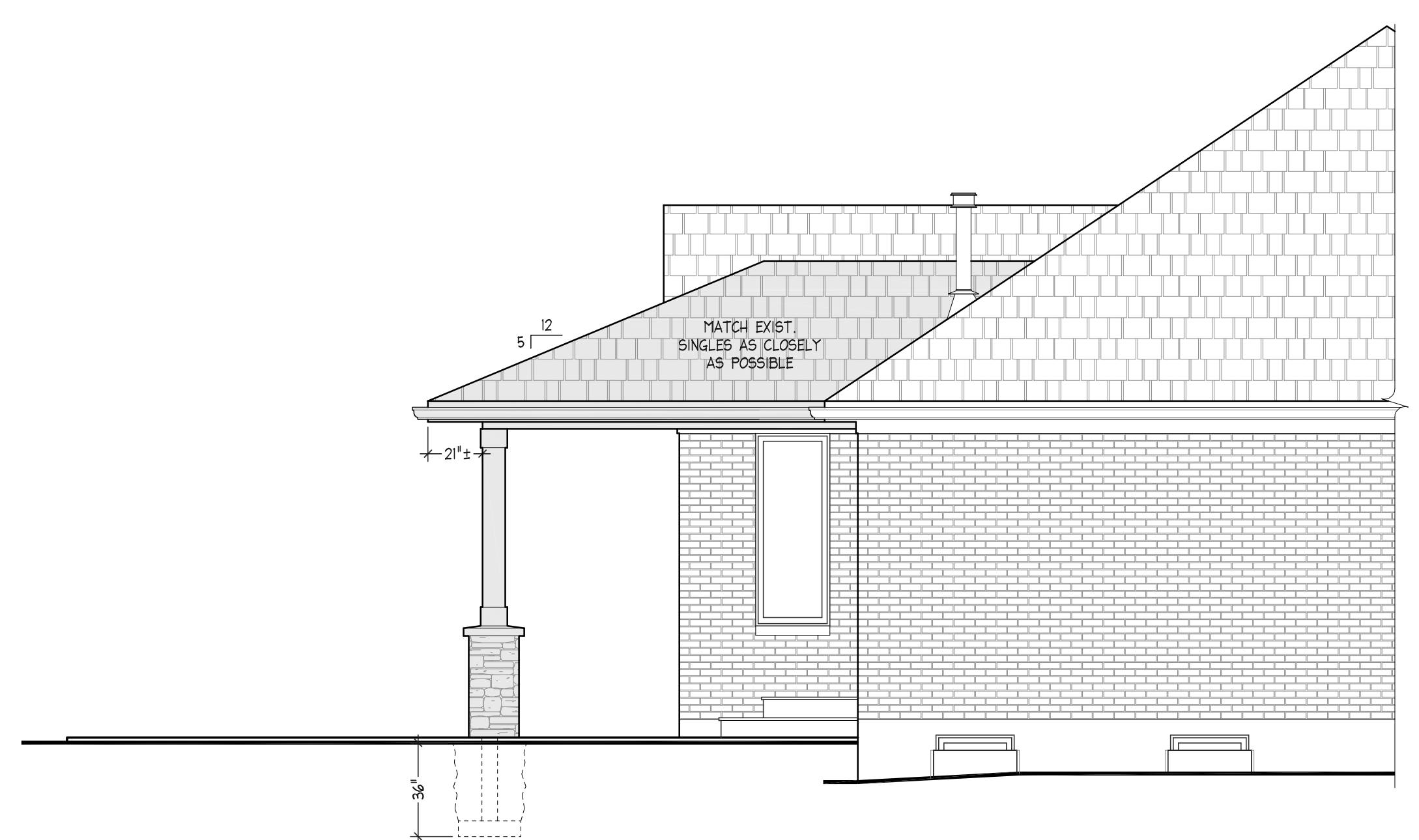
SHEET: 4
 TITLE: PROPOSED ELEVATIONS & SECTION



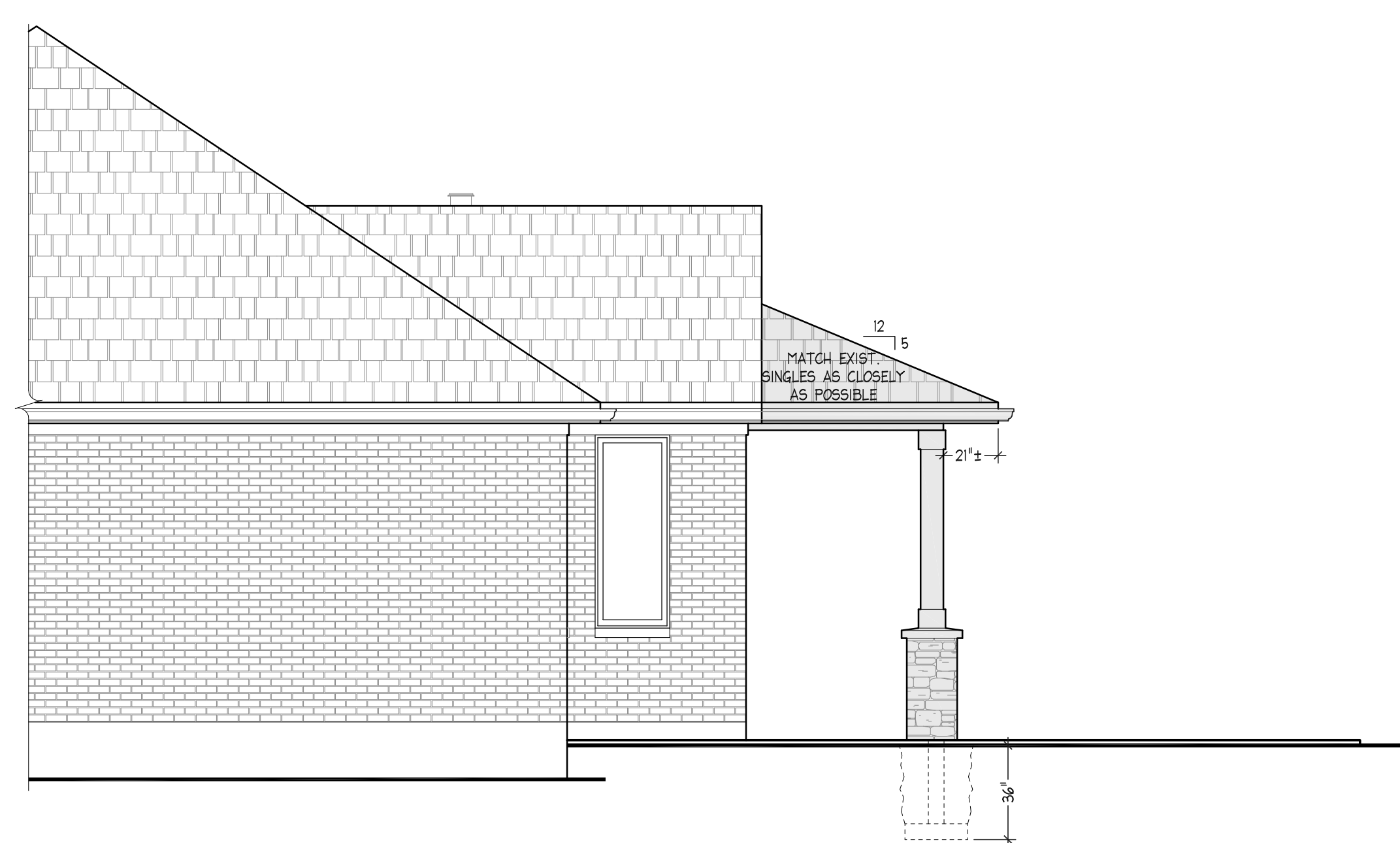
