

SYCAMORE TOWNSHIP, OH  
DEPARTMENT OF PLANNING & ZONING  
8540 KENWOOD ROAD, CINCINNATI, OH 45236

513.792.7250 PHONE 513.792.8564 FAX



BZA APPLICATION	
<b>FEES:</b>	
APPEAL:	\$150.00
VARIANCE:	\$150.00
CONDITIONAL USE:	\$500.00
NON-CONFORMING USE:	\$500.00

COMMERCIAL	RESIDENTIAL
	X

APPLICATION NUMBER
<b>SYCB230006</b>
DO NOT WRITE IN THIS SPACE

1. PROJECT ADDRESS: 8098 Carnaby Lane ZIP CODE: 45249

2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER
<small>OWNER</small> Eric Hagerstrand Trust	8098 Carnaby Lane	Cinti	OH	45249	513-235-1441
<small>CONTRACTOR</small> All Decked Out 513 LLC	7300 E Kemper Rd	Cinti	OH	45249	513-886-7772
<small>DESIGNER</small> All Decked Out 513 LLC	7300 E Kemper Rd	Cinti	OH	45249	513-886-7772
<small>APPLICANT</small> All Decked Out 513 LLC	7300 E Kemper Rd	Cinti	OH	45249	513-886-7772
<small>APPLICANTS E-MAIL ADDRESS</small> info@alldeckedout513.com				cell-	513-602-5811

3. BZA ACTION REQUESTED: APPEAL  VARIANCE   
CONDITIONAL USE  NON-CONFORMING USE

4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:  
Existing single family home zoned B-2 CUP with no plan of changing. We are  
proposing a re-build of a deck on the rear of the home, same footprint as exists  
presently.

5. SQUARE FEET: 247 6. USE: SFD 7. HEIGHT: 9'  
8. EST. START DATE: ASAP 9. EST. FINISH DATE: 2 wks after start

THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Board of Zoning Appeals application.

NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.

Janica Hagen - All Decked Out 513 08/31/2023  
APPLICANT'S SIGNATURE DATE  
Eric C. Hagerstrand 31 AUG 23  
PROPERTY OWNER'S SIGNATURE DATE

Ann Hagerstrand  
DO NOT WRITE BELOW THIS LINE



All Decked Out 513, LLC  
7300 E Kemper Road  
Cincinnati, OH 45249

Sycamore Township  
Planning & Zoning Department  
8540 Kenwood Road  
Sycamore Township, OH 45236

August 30, 2023

RE: Zoning Variance Request for 8098 Carnaby Lane - Parcel No. 600-0012-0118

Dear Board Member of Zoning Appeals,

I am writing on behalf of the owner/resident's at 8098 Carnaby Lane, Eric and Ann Hagerstrand, with a request for your consideration on a zoning variance needed for a new deck build my company has been hired to do for these homeowners. We are in need of a variance to allow for a deck to be re-constructed in the same location and size (same footprint) as is presently on the home which was original to the home, which will mean that we need be allowed to build inside the rear yard setback and instead the deck will sit 10.2 -10.4 feet off the rear property line; just as it was originally constructed to do so in 2000. The home is also inside the rear yard setback as well so is already an exception.

The home is presently zoned as a B-2 CUP - SFD. It is lot 28 in Trotter's Chase Subdivision and the lot size is 0.218 acres. The family purchased the home in 2016 and have resided in it since and were not the original owners. The home was built in 2000 by Kemper Developments, LLC and then has changed ownership since construction, 4 more times, ending with the Hagerstrand's present day. When they purchased the home they were not made aware of any of the setback information for their property or the neighborhood. As you will see here, this is a unique physical condition that the owner's did not create. The home does not, nor may have never met the rear yard setback of 30 feet, as it sits presently, it is 17.8 feet from the rear line at the closet point and no more than 18.5 feet at the furthest point, now. They were also aware that the deck appeared to be original to the house and would need to eventually be rebuilt. It is a second story deck that allows for an outdoor living space that runs off the rear of the home, with two doors that would lead to large drops if no deck existed. The home was designed to have a deck space attached to allow for two exits from the rear of the home at the morning room then also at the master bedroom as well.

