ZONING COMMISSION APPLICATION						
ZONE CHANGE	\$1000	MINOR ADJUSTMENT TO A PUD	\$200			
PUD I	\$1000	MAJOR ADJUSTMENT TO A PUD	\$1000			
PUD II	\$1000	MINOR ADJUSTMENT TO A LASR	\$200			
LASR	\$1000	MAJOR ADJUSTMENT TO A LASR	\$1000			

THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN

APPLICATION NUMBER

2024-05P2

DO NOT WRITE IN THIS SPACE

SycamoreTownship.org



Planning & Zoning Department 8540 Kenwood Road Sycamore Township, Ohio 45236 Phone: (513) 792-7250

PROJECT ADDRESS: 10777 & 10793 MONTGOMERY ROAD, CINCINNATI, OH ZIP CODE: _						
NAME	STREET ADDRESS	ZIP	EMAIL	PHONE NUMBER		
APPLICANT RIZE, INC.	8575 SLEEPY HOLLOW DR. CINCINNATI, OH	45243	DRGUNACAR@GMAIL.COM	513-257-1117		
PROPERTY OWNER SAME AS APPLICANT						
DESIGN PROFESSIONAL MCCARTY ASSOCIATE, LLC	213 N. HIGH STREET HILLSBORO, OH	45133	GSPARGUR @MCCARTYASSOCIATES.COM	937-393-9971		
CONTRACTOR TBD			1			
ZONING COMMISSION ACTION	-					
ZONE CHANGE FROM ZO	ONE TO Z	ONE				
☐ PUD	JD 2 LASR (LOC	CALIZED	ALTERNATIVE SIGN ALTERNATI	VE)		
☐ MAJOR ADJUSTMENT TO A I	PUD MINOR ADJ	USTMEN	TT TO A PUD			
☐ MAJOR ADJUSTMENT TO A	LASR	USTMEN	IT TO A LASR			
STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES: THE PROJECT INVOLVES THE EXPANSION OF AN EXISTING DRIVE-THROUGH RESTAURANT FROM 2,508 SF TO 2,617 SF AND THE EXPANSION OF THE EXISTING PARKING LOT/DRIVE AISLES BETWEEN THE DENTAL OFFICE AND RESTAURANT.						
DENTAL OFFICE: SQUARE FEET: RESTAURANT: 2,5	EX. 3,963 SF <u>536 SF</u> U SE: RESTAURAN	T/DENTA	L OFFICE HEIGHT:			
ESTIMATED START DATE: 12/	1/2024 ESTIMATED FINIS	H DATE:	6/1/2025 NUMBER OF SIGN(S	5):		
THROUGH THE ZONING RE COMMERCIAL LAND USE AND D	SOLUTION, THE TOWNSHIP	PROMO ORWARI	NTINUING PROSPERITY OF SYCAMO TTES A HIGH STANDARD FOR RES D TO SERVING OUR RESIDENTS A HIP THE BEST IT CAN BE.	IDENTIAL AND		
cations are to the best of their knowledge,	true and correct. The applicant and o Zoning Commission application. By	wner of the	mation and statements given on this applica e real property agree to grant Sycamore Town e owner of this project is aware that there sh	ship access to the proper-		
APPLICANT'S SIGNATURE	DATE PLEASE N	NOTE:				

SUBMITTING THIS APPLICATION DOES NOT CONSTITUTE

PERMISSION TO BEGIN WORK.



MCCARTYASSOCIATES.COM

213 N. HIGH STREET, HILLSBORO, OHIO 45133

O: (937) 393-9971

F: (937) 393-2480

Michael L. McCarty, P.E, P.S. Thomas E. Purtell, P.S. Jason C. McConnaughey, P.S. Douglas L. Karnes, A.I.A.

October 4, 2024

Planning Commission Sycamore Township 8540 Kenwood Road Sycamore Township, Ohio 45236

RE: Montgomery Restaurant – PUD-2 Application

The proposed project is located at 10777 & 10793 Montgomery Road (Parcel IDs 600-0030-0415-00 & 600-0030-0014-00). The 10777 Montgomery Road property is 0.93 acres with 0.38 acres of existing impervious area (40.9% ISR) The 10793 Montgomery Road property is 0.61 acres with 0.55 acres of existing impervious area (90% ISR). Both properties are currently zoned Retail "E". A dental office (Kings Dental) is located at 10777 Montgomery Road and is operated by the property owner. An existing drive-through restaurant is located at 10793 Montgomery Road and is planned to be leased by the owner after the project is complete. There is a common drive between both parcels with a right-in, right-out entrance from Montgomery Road and a full access entrance from the neighboring property to the north. Parking is provided separately on both parcels.

The subject parcels are adjoined by a golf cart sales store (zoned Retail "E") to the north, a shopping center and drive-through restaurant (zoned Retail "E") across Montgomery Road to the east, a drive-through restaurant (zoned Retail "E") to the south, and multifamily housing (zoned Planned Multifamily Residential "DD") to the west. The immediate area along Montgomery Road is characterized by commercial/retail development zoned Retail "E". Montgomery Road is a 4-lane, two-way major arterial road with a two-way left turn lane in the middle. The site is located approximately 200 feet northeast from the intersection of Montgomery Road and Weller Road.

The existing drive-through restaurant is proposed to be expanded from 2,508 square feet to 2,617 square feet and a 244 square foot patio added on the front of the building. The exterior of the restaurant will be remodeled to update the finishes of the building. As a part of this project, the Kings Dental office will not be remodeled. The project will also include the expansion and remodel of the existing parking lot on both of the subject parcels. The remodel will contain 42 parking spaces, 1 less than the existing parking lots; however, additional circulation and landscaping have been added. Access easements will be provided between the two subject parcels and between the property to the north in order to maintain unimpeded access. A new dumpster pad and enclosure will be added to the restaurant property. The building and parking lot expansions will result in a total proposed impervious area of 0.52 acres (55.9% ISR) on the 10777 Montgomery Road property and 0.55 acres (90% ISR) on the 10793 Montgomery Road property.

The subject properties have been developed previously before the current Sycamore Township Zoning Code was implemented. The density of impervious area does not match modern standards and leads to difficulty redeveloping the site. The existing parking lot layout and drive-through configuration is also not to modern standards and does not reflect current traffic volumes. Development under the PUD-2 would allow for the site to be redeveloped in order to create more efficient traffic flow through the development and create a more aesthetic building, while also working to better meet the current landscaping and parking requirements of the Zoning Code. Redevelopment of the site in this nature is not atypical for this area as dense commercial development without landscaping or consideration to traffic was characteristic of the past. The drive-through restaurant use matches the current commercial uses in the area, many drive-through restaurants are located along this corridor. The proposed expansion to the restaurant will not increase the intensity of the use and will continue to operate similarly to previous years. There are no proposed alterations to the existing utility services on either property.

Sincerely,

Sowett Swallyk Garrett Spargur

McCarty Associates, LLC

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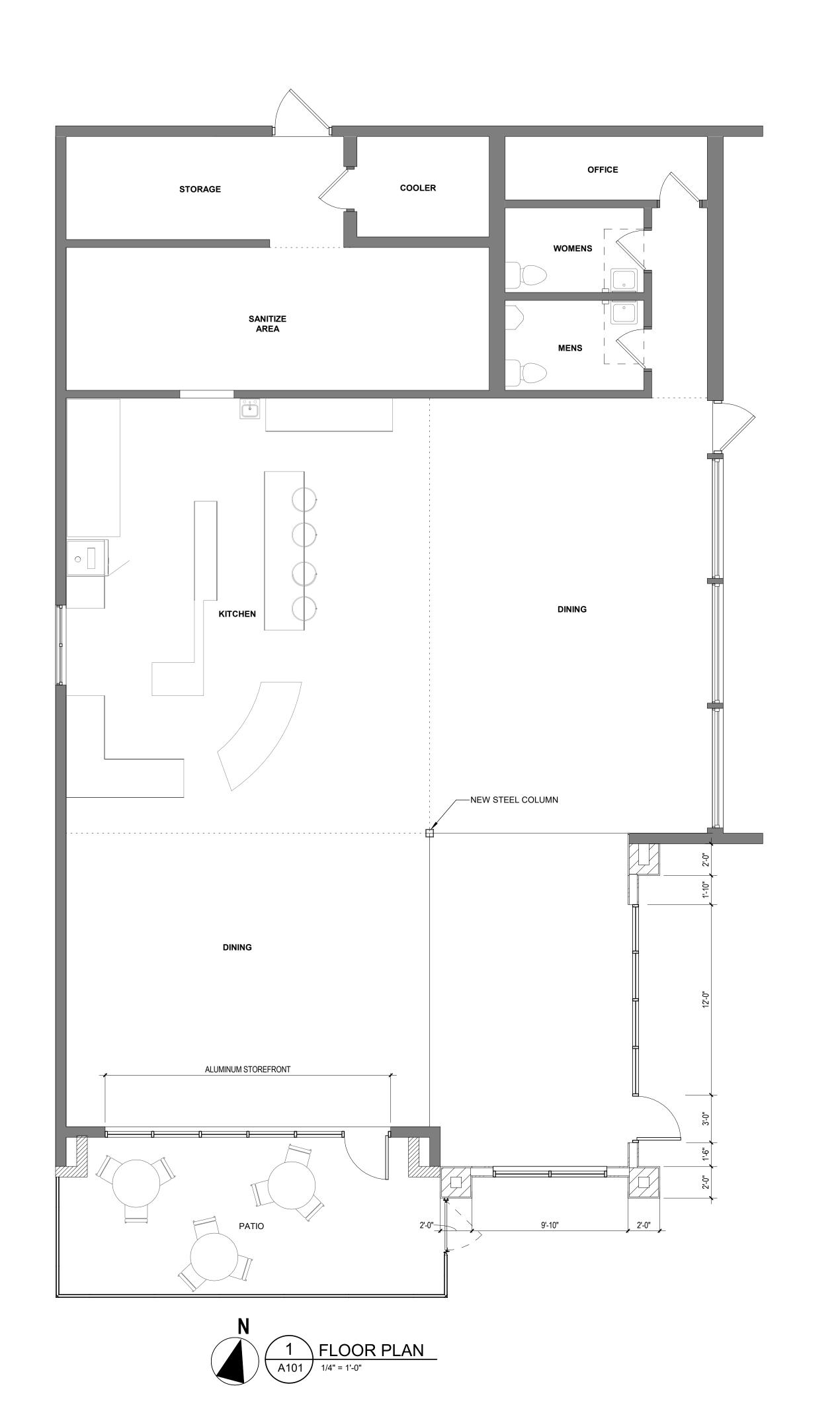
1 3D VIEW