PROPOSED REAR ELEVATION
 SCALE: 1/4" = 1'-0"



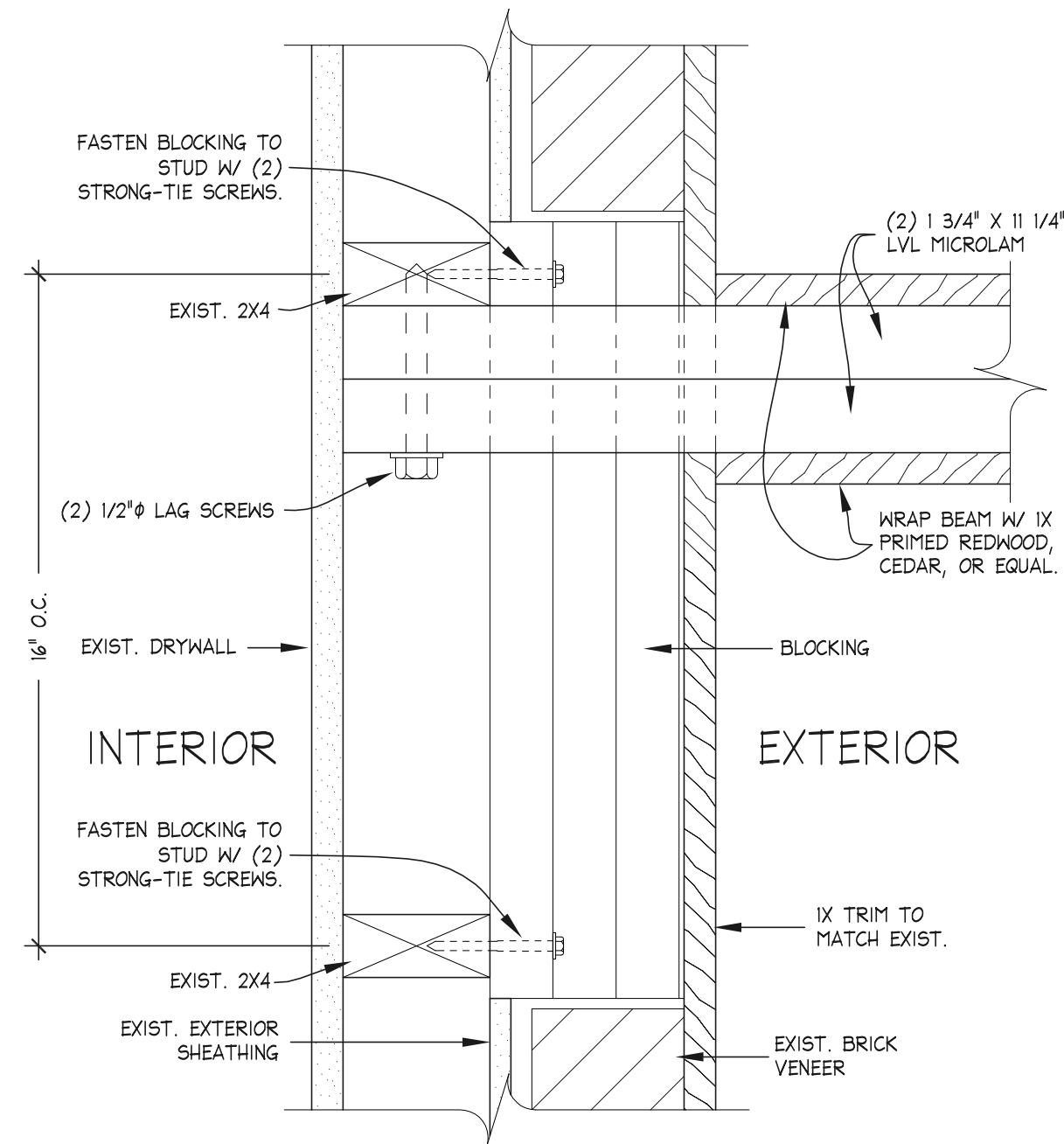
SECTION 1/4
 SCALE: 1/2" = 1'-0"