The owner's contacted us in early 2023 to begin the process of planning and then building due to the three wooden support posts that are presently supporting the deck, currently rotting at the bottoms of each one of them so they were not eligible for a repair and ultimately needed a complete rebuilt in order to ensure safe use

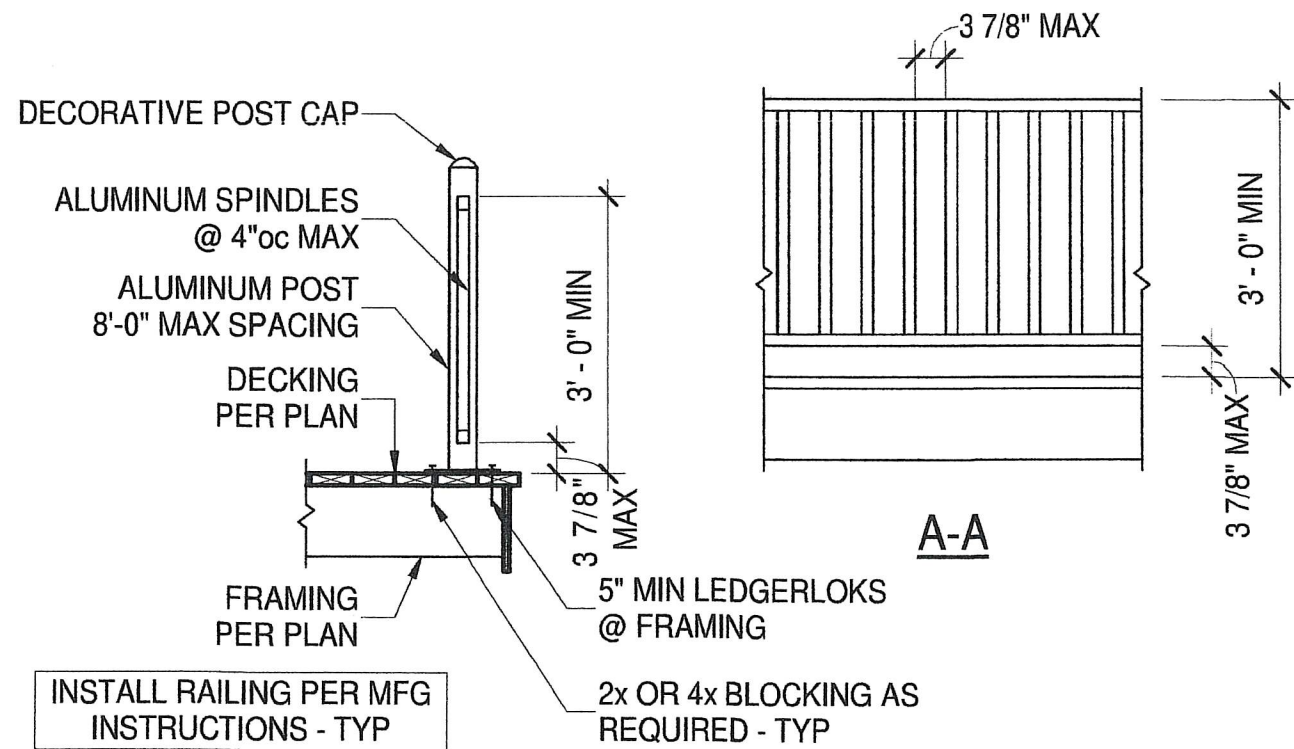
moving forward. The build plan formed after the initial meeting and the clients simply wanted to replace the exact deck footprint as is there presently which is a deck totals 13 feet wide but only extends out 8 feet from the edge of the home since the home has an inset area inside the first 5 feet of deck space then it is 19 feet across the rear of the home, fitting into the home's original design planned and approved. We will not be adding any steps nor any additional square footage or features. We will keep with the high quality of the construction of the home and neighborhood by using composite decking materials and aluminum railing to ensure a classic and elegant look which will bring added value to the home. The homeowners' shared with me that other neighbors including the HOA board member's know of and have witnessed other similar projects occurring in the neighborhood and the HOA approved the project already based on our drawings and plans so they felt that it would respect the neighborhood's and township's overall look.

Any neighbors within 200 feet would not be negatively affected in any way since this project would be the exact footprint that is present now and to date there have been no documented concerns. This would only enhance or help raise the overall value of the properties in the surrounding area. The residence backs up to a large parcel of land that is presently greenspace that is owned by the Trotter's Association and has no residence on it as well as additional green space behind that also owned by the Association so there is also no one affected in the rear surrounding areas, by the deck proposed. No street traffic or parking would be affected since this is in a rear yard of a residential home. No new change or light or new shadows would be casted on any surrounding properties. No additional risks of fire would be present as all materials that are being used are fire rated and approved for exterior building uses and no flood risk would be present either. No additional utilities would be needed nor affected as there would be no need for additional utilities to be run for this rebuild of the deck. No other public health or safety concerns exist with this rebuild.