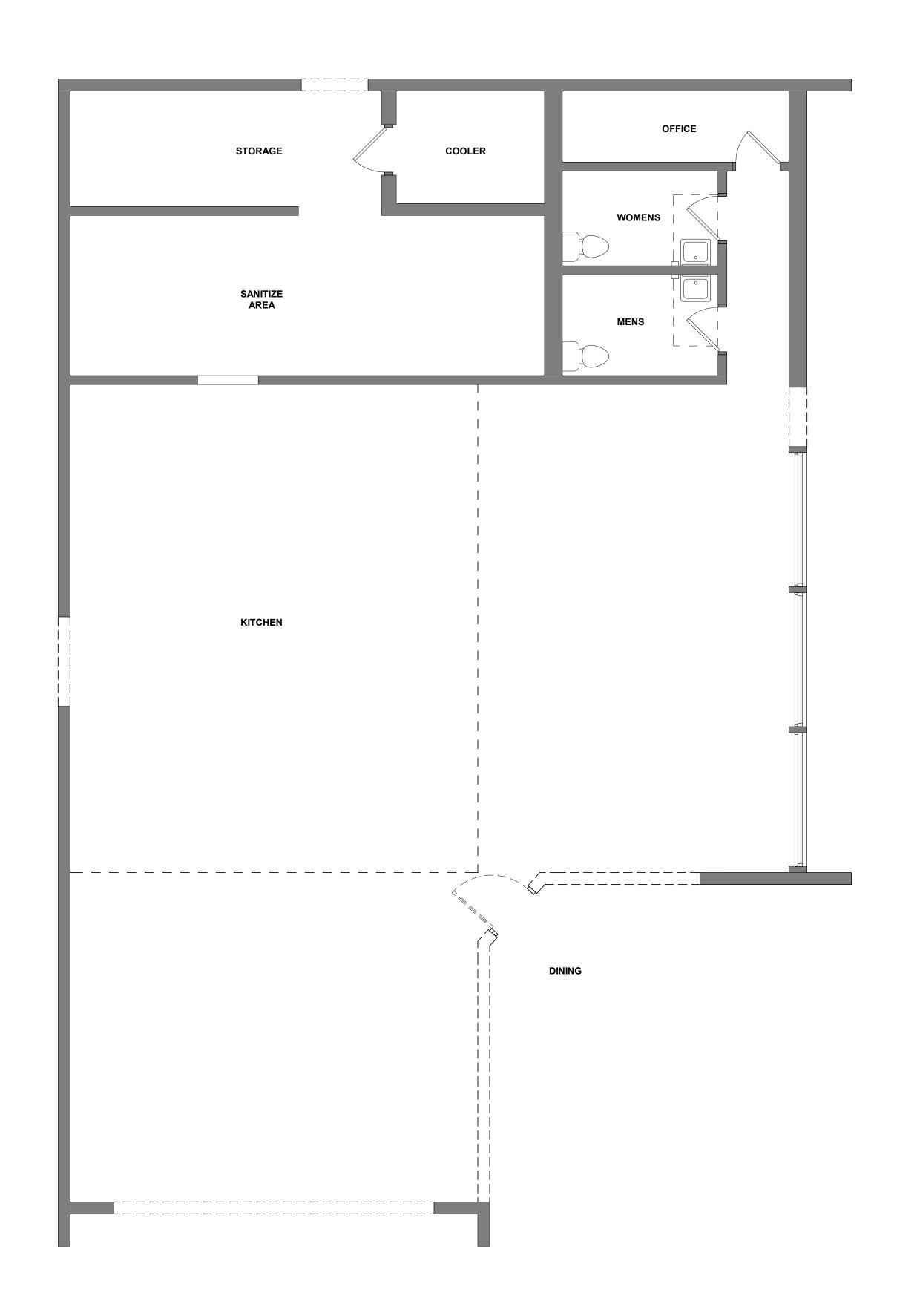
MONTGOMERY RESTAURANT

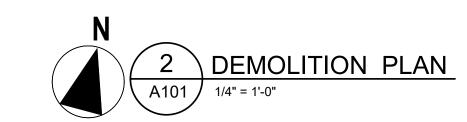
10793 MONTGOMERY RD CINCINNATI, OHIO 45242

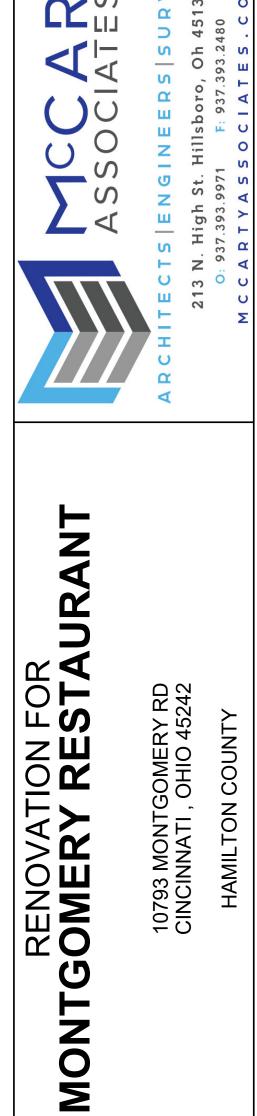
PROJECT NUMBER
24-130
3D VIEW

DRAWING NUMBER A100









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PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT NUMBER
24-130
FLOOR PLAN &
DEMO PLAN

DRAWING NUMBER
A101



REVISIONS

03.22.24 OWNER REVIEW 05.17.24 OWNER REVIEW

PRELIMINARY - NOT FOR CONSTRUCTION

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ASSOCIATES, LI ARCHITECTS | ENGINEERS | SURVEYO 213 N. High St. Hillsboro, Oh 45133 O: 937.393.9971 F: 937.393.2480

MONTGOMERY RESTAURANT

PROJECT NUMBER
24-130

EXTERIOR
ELEVATIONS

DRAWING NUMBER

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE GRID AZIMUTH (AZ 195'51'34.9") BETWEEN NATIONAL GEODETIC SURVEY CORS STATION "LEBA" AND MCCARTY ASSOCIATES GEODETIC LOCAL CONTROL MONUMENT "2001" AND DERIVED FROM GNSS OBSERVATIONS TAKEN FEBRUARY 19, 2024, UTILIZING THE ODOT OHIO REAL TIME NETWORK (TRIMBLE VIRTUAL REFERENCE SYSTEM).

TRIMBLE FILE (24130 02-20-24)

SITE SETTINGS

SITE SETTINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 (2011) AND NAVD 88.

NATIONAL GEODETIC SURVEY CONTROL MONUMENTS

NAME LATITUDE LONGTUDE HEIGHT NORTHING EASTING ELEVATION LEBANON 39725'49.78843'N 8416'59.28382"W 739.714 525982.865 1464871.214 850.221 CORS ARP LEBA

LOCAL CONTROL MONUMENT "2001"

NAME LONGTUDE HEIGHT NORTHING EASTING ELEVATION LOCAL CONTROL 3915'31.97628'N 84'20'28.17146'W 661.282 463819.015 1447210.651 792.774 MONUMENT '2001'

LOCAL SITE SETTINGS

LOCAL GROUND COORDINATES NORTHING EASTING 463819.015 1447210.651

GROUND SCALE FACTOR: 1.00009429062853

UNITS ARE IN U.S. SURVEY FEET (SFT).

CONTROL POINTS AND BENCH MARKS

CONTROL POINTS AND BENCHMARKS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 (2011) AND NAVD 88.

CP 82001 5/8 IRON PIN (SET) WITH PLASTIC CAP STAMPED "McCARTY TRAVERSE" NORTHING = 463819.015 EASTING = 1447210.851 LEVATION = 792.774

BM #1
ARROW BOLT ON TOP OF FIRE HYDRANT 15.08' WEST AND 142.52' NORTH OF
NORTHEAST CORNER OF SUBJECT PREMISES.
NORTHING = 463854.917
ELSTING = 1447320.417
ELEVATION = 796.42

FLOOD ZONE

THE SUBJECT SITE IS LOCATED IN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, ACCORDING TO THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 39061C0114F, DATED JUNE 7, 2023.

SPECIFICATIONS

THE STANDARD SPECIFICATIONS OF THE OHIO DEPARTMENT OF TRANSPORTATION (ODOT), 2023 VERSION & REVISIONS, INCLUDING SUPPLEMENTAL SPECIFICATIONS LISTED IN THE PLANS SHALL GOVERN THIS IMPROVEMENT.

UTILITY CONTACTS

WATER GREATER CINCINNATI WATER WORKS 4747 SPRING GROVE AVENUE CINCINNATI, OH 45232 513-591-7836

TELECOMM AT&T 844-605-1009

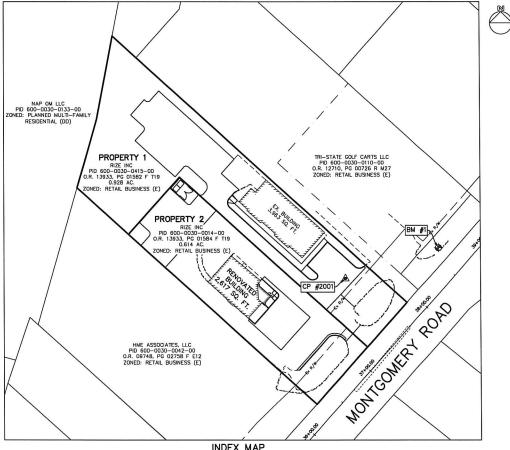
SANITARY SEWER
METROPOLITAN SEWER DISTRICT OF
CINCINNATI
1600 GEST STREET
CINCINNATI, OH 45204
MSD.COMMUNICATIONS@CINCINNATI—OH.GOV
513—244—1300

ELECTRIC/GAS DUKE ENERGY 11783 SOLZMAN ROAD CINCINNATI, OH 45249 MWCONSTRUCTION@DUKE—ENERGY.COM 877-700-3653

RENOVATION FOR

MONTGOMERY RESTAURANT

10777 & 10793 MONTGOMERY ROAD CINCINNATI, OHIO 45242 SYCAMORE TOWNSHIP, HAMILTON COUNTY





OWNER/DEVELOPER

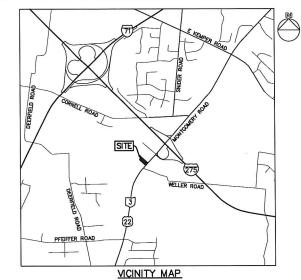
RIZE, INC.
8575 SLEEPY HOLLOW DRIVE
CINCINNATI, OHIO 45243
GUY GUNACAR
DRGUNACARGMAIL.COM

DESIGN CONSULTANT

MCCARTY ASSOCIATES, LLC
213 NORTH HIGH STREET
HILLSBORO, OHIO 45133
CARRETT SPARGUR
GSPARGURGMCCARTYASSOCIATES.COM
937—393—9971

SURVEYOR

MCCARTY ASSOCIATES, LLC
213 NORTH HIGH STREET
HILLSBORD, OHIO 45133
JASON MCCONNAUGHEY
JMCC@MCCARTYASSOCIATES.COM
937-393-9971



SCALE: 1" = 2000'

INDEX OF SHEETS	
COVER SHEET	
EXISTING CONDITIONS	
DEMOLITION PLAN	
SITE PLAN	C201
GRADING PLAN	
GRADING DETAILS	C302
GENERAL NOTES	C401
SITE DETAILS	C402
STORMWATER POLLUTION PREVENTION PLAN	C501-C503
LANDSCAPE PLAN	L101