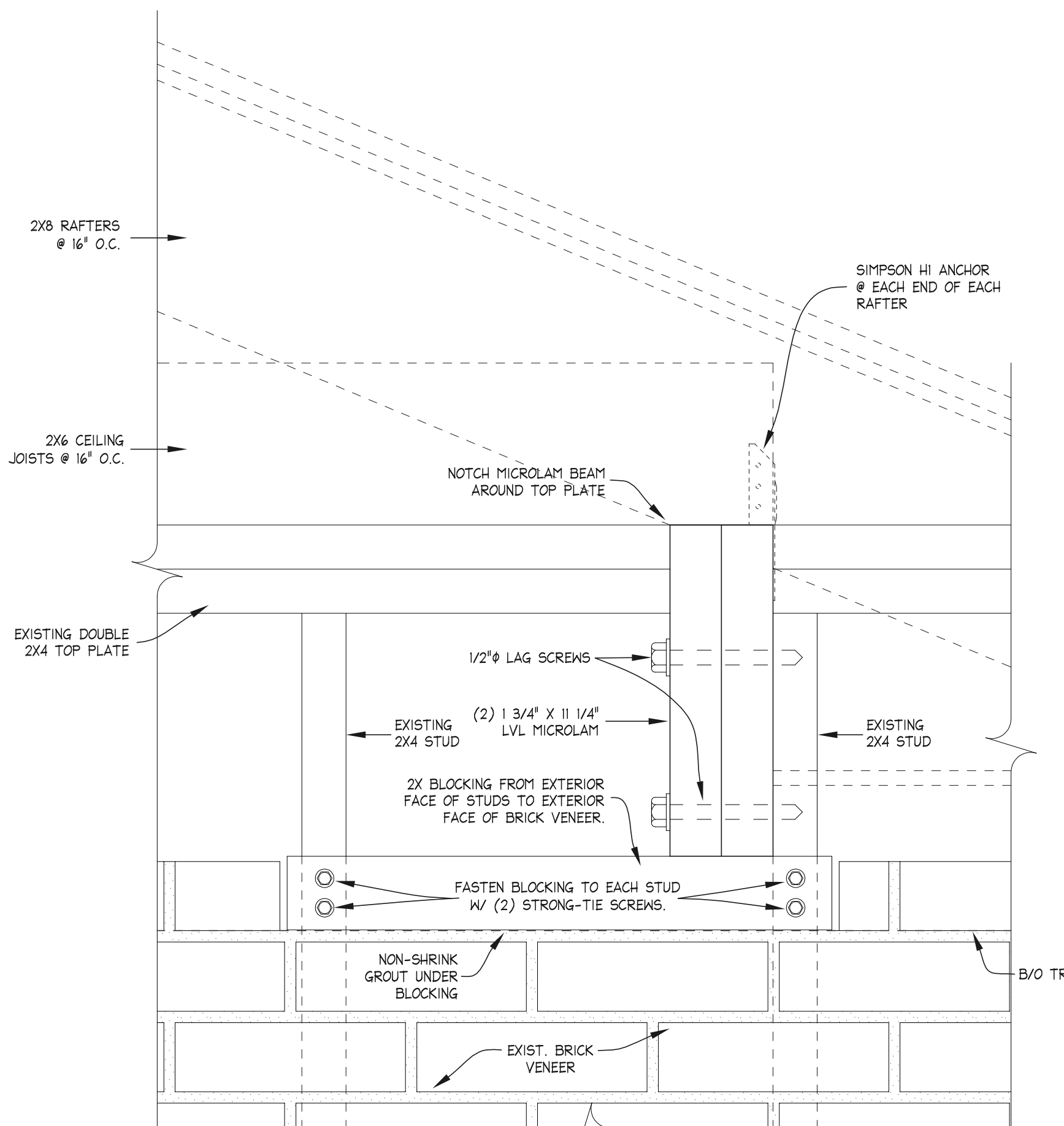
PARTIAL LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