In closing, we thank you for your time and consideration on this matter. We ask that you allow the variance approval for this deck build to ensure the homeowner's will remain safe when they exit the rear of their home, onto the deck which was designed to be on the home as it is presently. The developers were allowed at an earlier point to design and build this home as it stands now so we are simply requesting for that to continue to be allowed by allowing the construction of the deck as proposed at 13' x 19' to be rebuilt. It will also ensure that the value of the home and surrounding homes are not be devalued by lack of property maintenance that is needed here with this deck build project. This project will not cause any harm to anyone unless it is not allowed as the deck is unsafe and will only worsen as time goes on. I respectfully request your help in approval of this matter.

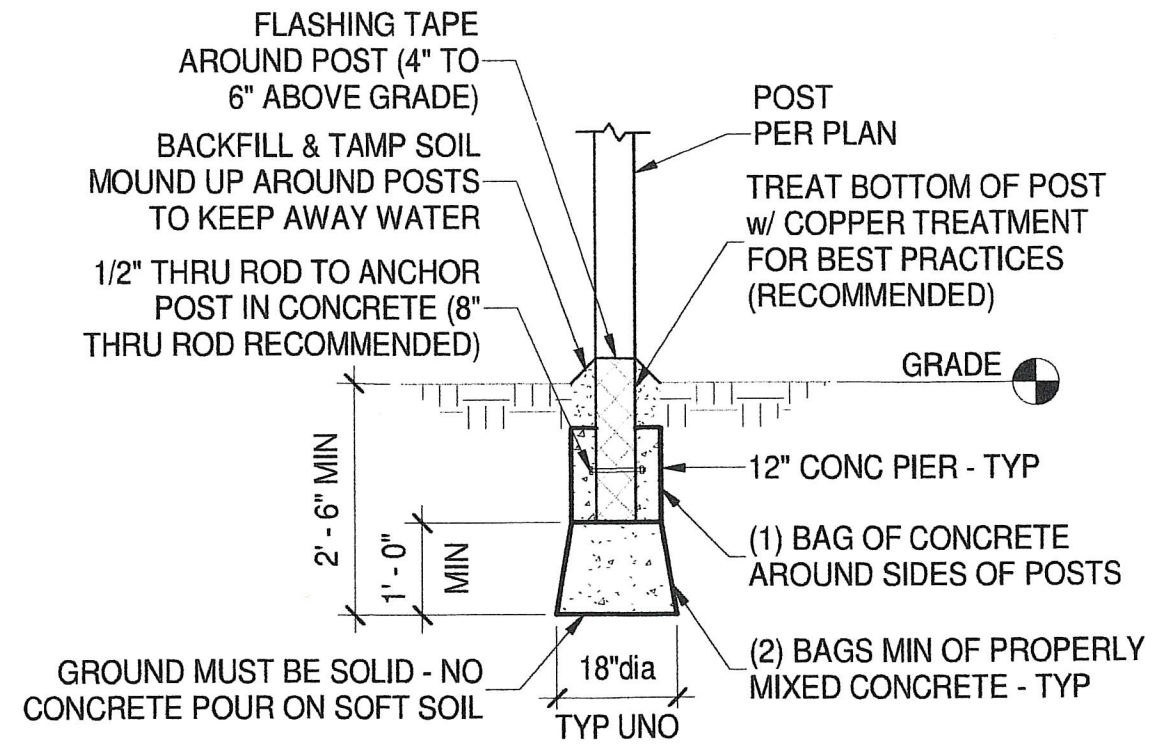
Sincerely,

Jessica Hagen  
Director of Operations  
All Decked Out 513, LLC  
O - (513)886-7772  
C - (513)602-5811



**A TYPICAL POST TO DECK DETAIL**

D1 N.T.S.