REVISIONS

ONSTRUCTION **PRELIMINAR** FOR NOT Ö





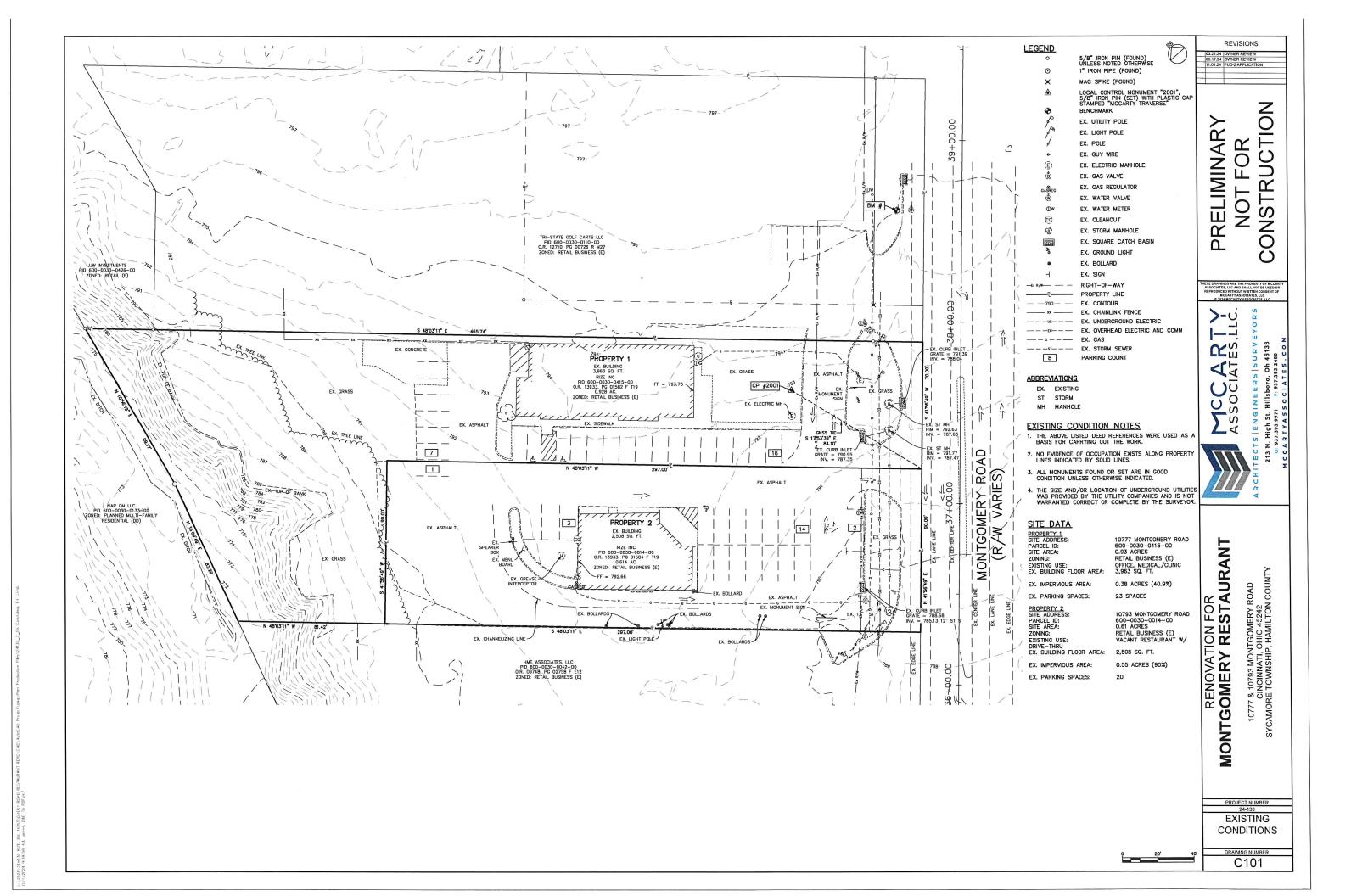
RENOVATION FOR GOMERY RESTAURANT COUNTY 10777 & 10793 MONTGOMERY F CINCINNATI, OHIO 45242 CAMORE TOWNSHIP, HAMILTON

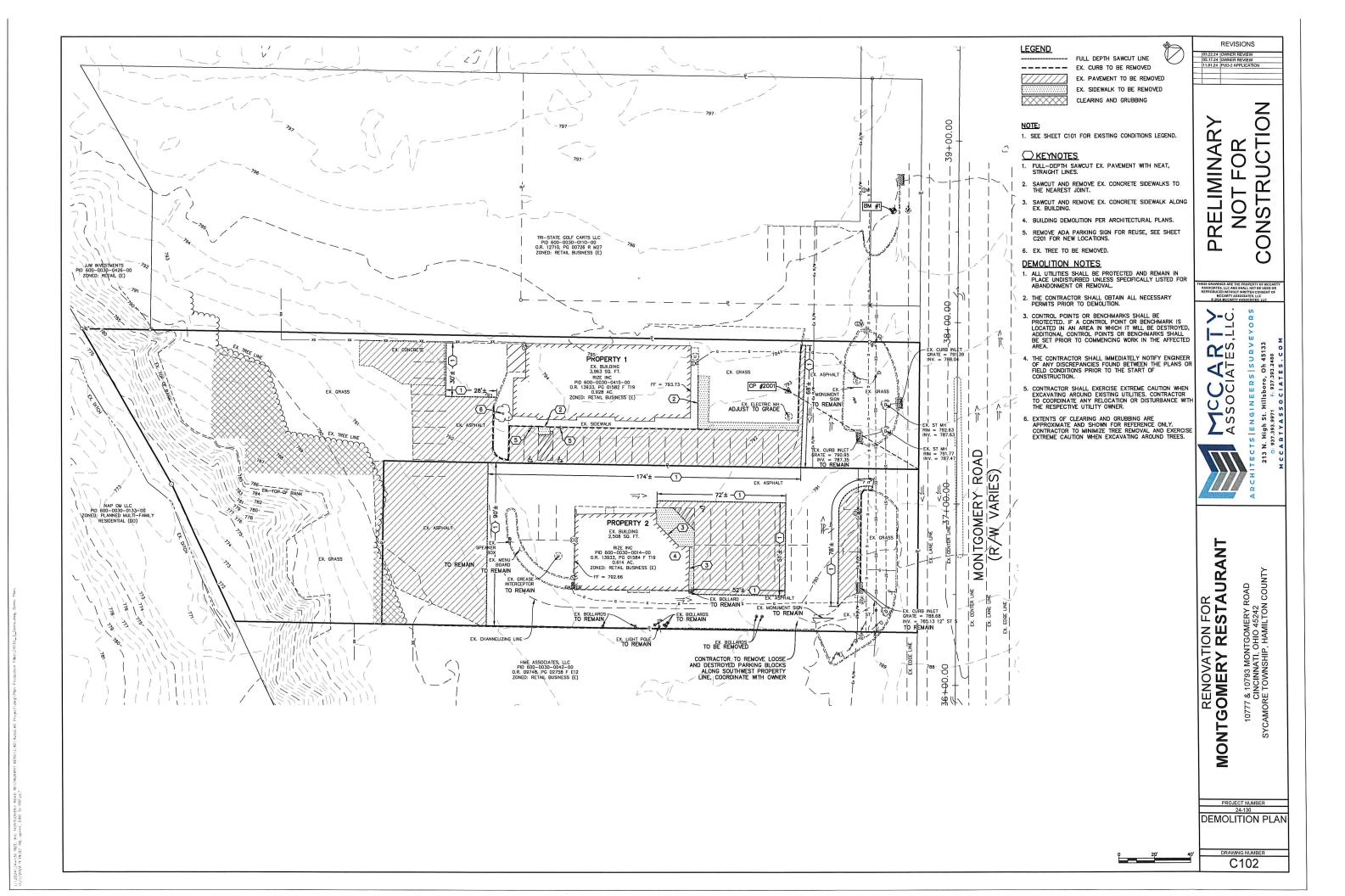
COVER SHEET

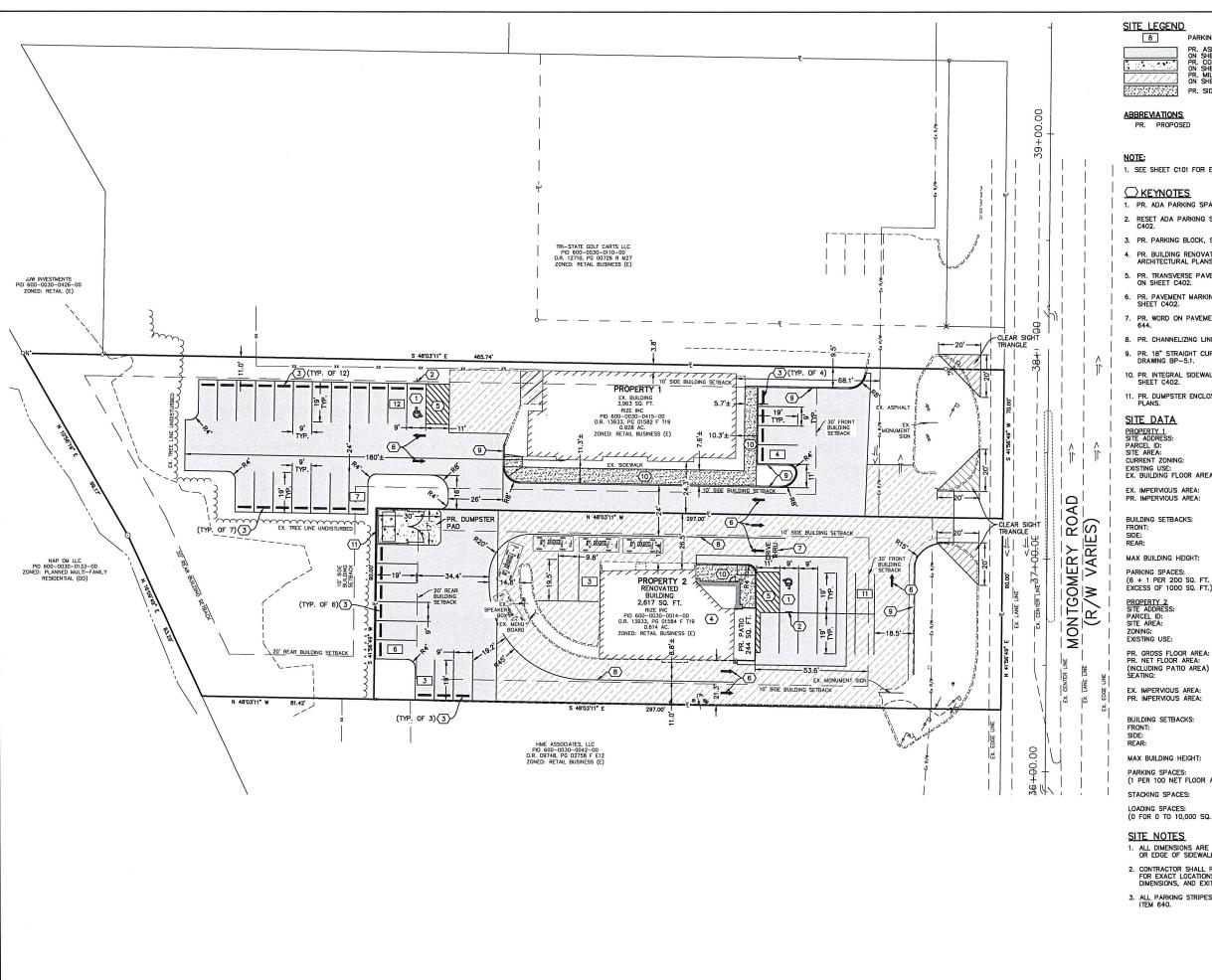
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> DRAWING NUMBER C001









SITE LEGEND

8 PARKING COUNT



PR. ASPHALT PAVEMENT, SEE DETAIL 1 ON SHEET C402. PR. CONCRETE PAVEMENT, SEE DETAIL 1 ON SHEET C402. PR. MILL AND OVERLAY, SEE DETAIL 1 ON SHEET C402. PR. SIDEWALK

ABBREVIATIONS PR. PROPOSED

1. SEE SHEET C101 FOR EXISTING CONDITIONS LEGEND.

1. PR. ADA PARKING SPACE, VAN ACCESSIBLE

RESET ADA PARKING SIGN PER DETAIL 3 ON SHEET C402.