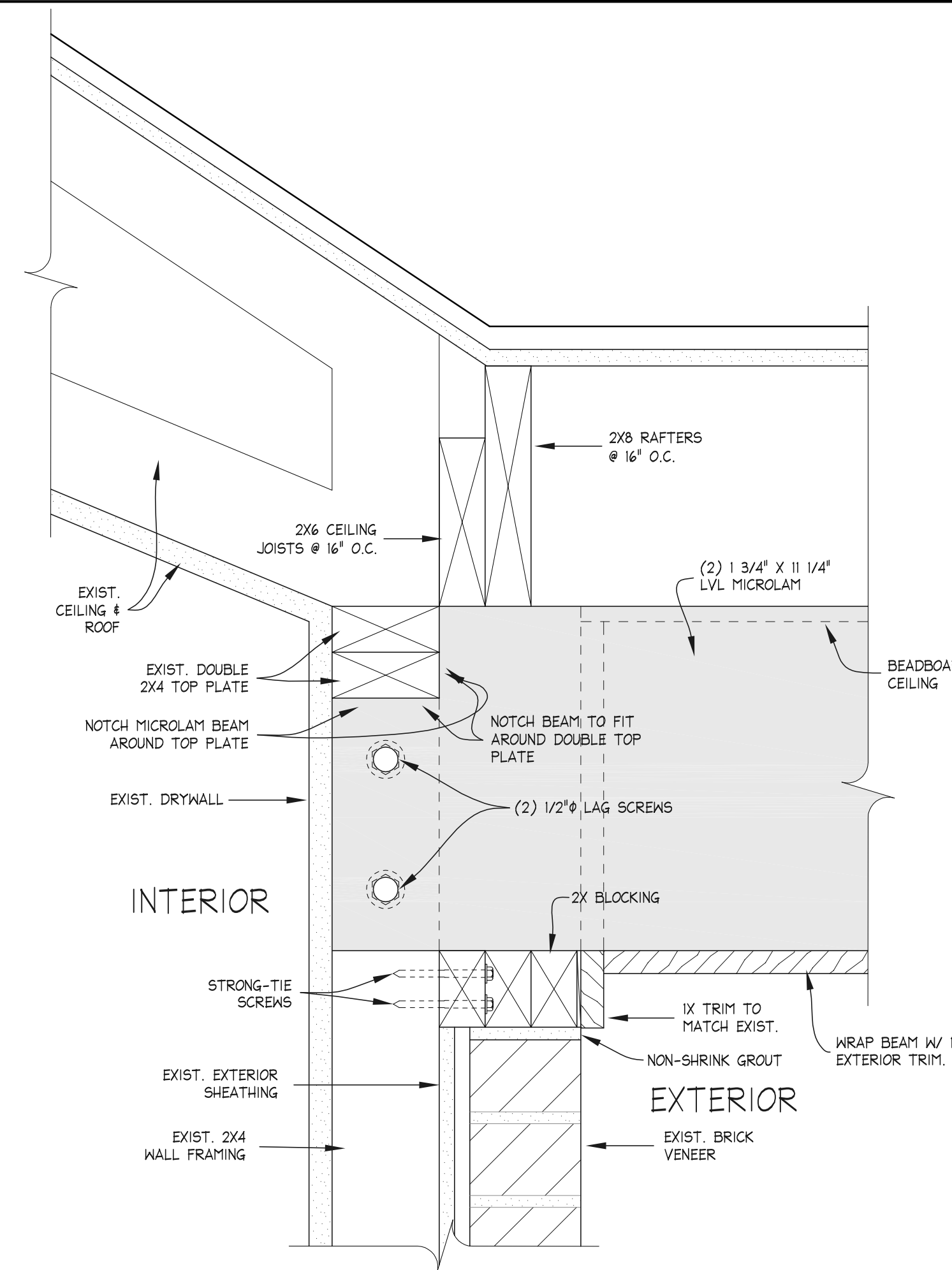
PARTIAL RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



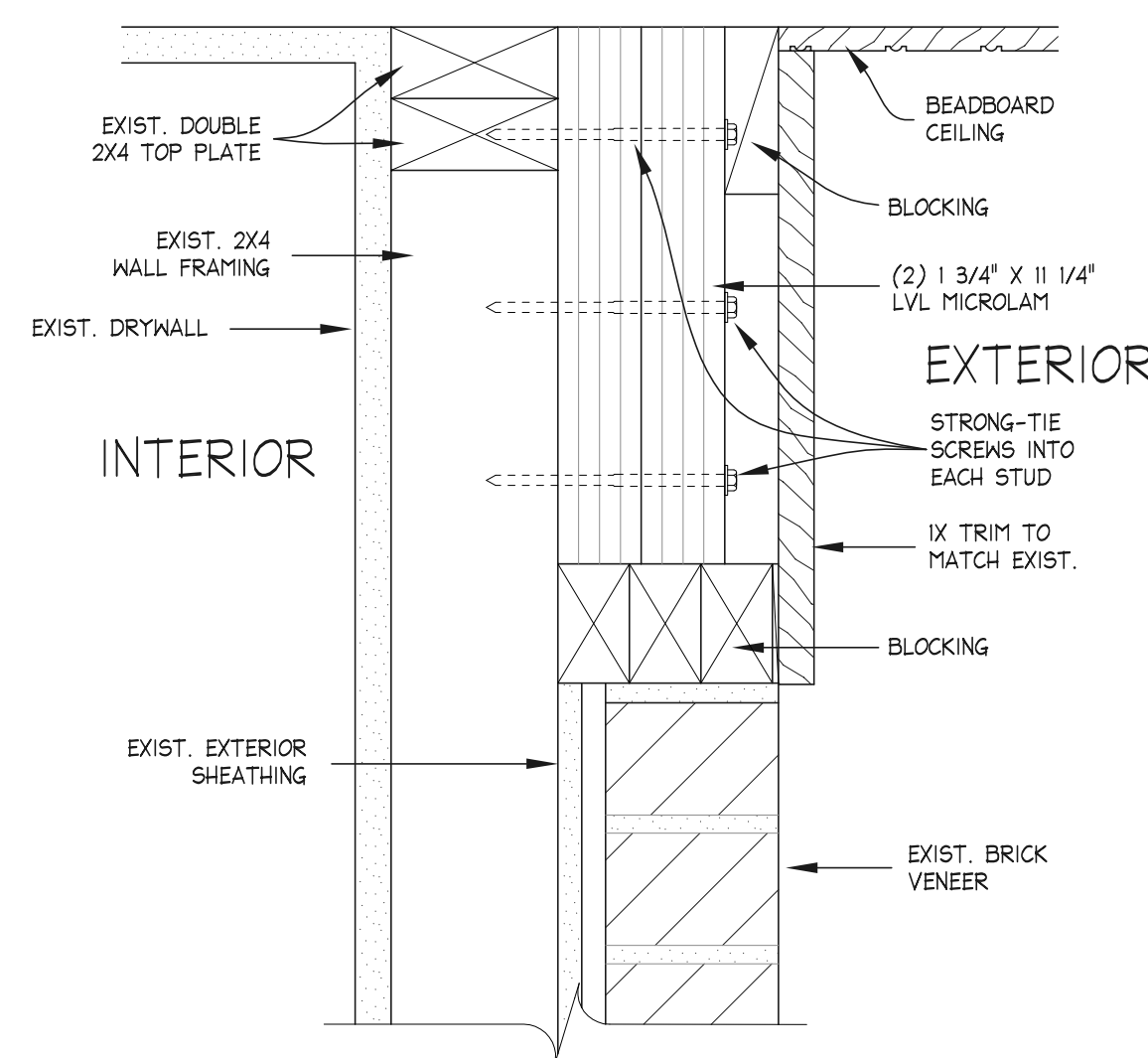