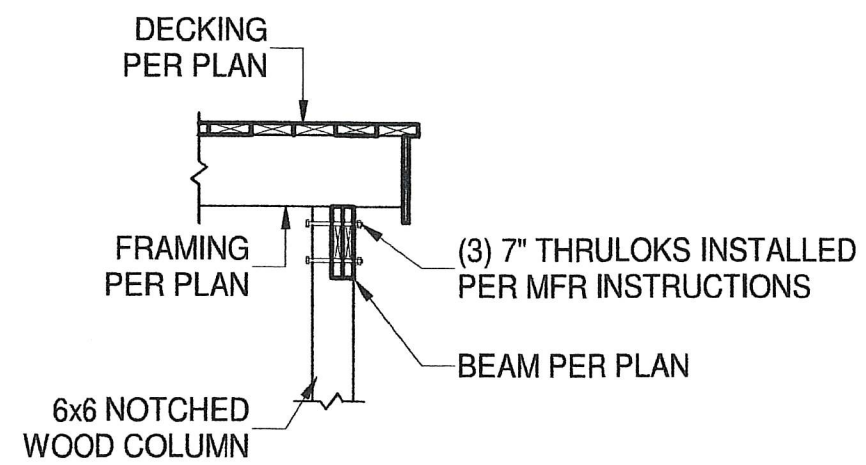


**B TYPICAL POST @ PIER DETAIL**

D1 N.T.S.

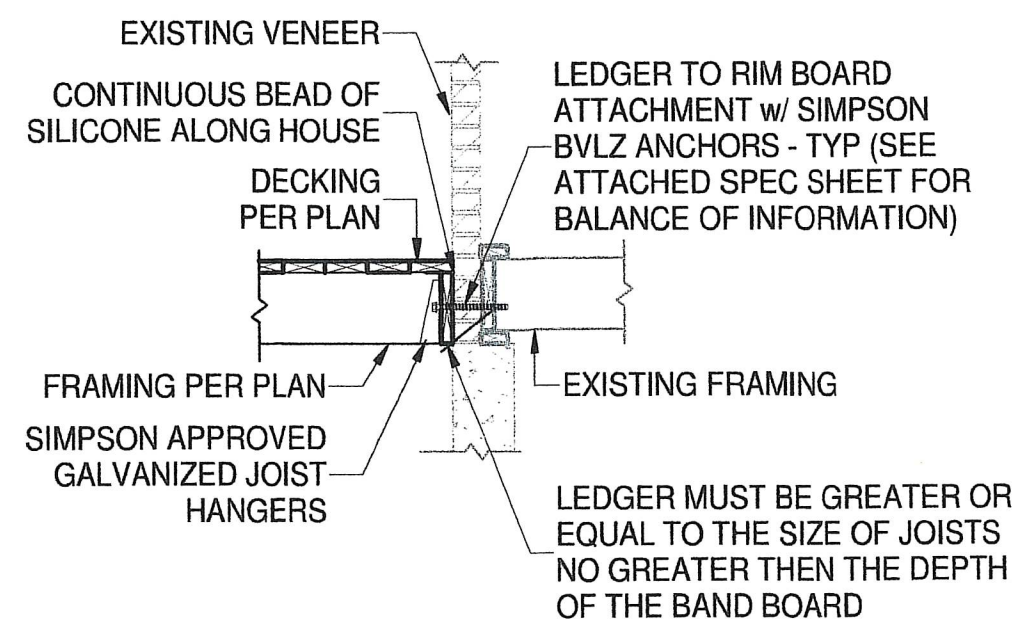
ALL HARDWARE SUBJECT TO CHANGE DUE TO AVAILABILITY & PREFERENCE - ANY CHANGED HARDWARE IS TO STILL MEET CODE REQUIREMENTS

SYCAMORE TOWNSHIP  
PLANNING & ZONING  
AUG 31 2023  
RECEIVED



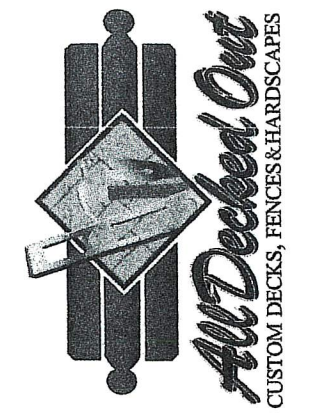
**C TYPICAL BEAM TO POST DETAIL**

D1 N.T.S.



**D TYPICAL LEDGER DETAILS**

D1 N.T.S.