- 3. PR. PARKING BLOCK, SEE DETAIL 5 ON SHEET C402.
- PR. BUILDING RENOVATIONS AND PATIO PER ARCHITECTURAL PLANS.
- PR. TRANSVERSE PAVEMENT MARKING, SEE DETAIL 6 ON SHEET C402.
- PR. PAVEMENT MARKING ARROW, SEE DETAIL 7 ON SHEET C402.
- PR. WORD ON PAVEMENT, 24" WHITE, PER ODOT ITEM 644.
- 8. PR. CHANNELIZING LINE, 4" WHITE, PER ODOT ITEM 644.
- PR. 18" STRAIGHT CURB, TYPE 6, PER ODOT STANDARD DRAWING BP-5.1.
- PR. INTEGRAL SIDEWALK AND CURB, SEE DETAIL 2 ON SHEET C402.
- 11. PR. DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS.

SITE DATA

PROPERTY 1 SITE ADDRESS: 10777 MONTGOMERY ROAD 600-0030-0415-00 0.93 ACRES RETAIL BUSINESS (E) CURRENT ZONING: EXISTING USE: EX. BUILDING FLOOR AREA: OFFICE, MEDICAL/CLINIC 3,963 SQ. FT.

EX. IMPERVIOUS AREA: PR. IMPERVIOUS AREA: 0.38 ACRES (40.9%) 0.52 ACRES (55.9%)

	REQUIRED	PROVID
BUILDING SETBACKS:		
FRONT:	30'	68.1
SIDE:	10'	3.8'
REAR:	20'	188.0

PARKING SPACES: (6 + 1 PER 200 SQ. FT. OF NET FLOOR SPACE IN EXCESS OF 1000 SQ. FT.)

10793 MONTGOMERY ROAD 600-0030-0014-00 0.61 ACRES RETAIL BUSINESS (E) VACANT RESTAURANT W/

ZONING: EXISTING USE: DRIVE-THRU 2,617 SQ. FT. 2,030 SQ. FT. PR. GROSS FLOOR AREA: PR. NET FLOOR AREA:

EX. IMPERVIOUS AREA: PR. IMPERVIOUS AREA:

0.55 ACRES (90%) 0.55 ACRES (90%)

60-80

BUILDING SETBACKS:	REQUIRED	PROVIDED
FRONT: SIDE: REAR:	30' 10' 20'	53.6' 21.3' 106.5
MAX BUILDING HEIGHT:	35'	21'
PARKING SPACES: (1 PER 100 NET FLOOR	21 AREA)	23
STACKING SPACES:	5	5
LOADING SPACES: (0 FOR 0 TO 10,000 SQ	0). FT. BUILDING)	0

SITE NOTES

- OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF UTILITY ENTRANCES, BUILDING DIMENSIONS, AND EXIT DOORS AND RAMPS.
- 3. ALL PARKING STRIPES ARE TO BE 4" WHITE PER ODOT ITEM 640.

REVISIONS

CONSTRUCTION **PRELIMINARY** FOR NOT

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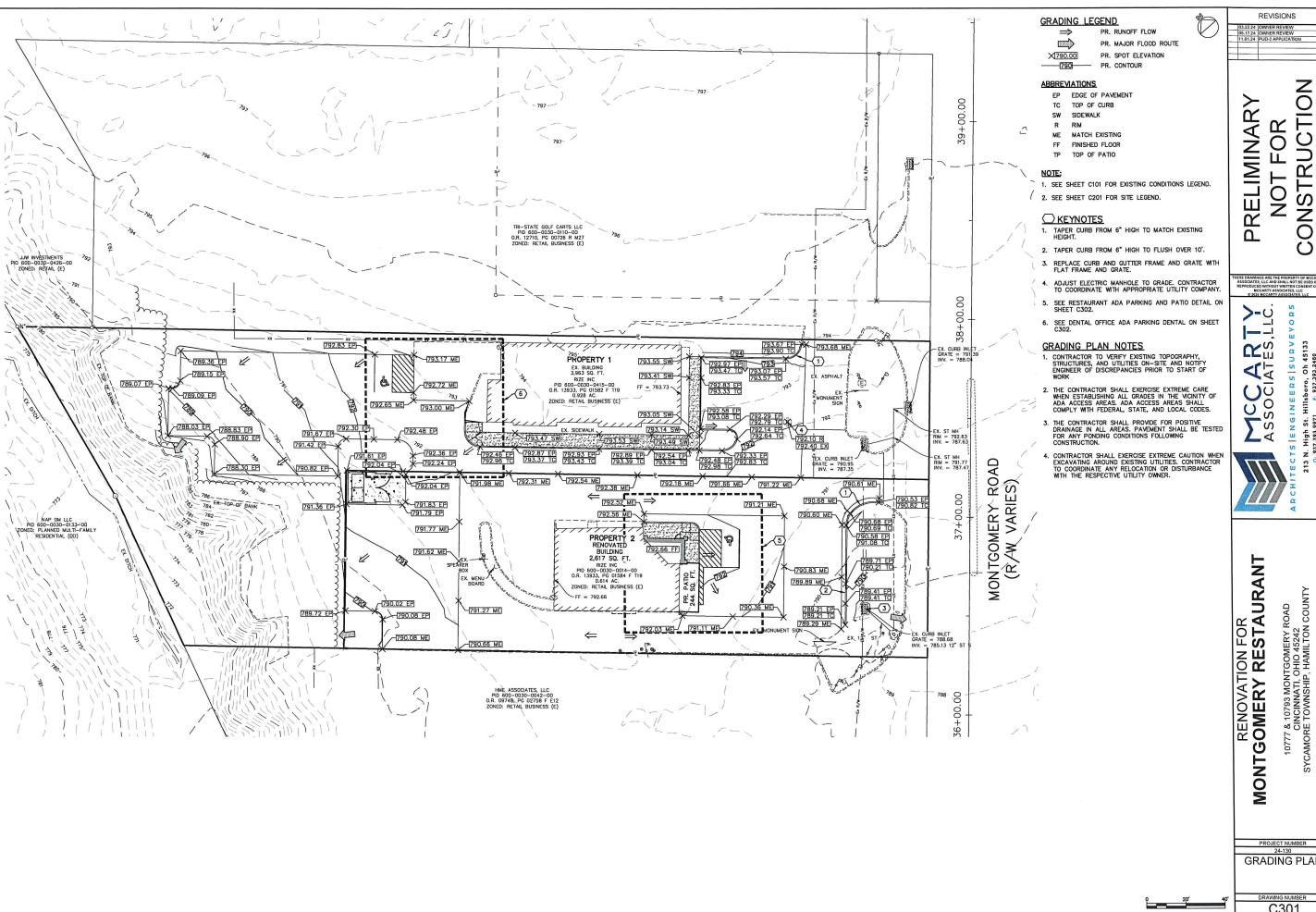
FOR STAURANT COUNTY NON M M GOMERY I