PLAN DETAIL 1
SCALE: 3" = 1'-0"



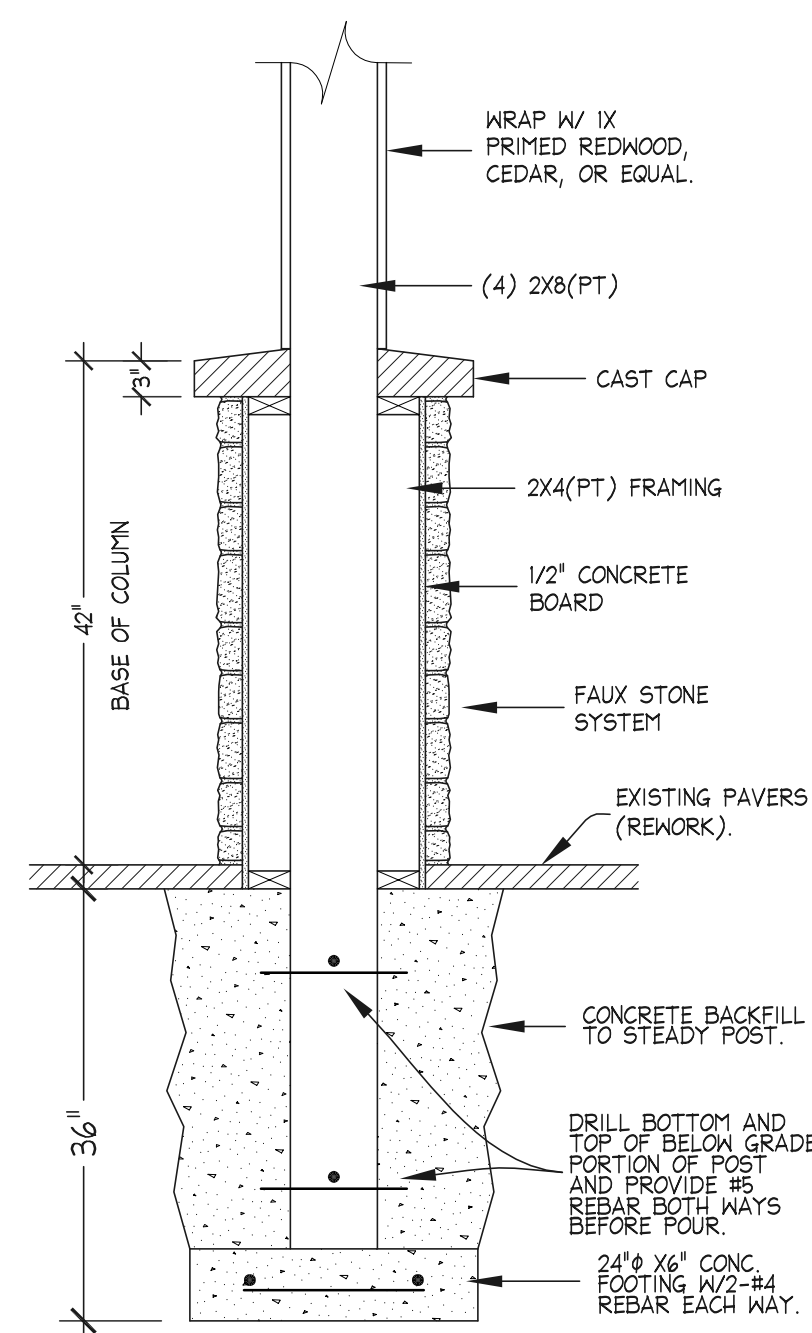
SECTION DETAIL 2
SCALE: 3" = 1'-0"