**HAGERSTAND**  
8098 CARNABY LN.  
CINCINNATI, OH 45249

**REVISIONS**

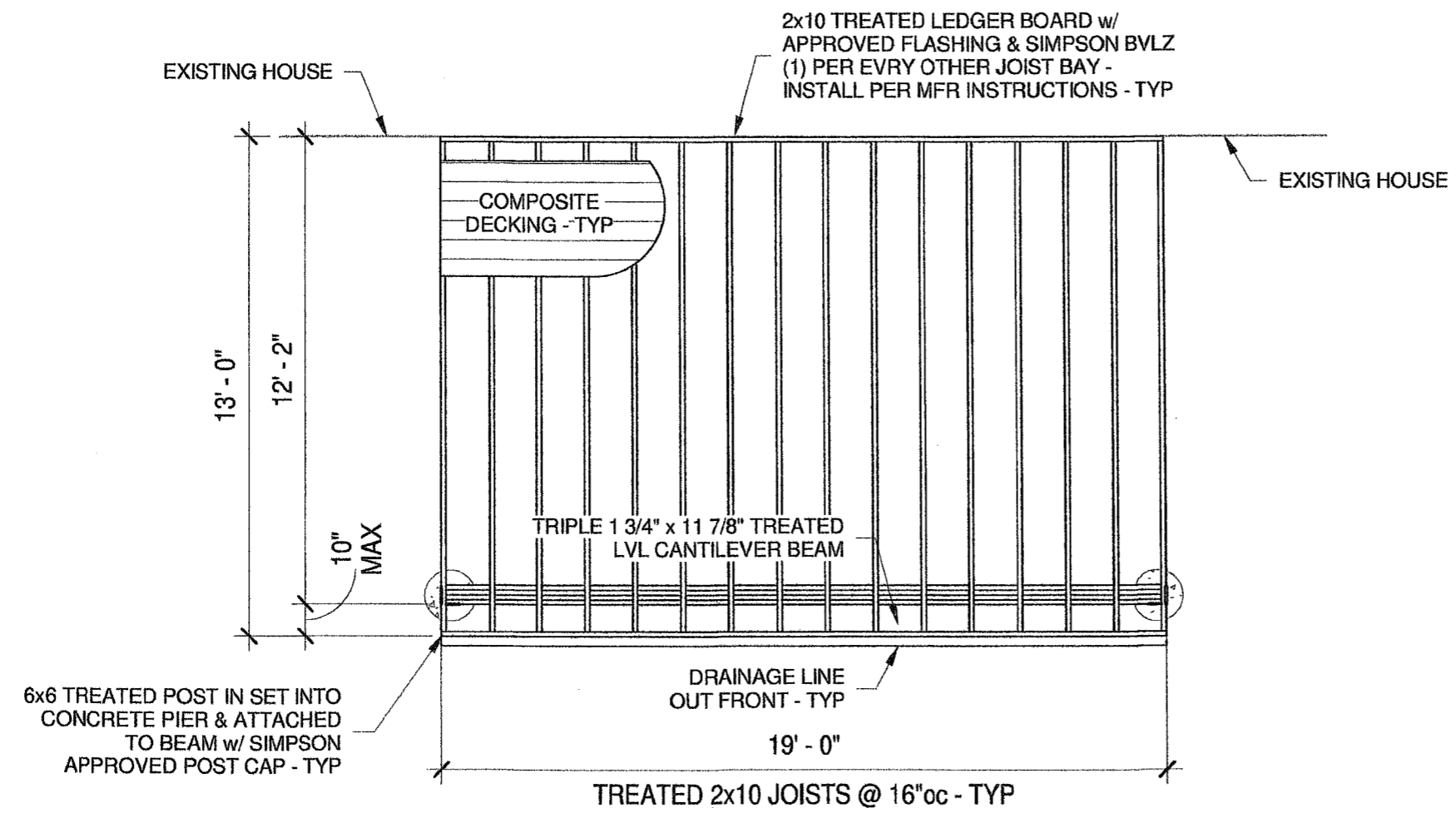
No.	Description	Date

**D1**

TYPICAL DETAILS



NOTE:  
DEKDRAIN SYSTEM TO BE INSTALLED OVER JOISTS (w/  
DOWNSPOUT & GUTTERS NOT SHOWN FOR CLARITY)