10777 & 10793 MONTGOMERY R CINCINNATI, OHIO 45242 SYCAMORE TOWNSHIP, HAMILTON ONT

PROJECT NUMBER SITE PLAN

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DRAWING NUMBER C201



CONSTRUCTION

GRADING PLAN

REVISIONS

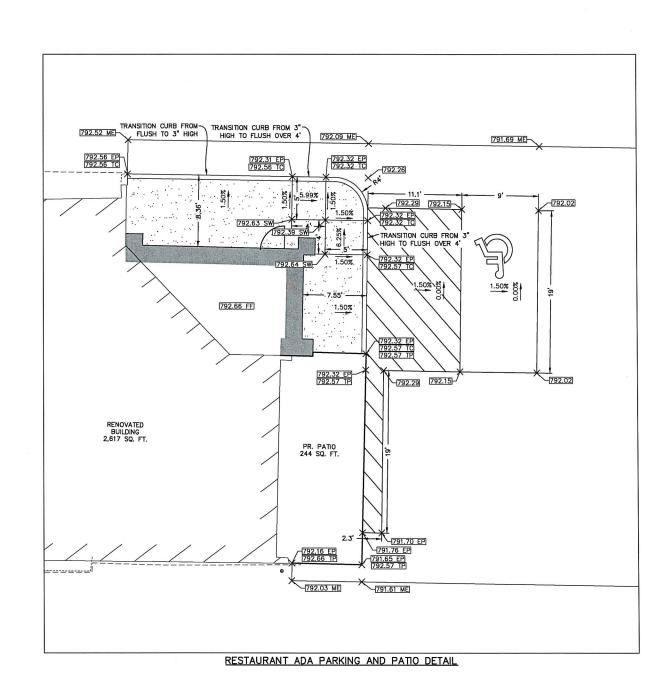
CONSTRUCTION **PRELIMINARY NOT FOR**

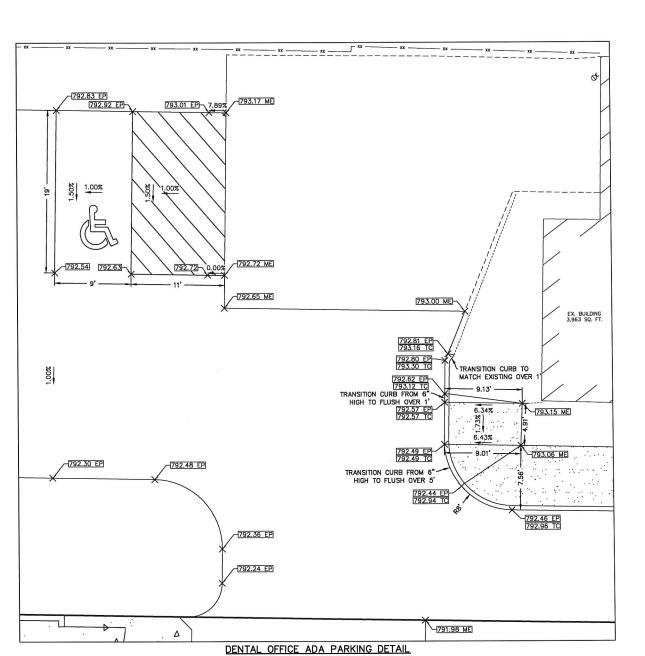
TCCA ASSOCIATE

RENOVATION FOR MONTGOMERY RESTAURANT

10777 & 10793 MONTGOMERY ROAD CINCINNATI, OHIO 45242 SYCAMORE TOWNSHIP, HAMILTON COUNTY

PROJECT NUMBER
24-130
GRADING DETAILS





- GENERAL CONSTRUCTION NOTES

 1. THE STANDARD SPECIFICATIONS OF THE OHIO DEPARTMENT OF TRANSPORTATION (ODOT), 2023 VERSION & REVISIONS, INCLUDING SUPPLEMENTAL SPECIFICATIONS LISTED IN THE PLANS SHALL GOVERN ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN IN THESE PLANS UNLESS OTHERWISE NOTED. IN CASE OF ANY CONFLICT AMONG THESE TECHNICAL SPECIFICATIONS, THE GREATER REQUIREMENT, AS DETERMINED BY HAMILTON COUNTY, SHALL TAKE PEFFCEPINCE.
- ALL CONSTRUCTION SHALL COMPLY IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
- 3. THE CONTRACTOR SHALL CONTACT THE OHIO UTILITY PROTECTION SERVICE (OUPS) AT 811 OR 1-800-362-2764 FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION.
- 4. THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL EXISTING CONDITIONS AND CONTACT THE OWNER'S REPRESENTATIVE AND CONSTRUCTION MANAGER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE PLANS, SPECIFICATIONS AND/OF FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE, CONSTRUCTION MANAGER, AND ENGINEER IF EXISTING CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN THOSE DEPICTED ON THE PLANS.
- 5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE
- 6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE WORK SHOWN ON THESE PLANS OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS, GRADES, ELEVATIONS, AND LOCATIONS OF THE WORK SHOWN ON THESE PLANS AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
- 8. THE PRICE(S) QUOTED SHALL INCLUDE ALL ITEMS OF LABOR, MATERIALS, TOOLS, EQUIPMENT, INSURANCE, AND OTHER COSTS NECESSARY TO FULLY COMPLETE THE WORK PURSUANT TO THE CONTRACT DOCUMENTS. IT IS THE INTENTION OF THE CONTRACT DOCUMENTS TO PROVIDE AND REQUIRE A COMPLETED WORK PROJECT READY FOR OPERATION.
- OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS OR THE MISDESCRIPTION OF DETAILS OF WORK WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF WORK, BUT SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THESE DRAWINGS
- 10. THE OWNER, AT ITS DISCRETION, RESERVES THE RIGHT TO MODIFY THE DETAILS OF WORK TO BE PERFORMED FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THESE PLANS, PROVIDED THAT THE MODIFIED DETAILS COMPLY WITH ALL OSHA, FEDERAL, STATE, LOCAL, AND UTILITY REGULATIONS AND REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
- 11. THE CONTRACTOR SHALL CONFINE THEIR ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT, THE EXISTING RIGHT-OF-WAYS, AND CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER
- 12. ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION. WORKMANSHIP EQUIPMENT, OR MATERIALS SHALL BE REPAIRED, CORRECTED, OR REPLACED BY APPROVED METHODS AS DIRECTED BY OWNER AND
- 13. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR AND SUBCONTRACTORS SHALL EXERCISE PRECAUTIONS AT ALL TIMES FOR PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146. THE CONTRACTOR AND SUBCONTRACTOR SHALL ALSO ABIDE BY ALL JURISDICTIONAL ORDINANCES AND STATE/FEDERAL LAWS.
- 14. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER AND OWNER FROM AND AGAINST ALL CLAIMS, DAMAGES, CAUSES OF ACTION, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, RESULTING FROM THE PERFORMANCE OF THE WORK DESORIBED IN THE PLANS AND SPECIFICATIONS DUE TO INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES, INCLUDING LOSS OF USE, ARISING FROM OR ON ACCOUNT IN PART OR IN WHOLE BY ANY ACT OR OMISSION OF THE CONTRACTOR OR SUBCONTRACTOR, REGARDLESS OF WHETHER IT IS CAUSED IN PART BY A PARTY INDEMNIFED HEFELUNDER. INDEMNIFIED HEREUNDER.
- 15. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND
- 16. WHEREVER UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED. THE WORK WHICH VER DISCONTINUED UNTIL THE PROJECT ENGINEER AND OWNER SHALL BE DISCONTINUED UNTIL THE PROJECT ENGINEER AND OWNER APPROVE THE METHOD AND MATERIALS TO BE INCORPORATED INTO THE WORK IN ORDER TO REMEDIATE THE UNSTABLE SOIL.
- 17. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER IF SUSPECTED HAZARDOUS MATERIAL OR ANY OTHER MATERIAL THAT MAY CREATE A HEALTH RISK IS DISCOVERED ON SITE. IF THE CONTRACTOR ENCOUNTERS SUSPECTED HAZARDOUS MATERIALS ON SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP PERFORMANCE O WORK AFFECTED BY SUCH MATERIALS UNTIL SUCH MATERIALS HAVE BEEN PROPERLY REMEDIATED OR UNTIL DIRECTED BY THE OWNER.
- 19. NO NON-RUBBER TIRED VEHICLES SHALL BE MOVED ON PUBLIC STREETS. EXCEPTIONS MAY BE GRANTED BY THE APPLICABLE GOVERNING AGENCY WHERE SHORT DISTANCES AND SPECIAL CIRCUMSTANCES ARE INVOLVED. GRANTING OF EXCEPTIONS MUST BE IN WRITING, AND DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.
- 20. NO NON-RUBBER TIRED VEHICLES SHALL BE MOVED ON PRIVATE ROADWAYS, DRIVES, OR PARKING LOTS WITHOUT EXPRESS WRITTEN PERMISSION FROM THE OWNER OF THE FACILITY. ANY DAMAGE TO PRIVATE ROADWAYS, DRIVES, OR PARKING LOTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE
- 21. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS, AND PLAN SPECIFICATIONS TO THE OWNER AND LOCAL UTILITY COMPANIES AS REQUIRED FOR REVIEW AND APPROVAL PRIOR TO ANY SAID PRODUCTS OR MATERIALS BING ORDERED FOR THE PROJECT. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.

- MAINTENANCE OF TRAFFIC NOTES

 1. ALL WORK WITHIN RIGHT OF WAY TO INCLUDE TRAFFIC CONTROL IN ACCORD WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCO) AND PER ALL GOVERNING AUTHORITY REQUIREMENTS. LANE OR PEDESTRIAN WALKWAY RESTRICTIONS OR CLOSURES REQUIRED DURING CONSTRUCTION MUST BE APPROVED BY THE VILLAGE, COUNTY, TOWNSHIP, OR OTHER GOVERNING AGENCY A MINIMUM OF TWO (2) WEEKS PRIOR TO ANY WORK BEING PERFORMED. OTHERWISE TRAFFIC LANES AND PEDESTRIAN WALKWAYS SHALL BE FULLY OPEN TO TRAFFIC AT ALL TIMES.
- ALL TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED, AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE OMUTCD AND THE REQUIREMENTS OF THE LOCAL GOVERNING AGENCIES, ENGINEER, OR CONSTRUCTION MANAGER.
- SITE MAINTENANCE AND RESTORATION NOTES

 1. THE CONTRACTOR SHALL PROVIDE, MAINTAIN, AND REPLACE SEDIMENT AND EROSION CONTRIOL MEASURES PER THE APPROVED STORMWATER POLLUTION PREVENTION PLAN AND PET THE CURRENT OHIO ENVIRONMENTAL PROTECTION AGENCY (OEPA) GENERAL PERMIT FOR CONSTRUCTION STORMWATER REQUIREMENTS LINDER WHICH PROJECT HAS OBTAINED COVERAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SUITABLE DUST CONTROL MEASURES TO ALLEVIATE OR PREVENT DUST NUISANCE ORIGINATING FROM WITHIN THE PROJECT LIMITS.
- 3. THE CONTRACTOR SHALL MAKE THEIR OWN PROVISIONS TO PROVIDE A SITE STAGING AREA AND JOB TRAILER (IF REQUIRED).
- 4. THE CONTRACTOR SHALL FURNISH AND MAINTAIN SANITARY CONVENIENCE FACILITIES FOR THE WORKMEN AND INSPECTORS DURING THE DURATION OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF MUD, SOIL, OR OTHER DEBRIS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY AT THE END OF EACH WORK DAY, OR AS REQUIRED.
- THE CONTRACTOR SHALL RESTORE ALL EXISTING PROPERTY DAMAGED DUE TO THE EXECUTION OF THE WORK SPECIFIED IN THE PLANS AND SPECIFICATIONS TO EQUAL DO BETTER CONDITION PRIOR TO THE DAMAGE, AT THE CONTRACTOR'S EXPENSE, AS DETERMINED BY THE OWNER OF THE AFFECTED PROPERTY. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED ACCORDING TO THE APPROPRIATE UTILITY OWNER.
- THE CONTRACTOR SHALL CLEAN-UP ALL DEBRIS AND MATERIALS RESULTING FROM CONSTRUCTION AND SHALL RESTORE ALL EXISTING PROPERTY AND UTILITIES TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AND APPLICABLE AGENCY. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH THAT THE PROPERTY THE PROPERTY OF SHALL REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH THAT THE PROPERTY THE PROPERTY OF THE PROPERTY O TRASH, OR ORGANIC MATERIAL RESULTING FROM CONSTRUCTION OR DEMOLITOR IN A LAWFUL MANNER. ALL DEMOLISHED MATERIALS STALL BE REMOVED FROM THE SITE (UNLESS OTHERWISE NOTED) AND DISPOSED OF IN ACCORDANCE WITH ALL LAWS, REQUILATIONS, AND ORDINANCES. MATERIALS, DEBRIS, TRASH, OR RUBBISH SHALL NOT BE BURNED, BURIED, OR LEFT ON SITE OR BURNED OFF SITE.
- ANY PERMANENT SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE RESET BY A REGISTERED PROFESSIONAL SURVEYOR WITHIN THE STATE OF OHIO.
- ALL DRAIN TILE AND STORM SEWERS DAMAGED, DISTURBED, OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH SAME OR BETTER QUALITY PIPE, MAINTAINING THE SAME GRADIENT AS EXISTING, REPLACED DRAIN TILE OR STORM SEWER SHALL BE LAID ON COMPACTED BEDDING EQUAL IN DENSITY TO THE SURROUNDING STRATUM, IF POSSIBLE, THE DRAIN TILE OR STORM SEWER SHALL BE CONNECTED TO A STORM SEWER STRUCTURE, CURB UNDERDRAIN, OR OUTLET INTO A DITCH AS APPLICABLE.
- CLEARING AND GRUBBING

 1. ALL SITE CLEARING SHALL BE PERFORMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OF THE SITE IMPROVEMENTS. CLEARING SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL FIELD REVIEW THE EXTENT OF THE SITE CLEARING AND GRADING WITH THE OWNER. NO CLEARING OR GRADING SHALL BE PERFORMED UNTIL A FORMAL AUTHORIZATION HAS BEEN OBTAINED FROM THE OWNER. THE CONTRACTOR SHALL LIMIT LAND DISJURBANCE TO ONLY THAT REQUIRED TO PERFORM THE WORK SHOWN ON THESE PLANS.
- ALL TREES, BRUSH, AND STUMPS WITHIN THE CONSTRUCTION LIMITS OF THIS PROJECT SHALL BE REMOVED AS A PART OF THE PLAN IMPROVEMENTS. THIS WORK SHALL INCLUDE THE OFFSITE REMOVAL AND DISPOSAL OF CLEARED AND GRUBBED MATERIALS. BURNING OR BURYING OF CLEARED AND GRUBBED MATERIALS IS NOT PERMITTED.
- THE CONTRACTOR SHALL PROTECT TREES, LANDSCAPING, SITE IMPROVEMENTS, AND OTHER ITEMS NOT SCHEDULED FOR CLEARING, OR THAT MIGHT BE DAMAGED BY CONSTRUCTION. ANY TREES, SHRUBS, OR VEGETATION NOT MARKED FOR REMOVAL THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- IF THE CONTRACTOR PERFORMS LAND DISTURBANCE NEAR IF THE CONTRACTOR PERFORMS LAND DISTORDANCE NEAR POTENTIAL, KNOWN BAT HIBERNACULA OR TREE CUTTING BETWEEN MARCH 15 TO NOVEMBER 13, A BAT STUDY SHALL BE PERFORMED ACCORDING TO THE CURRENT VERSION OF THE OHIO DIMISION OF MILDUFE SERVICE JOINT GUIDANCE FOR BAT SURVEYS AND TREE CLEARING.
- EXISTING UTILITIES

 1. EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR SOCIETY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING PRIVATE SERVICES. DATA ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION, INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD AND GIS MAPS AND FIELD SURVEY. THE OWNER AND ENGINEER ASSUMES NO RESPONSIBILITY AS TO THE ACCURRAY, COMPLETENESS, OR CORRECTNESS OF THE LOCATIONS AND ELEVATIONS OF THE EXISTING UTILITIES SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING UTILITIES. CONTRACTOR TO COORDINATE ANY RELOCATION OR DISTURBANCE WITH THE RESPECTIVE UTILITY OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THE PLANS OR NOT. SHOULD ANY UNCHARTED EXISTING UTILITIES BE UNCOVERED DURING EXCAVATION, THE CONTRACTOR SHALL CONSULT THE OWNER AND ENCINEER INJECTIONS OF THE PROPERTY OF TH ENGINEER IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK
- WHERE POTENTIAL GRADE AND ALIGNMENT CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF LAYING PIEP OR DUCT TO VERIFY THE ELEVATION AND LOCATION. THE CONTRACTOR SHALL CONTRACT THE OWNER AND ENGINEER IN THE EVENT OF ANY UNFORESEEN CONFLICTS STREET, USE THE PART OF THE PROPERTY OF THE PROPERTY OF THE PART OF THE BETWEEN EXISTING AND PROPOSED UTILITIES IN ORDER TO MAKE ANY NECESSARY ADJUSTMENTS.