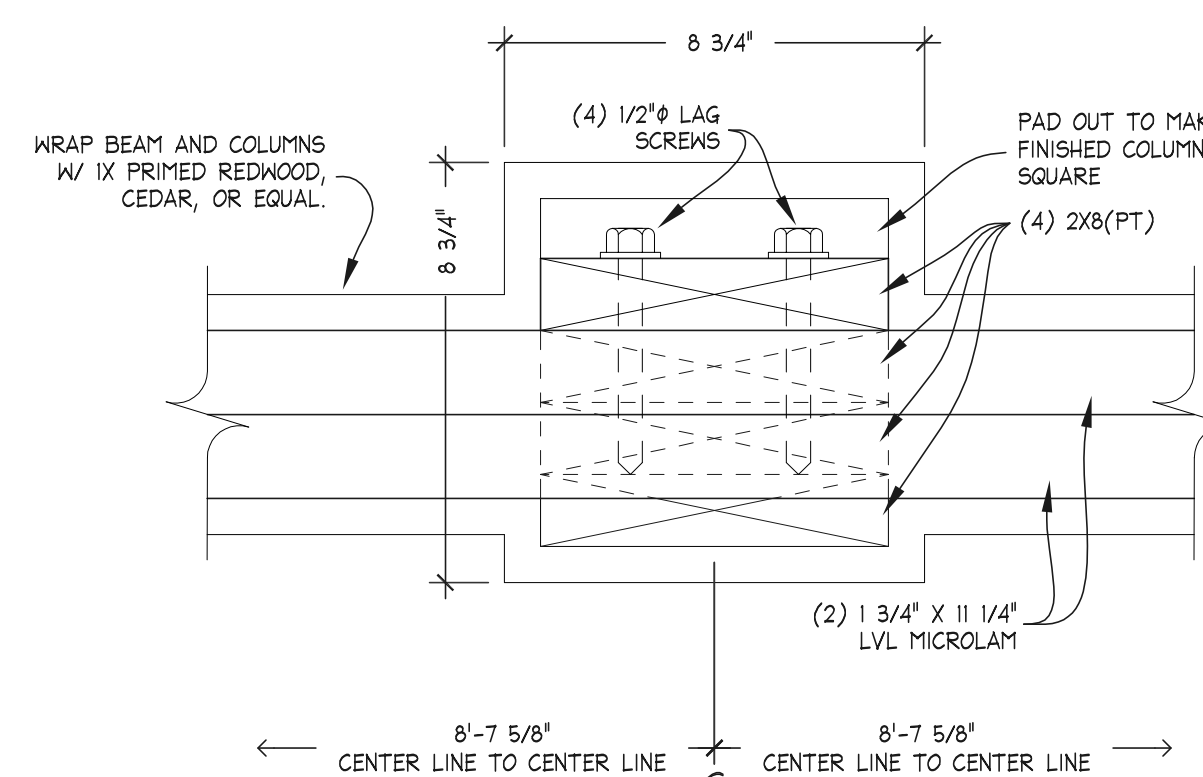
SECTION DETAIL 3
SCALE: 3" = 1'-0"



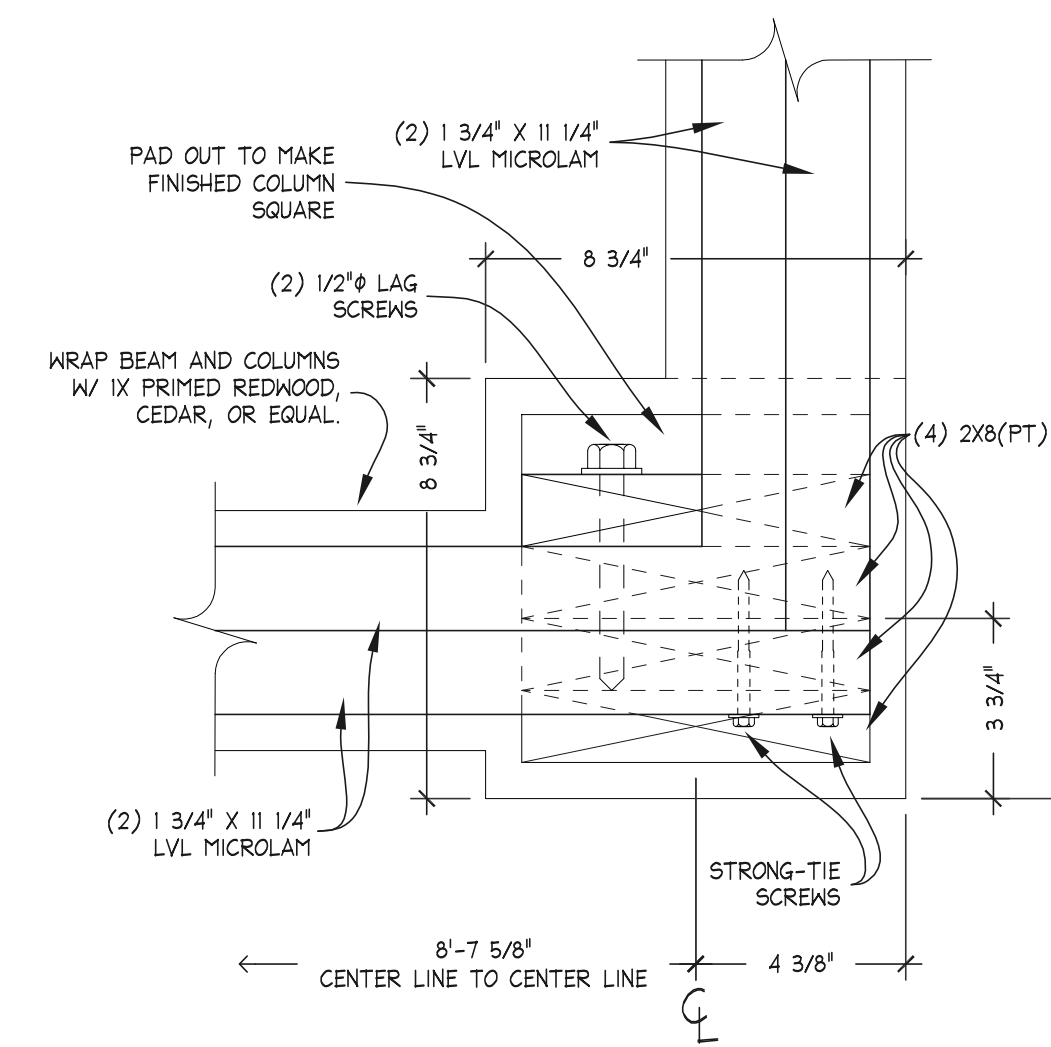
SECTION DETAIL 4
SCALE: 3" = 1'-0"



SECTION DETAIL 5
SCALE: 3/4" = 1'-0"



PLAN DETAIL 6
SCALE: 3" = 1'-0"



PLAN DETAIL 7
SCALE: 3" = 1'-0"

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SHEET	5		
TITLE	PLAN & SECTION DETAILS		