HAGERSTAND  
8098 CARNABY LN.  
CINCINNATI, OH 45249

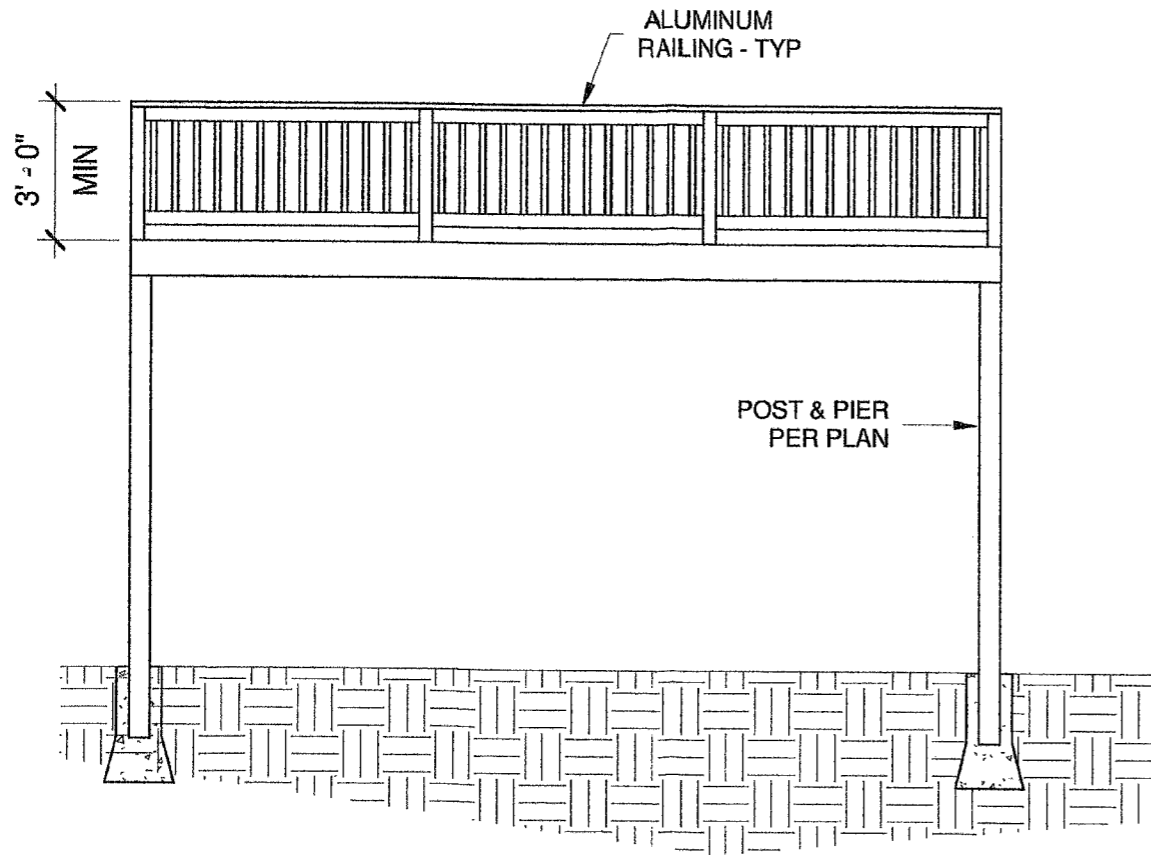
REVISIONS

No.	Description	Date

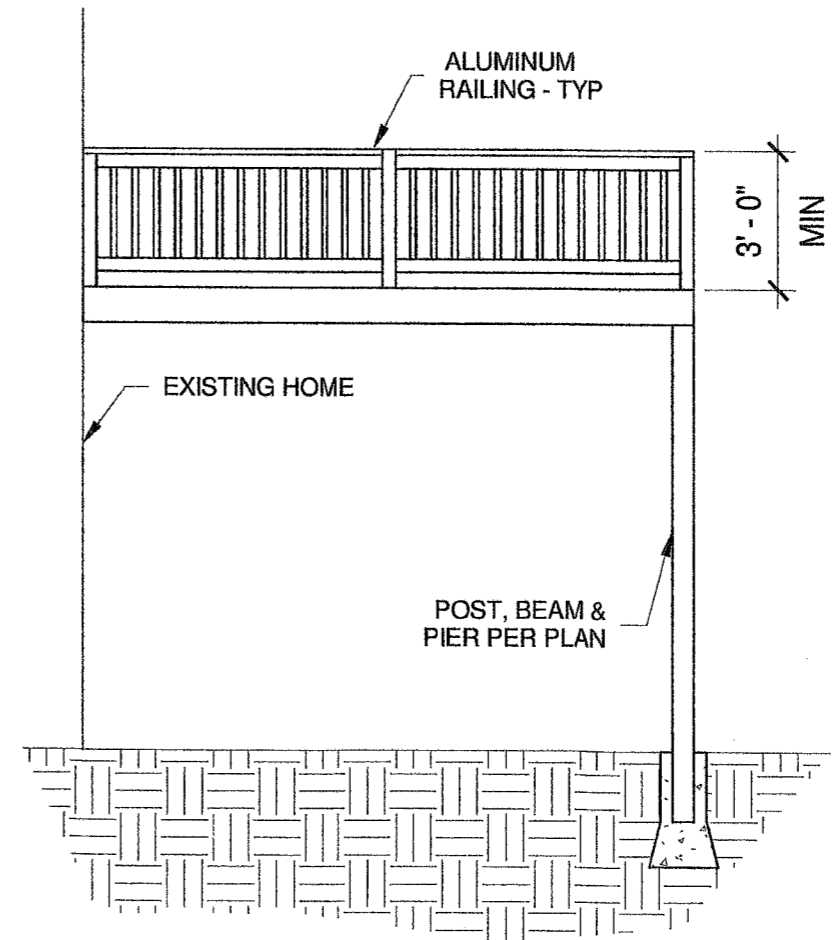
D2

FRAMING PLAN

SCALE: 1/4" = 1'-0"



**A FRONT ELEVATION**  
D3 N.T.S.



**B SIDE ELEVATION**  
D3 N.T.S.



