

**SYCAMORE TOWNSHIP BOARD OF ZONING APPEALS**

**RESOLUTION NO. SYCB230004**

**A RESOLUTION APPROVING A REQUEST FOR A CONDITIONAL USE**

**WHEREAS**, Bryan Fetzer, Cincinnati Hills Christian Academy, (Applicant) made application (the "Application") for a conditional use permit in order to revamp the existing baseball complex on the property located at 11525 Snider Road, Sycamore Township, Hamilton County, Ohio, Auditor's Parcel Number 600-0012-0027-00 (the "Real Property"); and

**WHEREAS**, notice of a public hearing to consider the Application for such conditional use was given by mail to parties in interest within two hundred feet of the Real Property and also by publication in a newspaper of general circulation in Sycamore Township, prior to the date of the public hearing; and

**WHEREAS**, a public hearing was held on Monday, April 17, 2023 by the Sycamore Township Board of Zoning Appeals to consider the Application at which time testimony and evidence was taken concerning the application; and

**WHEREAS**, the Sycamore Township zoning text and map indicate that the Real Property is located in the "A-2" - Single Family Residential district; and

**WHEREAS**, the Sycamore Township Board of Zoning Appeals has the authority to grant conditional uses from the provisions of the Sycamore Township Zoning Resolution where a literal interpretation of the zoning regulations would result in an unnecessary hardship to the owner of real property; and

**WHEREAS**, the Sycamore Township Board of Zoning Appeals has the authority to grant a conditional use permit and variances for a school in a residential district; and

**WHEREAS**, the Sycamore Township Board of Zoning Appeals finds that the granting of the conditional use requested in the Application will not seriously affect the general health, safety and morals of neither the Township nor the adjoining property owners;

**NOW THEREFORE, BE IT RESOLVED**, by the Sycamore Township Board of Zoning Appeals:

**SECTION 1.** That the Application of Bryan Fetzer, Cincinnati Hills Christian Academy, (Applicant) for the property located at 11525 Snider Road, Sycamore Township, Hamilton County, Ohio is hereby approved.

**SECTION 2.** That the approval of the Application granted in this Resolution is subject to the following:

1. Similar to the condition from Case 36-97 (conditionally approved CHCA football field): The proposed public announcement system shall include a compressor limiter (e.g., a volume switch) to control the volume when the proposed system is in use and the volume of the proposed system does not exceed the limits as set forth by applicable Sycamore Township resolutions.
2. The baseball complex shall be limited to one (1) digital scoreboard/videoboard; the videoboard face shall measure 26' wide x 19' tall, and the total height from grade shall be a maximum of 37'. The back of the scoreboard shall not have any signs on it and shall have a maintained backing of a single neutral color of green, brown, tan, black or gray.
3. Signage inside of the baseball playing field area, such as on the outfield walls or the field side of the grandstand, shall be permitted and not regulated by the Township. On the grandstand behind the home

plate, unless approved by variance, signage shall only be permitted on the grandstand's field side (home plate side).

4. No signage shall be permitted on the exterior walls of the stadium.
5. A non-digital donor memorial located at the entrance of the stadium in the decorative paving area, shall be permitted and not considered a sign. The memorial face would measure no more than 10'x10' with a max memorial height of twelve feet. The memorial could be two-sided.
6. The lighting system shall utilize state-of-the-art, highly focused LED light fixtures, as shown.
7. The proposed landscaping shall be planted and located generally as shown on the submitted landscape plan and maintained at all times.
8. If the applicable variances are approved following the consideration of this conditional use review, the site plan shall generally conform to the plan shown in this case; as determined by staff, major site arrangement adjustments to the site plan shall require further Board of Zoning Appeals review.
9. The conditions of this conditional use case are solely for the baseball complex. If the school seeks changes at the football complex, a separate conditional use case shall be required to amend the existing Case 36-97.
10. The location of the curb cut for the emergency access drive shall be approved by the Hamilton County Engineer's Office. The approval correspondence shall be provided to staff prior to the approval of the Zoning Compliance Plan.
11. The emergency access drive and bus parking area shall be an impervious surface as required by the Sycamore Township Zoning Resolution.
12. An access gate shall be installed, which would limit access to the private access road and shall be installed and utilized during non-event periods. Access methodology (e.g., a Knox box) to the access gate shall be approved by the Sycamore Township Fire Department before the Zoning Compliance Plan phase is approved.
13. The max height of the outfield netting shall be no taller than 50 feet tall.
14. The building materials shown in this case shall be implemented, unless, as reviewed by staff, higher-quality building materials are proposed.
15. Sound amplification shall be limited to the area occupied by the grandstand structures.
16. The exterior wall facades and netting shall be limited to the neutral colors of green, brown, tan, black, or gray.