- 5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE TEMPORARY UTILITY OUTAGES WITH THE APPLICABLE UTILITY COMPANY, LOCAL JURISDICTION, AND NOTIFY ALL AFFECTED SERVICE OWNERS NO LESS THAN 3 WORKING DAYS PRIOR TO THE PLANNED OUTAGE. THE CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER, LOCAL JURISDICTION AND/OR THE UTILITY COMPANY, THE CONTRACTOR SHALL INSTALL TEMPORÁRY UTILITY SERVICES AS NECESSARY.
- THE CONTRACTOR SHALL INSTALL SHORING AND/OR TEMPORARY STRUCTURES TO PROVIDE SUPPORT TO ANY AND ALL EXISTING AFFECTED UTILITIES PER THE UTILITY COMPANY'S REQUIREMENTS.
- GENERAL GRADING AND DRAINAGE NOTES

 1. PROPOSED ELEVATIONS SHOWN ON THE PLANS SHALL NOT BE CHANGED WITHOUT APPROVAL OF THE LOCAL JURISDICTION, OWNER, AND
- THE CONTRACTOR SHALL COMPACT FILL IN A MAXIMUM LIFT OF 8"
 UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE
 MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFEDD
 PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER
- UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
- THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS TO COMPLETE CONSTRUCTION PROVIDED ON THE PLANS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF—SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE WORK
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL STATE AND LOCAL REQUIREMENTS ASSOCIATED WITH IMPORTING SOIL FROM ANOTHER
- IT IS THE CONTRACTOR'S OBLIGATION AND RESPONSIBILITY TO CONFIRM THE EXISTING GRADES SHOWN ON THE PLANS PRIOR TO ANY EXCAVATION. THE CONTRACTOR MUST DOCUMENT EXISTING GRADE DISPUTES BY A TOPOGRAPHIC SURVEY PERFORMED BY A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF OHIO. IN THE ABSENCE OF A TOPOGRAPHIC SURVEY BY THE CONTRACTOR, THE GRADES AND ELEVATIONS SHOWN IN THE PLAN WILL BE THE RECORD FOR ANY AND ALL SOIL VOLUME DISPUTES.
- SLOPES STEEPER THAN 3 FEET HORIZONTAL TO 1 FEET VERTICAL AND ALL EARTHEN DRAINAGE WAYS SHALL RECEIVE JUTE OR EXCELSIOR MATTING PER ODOT CMS ITEM 671 TYPE F, UNLESS NOTED OTHERWISE.
- 8. THE FLOW IN ALL SEWERS, DRAINS, AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND WHEREVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK, THEY SHALL BE RESTORED BY THE CONTRACTOR AT HIS OWN EXPENSE
- GENERAL CONSTRUCTION LAYOUT AND PAYING NOTES

 1. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCH MARKS,
 PROPERTY CORNERS, REFERENCE POINTS, STAKES, AND OTHER SURVEY
 REFERENCE MONUMENTS OR MARKERS. IN CASE OF THE DESTRUCTION
 OF THE SURVEY REFERENCE MARKERS, THE CONTRACTOR SHALL BE
 RESPONSIBLE FOR THE RESETTING OF THE MARKERS BY A
 PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF OHIO.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS, CURB RAMPS, PARKING AREAS, AND PATHWAYS REQUIRED FOR ACCESSIBILITY SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS DISABILITY ACT (ADA) OF 1990.
- ALL PAYING MATERIALS FURNISHED AND WORK PERFORMED SHALL BE IN STRICT ACCORDANCE WITH THE ODOT CMS SPECIFICATIONS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL SUBMIT A JOB—MIX FORMULA FOR THE ASPHALT CONCRETE PAVEMENT TO THE OWNER FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO THE PLACEMENT OF BITUMINOUS PAVEMENTS.
- ASPHALT SURFACE COURSE SHALL BE LAID WITH THE DIRECTION OF TRAFFIC FLOW IN ALL DRIVE LANES WITHIN PARKING AREAS AND
- CONTRACTOR SHALL NOT PLACE PAVEMENT ON FROZEN OR WET SURFACES, OR WHEN PRECIPITATION IS OCCURRING.
- CONTRACTOR SHALL NOT PLACE PAVEMENT WHEN AIR OR SURFACE TEMPERATURE IS BELOW 40' F FOR BINDER COURSE AND WALKS AND BELOW 50' FOR WEARING COURSE, ROADWAYS, AND PARKING AREAS.
- 8. ANY MATERIAL DELIVERED TO THE SPREADER HAVING A TEMPERATURE LOWER THAN 250° F SHOULD NOT BE USED.
- THE MINIMUM ROLLER WEIGHT FOR PAVEMENT SHALL BE TEN (10) TON. ALL COURSES SHALL BE COMPACTED TO A MINIMUM OF NINETY—THREE (93%) PERCENT OF THE THEORETICAL MAXIMUM SPECIFIC GRAVITY.
- 19. ALL PAVEMENT LIFT THICKNESSES SPECIFIED ARE THE MINIMUM
- 20. ALL PAVEMENT MARKINGS, SIGNS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO AASHTO AND THE OMUTCD. ALL SIGNS SHALL BE CONSTRUCTED OF FLAT SHEET ALUMINUM IN ACCORDANCE WITH STATE HICHWAY SPECIFICATIONS. STEEL SIGN POSTS SHALL BE USED AND CONFORM TO ASTM A36 OR ASTM A441 AND GALVANIZED ACCORDING TO AASHTO M111.
- . THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS. PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE ODOT CMS AND SHALL BE EITHER COLD LAID PLASTIC TAPE OR PAINTED. PAVEMENT MARKINGS SHALL BE APPLIED PER THE MANUFACTURER RECOMMENDATIONS.
- 22. A MINIMUM CLEARANCE OF TWO (2) FEET SHALL BE MAINTAINED FROM THE FACE OF CURB, EDGE OF PAVEMENT, OR BACK OF SIDEWALK AND ANY PART OF A LIGHT POLE FOUNDATION, UTILITY POLE, OR TRAFFIC
- 23. THE CONTRACTOR SHALL SAWCUT IN NEAT, STRAIGHT LINES AT TIE-INS TO EXISTING PAVEMENT, EXISTING CURBS, AND AT COLD JOINTS OF RECENTLY PAVED PAVEMENT.
- 24. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF THE JOINTING TOOL.

- 25. ALL PAVEMENT JOINTS, INCLUDING WHERE A PROPOSED PAVEMENT ABUTS AN EXISTING PAVEMENT AND WHERE PAVEMENT JOINTS ABUT UTILITY STRUCTURES SUCH AS MANHOLES, CATCH BASINS, VALVE BOXES, ETC., MUST BE SEALED IN ACCORDANCE WITH ODOT CMS ITEM
- 26. ALL CONCRETE, EXCEPT FOR CURBS, SHALL BE 6% (±1 1/2%) AIR ENTRAINED, 3/4" AGGREGATE AND CONFORM TO A MINIMUM 28 DAY STRENGTH OF 4,000 PSI AND SHALL HAVE A MAXIMUM WATER CONTENT OF 0.50. ALL CONCRETE, EXCEPT FOR CURBS, SHALL BE MADE OF TYPE I OR TYPE II CEMENT UNLESS OTHERWISE SPECIFIED.
- 27. ALL CONCRETE FOR CURBS SHALL BE 6% (±1 1/2%) AIR ENTRAINED, 3/4" AGGREGATE AND CONFORM TO A MINIMUM 28 DAY STRENGTH OF 4,500 PSI, HAVE A MAXIMUM WATER CONTENT OF 0.40, AND BE 130 LBS/LF, ALL CONCRETE FOR CURBS SHALL BE MADE OF SAND AND GRAVEL AGGREGATE UNLESS OTHERWISE SPECIFIED.
- 28. THE CONTRACTOR SHALL INSTALL ALL CURBING IN A TRUE LINE AND PROPER GRADE IN ACCORDANCE WITH THE PLANS AND APPROPRIATE SPECIFICATIONS. CURVED CURB SECTIONS SHALL BE USED FOR RADII LESS THAN 30'. ALL CURBING SHALL BE BACKFILLED WITH CLEAN
- 29. ALL SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH AND VERTICAL FACES SHALL BE FORMED.
- 30 CONTRACTOR TO COORDINATE ANY TRANSFORMER AND GENERATOR PAD DIMENSIONS AND SPECIFICATIONS WITH ELECTRIC PROVIDER PRIOR TO CONSTRUCTION.
- 31. THE CONTRACTOR SHALL INSTALL ALL UTILITY PIPING, SEWERS, AND CONDUITS PRIOR TO PAYING OPERATIONS.
- GENERAL UTILITY AND TRENCHING NOTES

 1. THE CONTRACTOR SHALL COORDINATE SERVICE INSTALLATIONS AND CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION AS NECESSARY.
- ALL WATER MAINS, WATER SERVICES, SANITARY SEWERS AND SANITARY LATERALS SHALL CONFORM TO THE OEPA, APPLICABLE COUNTY AND LOCAL DEPARTMENTS, AND UTILITY COMPANY SPECIFICATIONS.
- OPEN CUTTING OF STREETS IS PROHIBITED UNLESS OTHERWISE AUTHORIZED BY THE LOCAL GOVERNING AGENCY.
- UTILITY TRENCHES WITHIN A 1:1 INFLUENCE OF A PUBLIC ROADWAY, INCLUDING ALL POINTS TO WITHIN 3' BEHIND THE CURB, ARE TO BE FILLED AND COMPACTED PER ODOT CMS ITEM 711.03 TYPE 2. UTILITY TRENCHES OUTSIDE OF THE INFLUENCE OF PAVEMENT SHALL BE FILLED AND COMPACTED WITH SUITABLE NATIVE MATERIAL TO WITHIN 98% OF THE MAXIMUM DRY DENSITY PER ASTM D557. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
- ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAWOUT AND REPLACED IN ACCORDANCE WITH PAVEMENT REPAIR REQUIREMENTS OF THE LOCAL JURISDICTION AND THESE PLANS.
- 6. STORM SEWERS, SANITARY SEWERS, AND WATER MAINS CONSTRUCTED IN FILL AREAS GREATER THAN 1-FOOT SHALL BE CONSTRUCTED AFTER COMPACTED FILL HAS BEEN INSTALLED TO PROPOSED GRADE.
- THE CONTRACTOR SHALL PROVIDE SLEEVES LINDER FOOTINGS OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS AS REQUIRED
- THE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS.
- 9. UTILITY CONDUIT PIPE SHALL BE SCHEDULE 80 PVC UNLESS OTHERWISE REQUIRED BY THE UTILITY COMPANY, MINIMUM COVER SHALL BE 36" FOR ELECTRIC CONDUITS AND 24" FOR TELEPHONE AND CABLE CONDUITS, SERVICE CONDUITS SHALL BE MAKED WITH MAGNETIC LOCATOR TAPE. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HAND HOLES AS REQUIRED.
- ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY AND LOCAL JURISDICTIONAL REQUIREMENTS.
- MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC. TO PROPOSED FINISHED GRADE AS NOTED ON THE PLANS.
- 12. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE OWNER AND ALLOWED BY THE GOVERNING AGENCY.
- 13. SANITARY SEWERS AND LATERALS AND STORM SEWERS SHALL MAINTAIN A MINIMUM 10' HORIZONTAL AND A MINIMUM 1'-6' VERTICAL SEPARATION (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) FROM WATER MAINS AND SERVICES. OTHER UTILITIES, INCLUDING ELECTRIC, GAS, AND TELECOMMUNICATION, SHALL MAINTAIN A MINIMUM 3' HORIZONTAL AND A MINIMUM 1' VERTICAL (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) FROM WATER MAINS AND SERVICES, SANITARY SEWERS AND LATERALS, AND COR STORM SEWERS. AND INDICATED TO STORM SEWERS. ADDITIONAL PROTECTION MEASURES INCLUDING, BUT NOT LIMITED TO, CONCRETE ENCASEMENT MAY BE REQUIRED IF THE INDICATED, CLEARANCES CAN NOT BE MET. INDICATED CLEARANCES CAN NOT BE MET.
- 14. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- 15. MANHOLE SECTION AND CONSTRUCTION SHALL CONFORM TO ASTM