**HAGERSTAND**  
8098 CARNABY LN.  
CINCINNATI, OH 45249

**REVISIONS**

No.	Description	Date

**D3**

ELEVATIONS

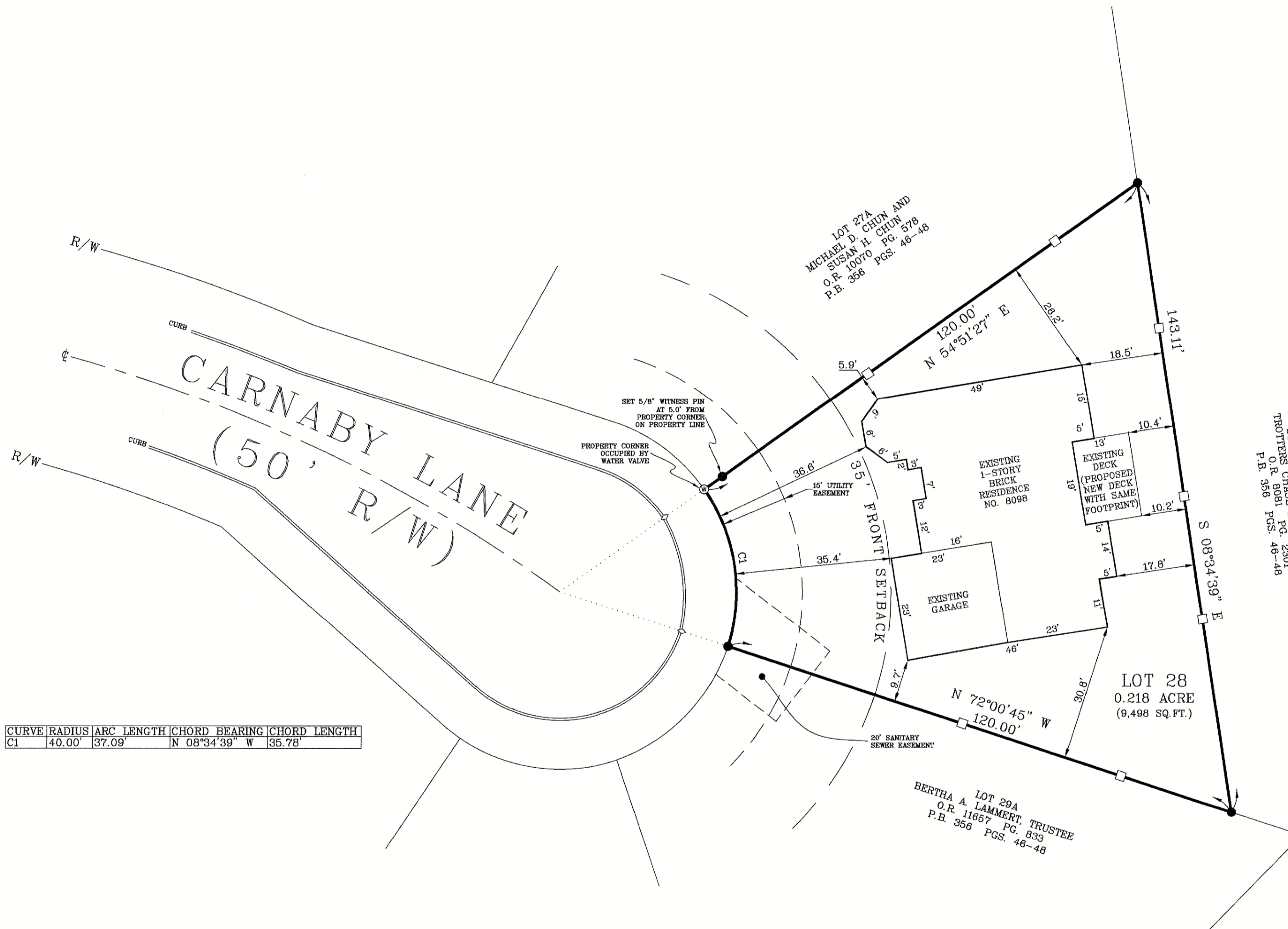
PLAT OF SURVEY  
 IN SECTION 1 TOWN 3 ENTIRE RANGE 2  
 MIAMI PURCHASE  
 SYCAMORE TOWNSHIP  
 HAMILTON COUNTY STATE OF OHIO