### **SECTION 3.**

That the approval of the following variances shall be granted:

#### **1. Validity Period:**

For all of the elements related to the above Conditional Use case, CHCA shall be permitted a variance to allow for a two-year validity period unless a building permit is issued.

#### **2. Height of the Light Standards:**

If, and only if, the lighting system utilizing state-of-the-art, highly focused light fixtures, as shown in this case, is used, the max height of the eight proposed light standards shall be no more than 65' in height.

- #### **3. Setback of buildings/structures from Snider Road and I-71:**
- The following buildings and estimated structures' setbacks shall be approved consistent with the site arrangement of the site plan provided in this case. Exact setback measurements shall be added to the plan prior to the approval of the Zoning Compliance Plan. 1. Northernmost light standard closest to Snider Road – proposed setback 34.5' from Snider r.o.w.; 2. Middle light standard along Snider Road –36' from Snider r.o.w.; 3. Southernmost light standard along Snider r.o.w – 37' from Snider r.o.w.; 4. Batting Cages at the project's north end –32.7' from Snider r.o.w., 71 r.o.w. 13.5'; 5. Storage Building near I-71 r.o.w. – 8.5'; Digital Scoreboard – 30' from I-71 r.o.w, left-field fencing and screen – 17' from I-71 r.o.w., in addition to, the Snider Rd netting, if required (depending on Snider netting height).

4. **Sign Variance for the backside of the grandstand** – As shown in the plan, an allowance for up to two wall signs on the back side of the grandstand, not exceeding more than 150 square feet.

**SECTION 4.**

No Zoning Certificate shall be issued by the Zoning Administrator until:

A. A Zoning Compliance Plan in compliance with this Resolution has been received and approved by the Zoning Administrator; and

B. All documents submitted for zoning certificates are fully coordinated and consistent with the approved Zoning Compliance Plan.

The Hamilton County Building Commissioner shall issue no building permit for actual construction before a Zoning Certificate is received from the Zoning Administrator.

**SECTION 5.**

The Zoning Administrator shall issue no Final Zoning Certificate until the development complies with all requirements contained in this Resolution and the Zoning Compliance Plan.


**SECTION 6.**

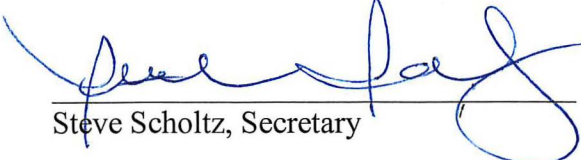
All aspects of the development of the property including, but not limited to, property improvements, landscaping, and ground cover, as set forth in the plans, specifications, covenants, conditions, requirements and limitations of the Zoning Compliance Plan and contained in this Resolution shall be continually maintained by the owner of the property. Any failure to maintain the development shall be considered a violation of the Zoning Resolution and shall be subject to all penalties and remedies there under.

**VOTE RECORD:**

Mr. Schwartz:	YES
Mr. Leugers:	YES
Mr. Ten Eyck:	YES
Ms. Hughes:	YES
Mr. Scholtz:	YES

**APPROVED** at a meeting of the Sycamore Township Board of Zoning Appeals this 17<sup>th</sup> day of April, 2023.

  
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Ted Leugers, Chairman

  
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Steve Scholtz, Secretary