- DEWATERING NOTES

 1. ANY WELL, WELL POINT, PIT, OR OTHER DEVICE INSTALLED FOR THE PURPOSE OF LOWERING THE GROUNDWATER LEVEL TO FACILITATE CONSTRUCTION OF THIS PROJECT SHALL BE CAPPED AS REQUIRED BY APPLICABLE COUNTY AND OHIO DEPARTMENT OF PUBLIC HEALTH REQUIREMENTS AND OPPA STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL FURNISH AND OPERATE SUITABLE PUMPING EQUIPMENT OF SUCH CAPACITY, ADEQUATE TO DEWATER THE TRENCH. SHOULD WATER BE ENCOUNTERED, THE TRENCH SHALL BE SUFFICIENTLY DEWATERED SO THAT THE PLACEMENT OF BEDDING AND LAYING AND JOINING OF PIPE IS MADE ON FIRM, DRY GROUND.

REVISIONS

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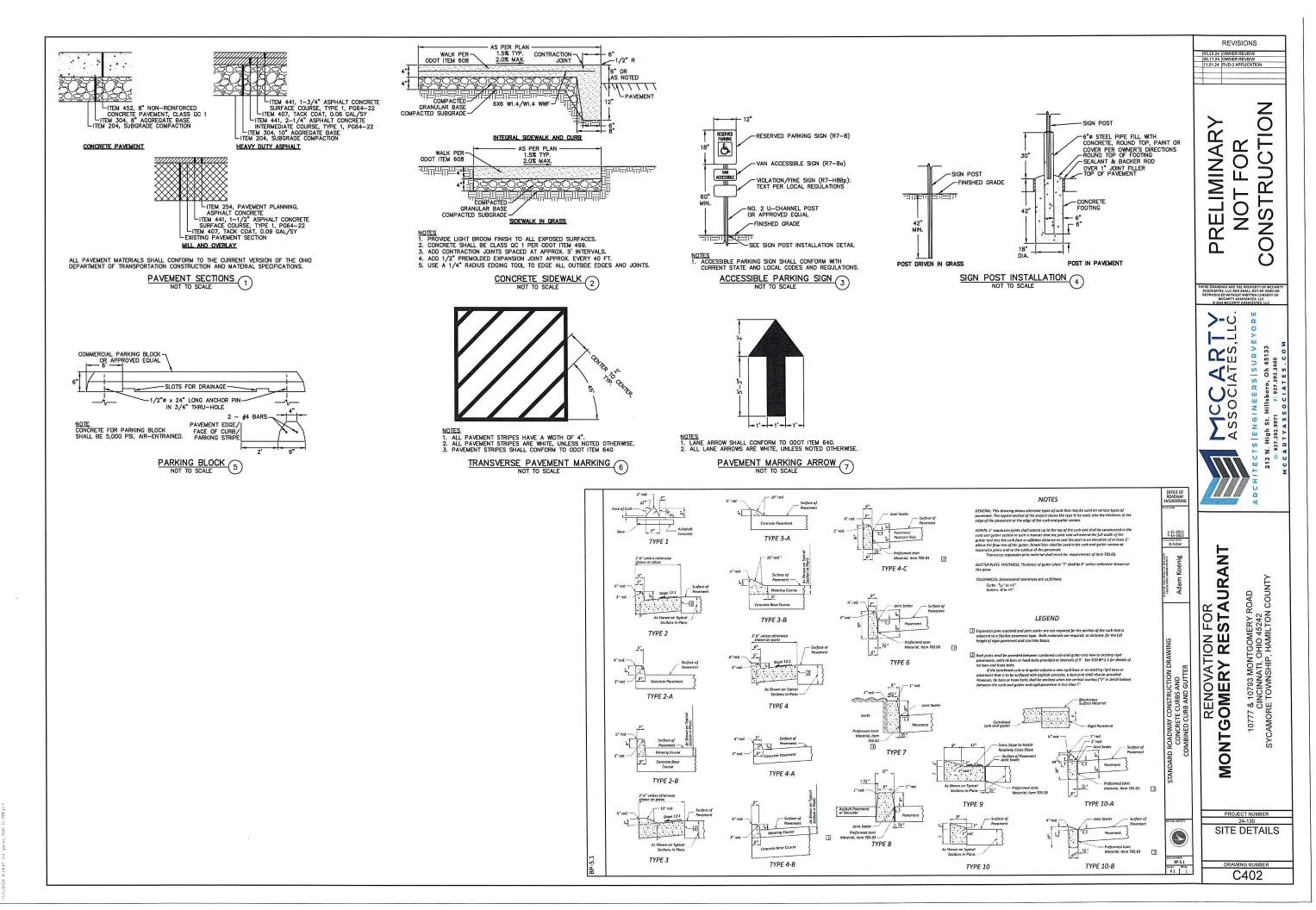
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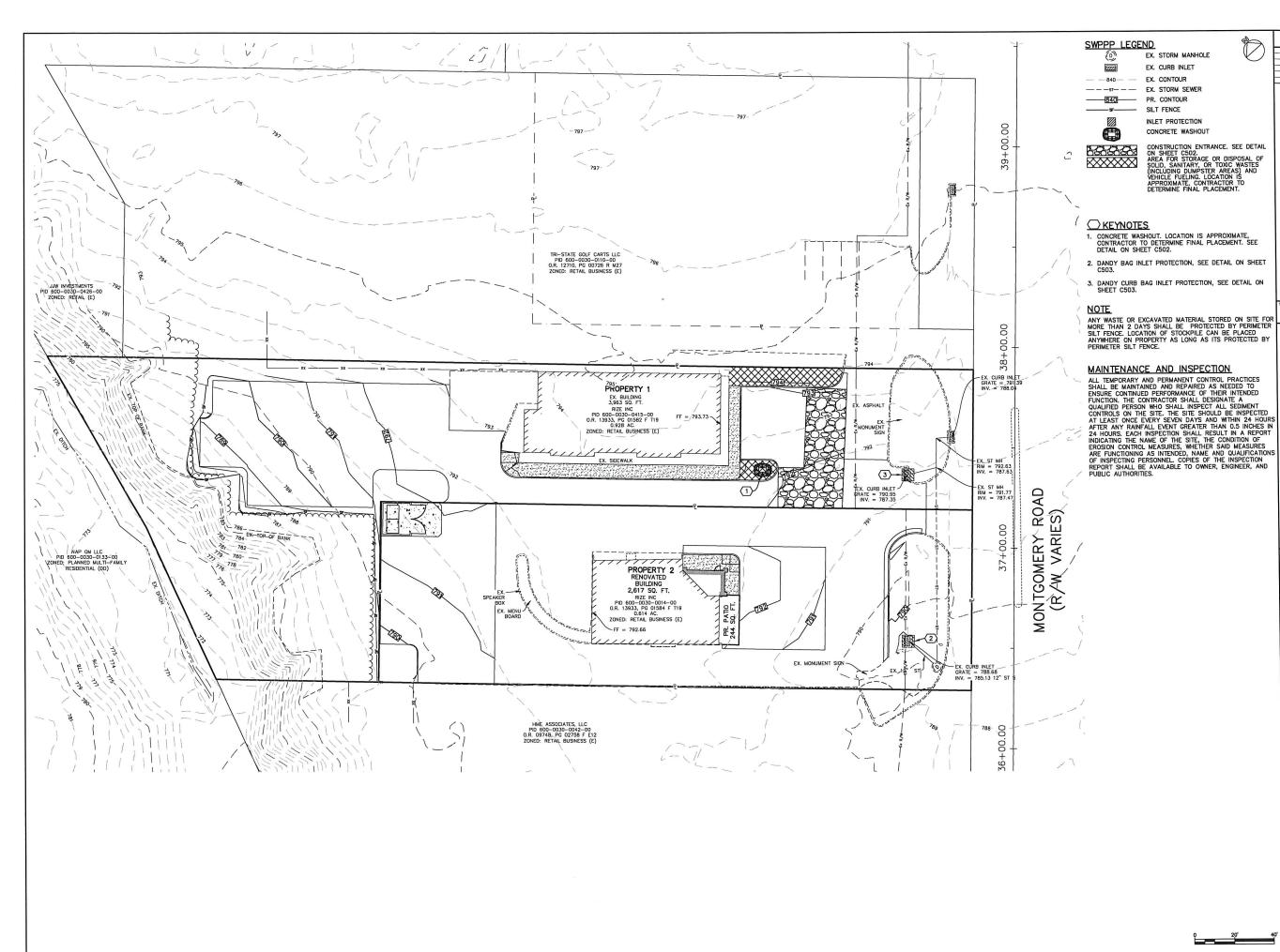
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GENERAL NOTES

DRAWING NUMBER



224/24—130 RIZE, ING. HENTGENERY ROAD RESTAURANT RENCYCAEVALNOCAD. Project/dwg/Plan Production Files/24130_6_Gen Notes & Detailsdwg.



REVISIONS

CONSTRUCTION

PRELIMINARY NOT FO

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C T S | E N G I N E E R S | S U R V E Y 13 N. High St. Hillsboro, Oh 45133 0: 937.393.9971 F: 937.393.2480 C A R T Y A S S O C I A T E S . C O M

MCCA ASSOCIATE

RENOVATION FOR MONTGOMERY RESTAURANT

COUNTY 10777 & 10793 MONTGOMERY ROAD CINCINNATI, OHIO 45242 SYCAMORE TOWNSHIP, HAMILTON COUI

PROJECT NUMBER

STORMWATER POLLUTION PREVENTION PLAN

OWNER/DEVELOPER

RIZE, INC.
8575 SLEEPY HOLLOW DRIVE
CINCINNATI, OHIO 45243
CONTACT: GUY GUNACAR
PHONE: (513) 257—1117
EMAIL: DRGUNACAR @GMAIL.COM

SIE CONTACT
CONTACT: GUY GUNACAR
PHONE: (513) 257-1117
EMAIL: DRGUNACAR@GMAIL.COM

PROJECT DESCRIPTION.
THIS PROJECT CONSISTS OF THE EXPANSION OF AN EXISTING DRIVE—THROUGH RESTAURANT BUILDING AND ASSOCIATED PARKING LOT.