LOT 28  
 TROTTERS CHASE SUBDIVISION  
 PHASE 1  
 PLAT BOOK 347 PAGES 95-97  
 ALSO PLAT BOOK 348 PAGES 5-7

REFERENCES  
 PARCEL NO. 600-0012-0118  
 OWNERS: ERIC C. HAGERSTRAND, TRUSTEE  
 DEED REFERENCE: OFFICIAL RECORD 13227 PAGE 2226

- NOTES:
1. ALL MONUMENTS FOUND IN GOOD CONDITION UNLESS OTHERWISE NOTED.
  2. EVIDENCE OF OCCUPATION FITS THE SURVEY.
  3. SUBJECT TO ALL EASEMENTS AND RIGHT-OF-WAYS OF RECORD.
  4. UNLESS OTHERWISE NOTED ON RECORD PLAT, A TEN FOOT WIDE PRIVATE DRAINAGE EASEMENT SHALL EXIST ALONG ALL COMMON LOT LINES. THE COMMON LINE BEING THE CENTERLINE OF SAID EASEMENT.

BEARINGS BASED ON  
 RECORD PLAT OF  
 TROTTERS CHASE SUBDIVISION  
 PHASE 1  
 P.B. 347 PGS. 95-97



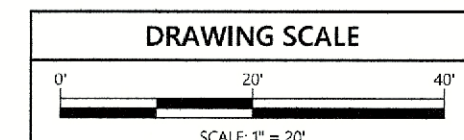
PARCEL A1  
 SOMERSET SINGLE-FAMILY AT  
 TROTTERS CHASE ASSOCIATION, INC.  
 R. 8081 PG. 2301  
 P.B. 356 PGS. 48-49

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	40.00'	37.09'	N 08°34'39" W	35.78'

SYCAMORE TOWNSHIP ZONING  
 ZONED B-2 CUP (RESIDENTIAL COMMUNITY  
 UNIT PLAN OVERLAY DISTRICT)

CHAPTER 4 RESIDENTIAL DISTRICTS: PAGE 8 TABLE 4-6  
 FRONT YARD SETBACK - 35'  
 SIDE YARD SETBACKS - TOTAL OF 13' / 5' MINIMUM  
 REAR YARD SETBACK - 30'

- LEGEND
- ⊙ WATER VALVE
  - ◇ FOUND NOTCH IN BACK-OF-CURB
  - FOUND IRON PIN
  - SET 5/8" IRON PIN  
"QCM INC. OH LS 7598"
  - SET WOOD LATH
  - R/W RIGHT-OF-WAY
  - ⊕ CENTERLINE



PROPERTY ADDRESS:	PROJECT DETAILS	SURVEY COMPANY	SURVEYOR'S CERTIFICATION
8098 CARNABY LANE CINCINNATI, OHIO 45249	PROJECT NO.: 2023 371 DATE: 08-28-2023 DRAWN BY: MSN APPROVED: JRR	QCM INC. 7395 KINGSGATE WAY WEST CHESTER, OH 45069 (513) 779-8425 INFO@QCM-INC.NET	I HEREBY CERTIFY THAT THIS PLAT IS BASED UPON A FIELD SURVEY MADE UNDER MY DIRECTION, AND THAT THE MONUMENTS SHOWN ON THIS PLAT WERE EITHER SET OR FOUND AS DEPICTED.  <i>Jerry Rosenfeldt</i> 08-28-2023 JERRY ROSENFELDT OHIO LICENSED SURVEYOR NO. 7598
OWNER/ DEVELOPER ERIC HAGERSTRAND	REVISIONS		DATE
SURVEYOR JERRY ROSENFELDT			