<u>EXISTING SITE DESCRIPTION</u>
THE SUBJECT PROPERTY IS AN EXISTING DRIVE—THROUGH RESTAURANT AND DENTAL OFFICE WITH ASSOCIATED PARKING AND DRIVES.

SITE AREA THE SITE IS APPROXIMATELY 1.54 ACRES OF WHICH 0.55 ACRES WILL BE DISTURBED BY CONSTRUCTION ACTIVITIES.

VOLUMETRIC RUNOFF COEFFICIENT
PRE-DEVELOPMENT RUNOFF COEFFICIENT - 0.59 POST-DEVELOPMENT RUNOFF COEFFICIENT - 0.68

SOIL TYPES Ur - Urban Land UruxC - Urban Land-Udorthents Complex, 0 to 12 percent slopes

- SEQUENCE OF CONSTRUCTION OPERATIONS
 THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:
 1. ESTABLISH A CONSTRUCTION ENTRANCE/EXIT
 2. INSTALL PERIMETER CONTROLS

- 5. INSTALL INLET PROTECTION
 6. CONSTRUCT CURBS, PAVEMENT, AND SIDEWALKS
 7. FINAL GRADING AND INSTALL PERMANENT SEEDING
 8. REMOVE PERIMETER CONTROLS AND INLET PROTECTION

NAME OF RECEIVING SURFACE WATER BODY. DITCH TRIBUTARY TO NORTH BRANCH OF SYCAMORE CREEK

GENERAL NOTES

ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH ALL LOCAL EROSION/SEDIMENT CONTROL, WASTE DISPOSAL, SANITARY AND HEALTH REGULATIONS.

ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST MEET THE STANDARDS AND SPECIFICATIONS OF THE OHIO RAINWATER AND LAND DEVELOPMENT

OTHER EROSION CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND IMPLEMENTATION OF ADDITIONAL EROSION CONTROL ITEMS, AT THE ENGINEER'S DESCRIPTION.

REGULAR INSPECTION AND MAINTENANCE WILL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES.

THE CONTRACTOR SHALL USE EROSION CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT MOVEMENT INTO AREAS DESIGNATED AS WETLANDS.

NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.

ADDITIONAL EROSION AND SEDIMENT CONTROL BMP'S MAY BE REQUIRED AS IDENTIFIED BY THE SWPPP INSPECTOR.

SWPPP INSPECTOR: OWNER/CONTRACTOR SHALL SUBMIT INSPECTOR NAME AND RESUME

EROSION AND SEDIMENT CONTROLS

STABILIZATION PRACTICES
TEMPORARY STABILIZATION: TOP SOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR OVER 14 DAYS MILL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN 7 DAYS OR WITHIN 2 DAYS FOR AREAS WITHIN 50 FEET OF A STREAM. THE TEMPORARY SEED SHALL BE APPLIED AS PER THE TEMPORARY SEEDING SPECIFICATIONS. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLIANG GEOTEXTILE AND STONE SUB-BASE UNTIL ASPHALT PAVEMENT CAN BE APPLIED.

PERMANENT STABILIZATION; DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OR WITHIN 2 DAYS FOR AREAS WITHIN 50 FEET OF A STREAM.

STABILIZATION TYPE	J	F	М	Α	М	J	J	Α	s	0	N	D
PERMANENT SEEDING	Г	Г					٠				Г	Г
DORMANT SEEDING							Г		Г	•		
TEMPORARY SEEDING	Т	Г		•							Г	Г
SODDING	П		**	**	**	**	**	**	**		П	Г
MULCHING												

- IRRIGATION NEEDED

- IRRIGATION NEEDED FOR 2-3 WEEKS AFTER SOD IS APPLIED

STORMWATER MANAGEMENT.
STORMWATER DRAINAGE WILL BE PROVIDED THROUGH SHEET FLOW, AN EXISTING
DITCH TO THE WEST, AND EXISTING CATCH BASINS THAT ULTIMATELY DRAIN INTO
THE NORTH BRANCH SYCAMORE CREEK.

OTHER CONTROLS

WASTE DISPOSAL ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED MASIE JINSUSAL
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED
METAL DUMPSTER RENTED FROM A LICENSED SOLID WASTE MANAGEMENT
COMPANY. THE DUMPSTER WILL ME ENTE ALL DCAL, CITY AND STATE SOLID WASTE
MANAGEMENT REGULATIONS, ALL TRASH AND CONSTRUCTION DEBRIS FROM THE
SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A
MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH
WILL BE HAULED OFF-SITE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED
ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT
PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE
POSTED IN THE OFFICE TRAILER. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY
SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES
ARE FOLLOWED. ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE WILL
BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY
ORC 3714.

HAZARDOUS WASTE
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER
SPECIFED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE
PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES. THE INDIVIDUAL WHO
MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT

SANITARY WASTE ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.

OFF—SITE VEHICLE TRACKING
OFF—SITE TRACKING OF SEDIMENTS SHALL BE MINIMIZED. A STABILIZED
CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING
OF SEDIMENTS. ALL PAVED STREETS ADJACENT TO THE SITE WILL BE SWEPT DAILY
TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP
TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH
A TARPAULIN.

DEWATERING ACTIVITIES.
THERE SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS, RESULTING FROM DEWATERING ACTIVITIES. SEDIMENT-LADEN WATER MUST PASS THROUGH A SETTLING POND, FILTER BAG, OR OTHER COMPARABLE PRACTICE, PRIOR TO

PROCESS WASTEWATER
ALL PROCESS WASTEWATER (EQUIPMENT WASHING, LEACHATE FROM ON-SITE
WASTE DISPOSAL, ETC.) SHALL BE COLLECTED AND DISPOSED OF AT A PUBLICLY
OWNED TREATMENT WORKS.

TIMING OF CONTROLS/MEASURES

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, CONSTRUCTION ENTRANCE(S) AND SILT FENCE WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED PRIOR TO GRADINE FOR ALL AREAS REMAINING DISTURBED LONGER THAN 14 DAYS AND/OR WITHIN 7 DAYS OF ANY GRUBBING ACTIVITIES. DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 14 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 2 DAYS IF THE AREA IS MORE THAN 50 FEET AWAY FROM A STREAM. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 50 FEET OF A STREAM. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH WITHIN 2 DAYS IF THE AREA IS WITHIN 50 FEET OF A STREAM. AND WILL BE STABILIZED WITH PERMANENT SEED AND MULCH WITHIN 2 DAYS IF THE AREA IS WITHIN 50 FEET FROM A STREAM. AND WITHIN 7 DAYS IF THE AREA IS MORE THAN 50 FEET FROM A STREAM. ATTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE BASIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

CONSTRUCTION ENTRANCE	
CONCRETE WASHOUT	
SILT FENCE	
DANDY BAG	

DANDY CURB BAG
TEMPORARY SEEDING & MULCHING
PERMANENT SEEDING & MULCHING
DANDY DEWATERING BAG

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES
THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.

GOOD HOUSEKEEPING: THESE GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT ISITE DURING THE CONSTRUCTION PROJECT.

AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO

- DO THE JOB.

 2. ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.

 3. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL
- MANUFACTURER'S LABEL.
 SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED
 BY THE MANUFACTURER.
 WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE
- DISPOSING OF THE CONTAINER
- 6. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

 7. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

- NISTUSPLUS PRODUCTS: THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

 1. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.

 2. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.

 3. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS: ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED

FUEL STORAGE TANKS SHALL BE LOCATED AWAY FROM SURFACE WATERS AND STORM SEWER SYSTEM INLETS. FUEL TANKS SHALL BE STORED IN A DIKED AREA CAPABLE OF HOLDING 150% OF THE TANK CAPACITY.

FERTILIZERS: FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTILLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS: ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS: CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

DUST CONTROL

DUST CONTROL INVOLVES PREVENTING OR REDUCING DUST FROM EXPOSED SOILS OR OTHER SOURCES DURING LAND DISTURBING, DEMOLITION AND CONSTRUCTION ACTIVITIES TO REDUCE THE PRESENCE OF AIRBORNE SUBSTANCES WHICH MAY PRESENT HEALTH HAZARDS, TRAFFIC SAFETY PROBLEMS OR HARM ANIMAL OF

THE FOLLOWING SPECIFICATIONS FOR DUST CONTROL SHALL BE FOLLOWED ONSITE:

- VEGETATIVE COVER AND/MULCH: APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMIAN IDLE FOR OVER 21 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING; PERMANENT SEEDING; MULCHING PRACTICES; AND TREE AND NATURAL AREA PROTECTION PRACTICES.
- PRACTICES.

 2. WAIERING: SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WAIERING SHALL BE DONE ATA RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.

 3. SPRAY-ON. ADHESIVES: APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS' INSTRUCTIONS.

ADHESIVE	WATER DILUTION (ADHESIVE: WATER)	NOZZLE TYPE	APPLICATION RATE GAL./AC.
LATEX EMULSION	12.5:1	FINE	235
RESIN IN WATER ACRYLIC EMULSION (NO-TRAFFIC)	4:1	FINE	300
ACRYLIC EMULSION (NO-TRAFFIC)	7:1	COARSE	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350

- 4. STONE: GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL
- EMISSIONS.

 EMISSIONS.

 BARRIERS: EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERFENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.

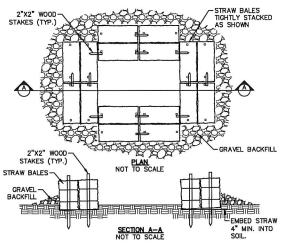
 CALCIUM CHLORIDE: THIS CHEMICAL MAY BE APPLIED BY MECHANICAL SPREADER AS LODSE, DRY GRANULES OR FLAKES AT A RATE THAT KEEPS THE SURFACE MOIST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. APPLICATION RATES SHOULD BE STRICTLY IN ACCORDANCE WITH SUPPLIERS' SPECIFIED RATES.

 OPERATION AND MAINTNANCE: WHEN TEMPORARY DUST CONTROL MEASURES ARE USED: REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL.

- ACCOMPLISH CONTROL.

 8. SIREET CLEANING: PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED DAILY, OR AS NEEDED, UTILIZING A STREET SWEEPER OR BUCKET TYPE ENDLOADER OR SCRAPER.

CONCRETE WASHOUT



CONSTRUCTION SPECIFICATIONS: 1. THE RESIDUE OR CONTENTS OF ALL CONCRETE MIXERS, DUMP TRUCKS, OTHER THE RESIDUE OR CONTENTS OF ALL CONCRETE MIXERS, DUMP TRUCKS, OTHER CONVEYANCE FQUIPMENT AND FINISHING TOOLS SHALL BE WASHED INTO CONCRETE CLEAN—OUT STRUCTURES CONSISTING OF A STRAW BALE BARRIER WITH GRAVEL BACKFILL. THE LENGTH AND WIDTH OF THESE STRUCTURES SHALL BE AS DETERMINED BY THE CONTRACTOR TO FACILITATE THE PARTICULAR EQUIPMENT USED. THESE STRUCTURES SHALL BE CONSTRUCTED ON LEVEL GROUND AT LEAST 100° FROM THE NEAREST WATERCOURSE, DRAINAGE SWALE OR INLET. AT NO TIME SHALL THE STRUCTURE BE ALLOWED TO BE MORE THAN 50° FULL. THE CONTRACTOR SHALL MAINTAIN THESE PONDS UNTIL ALL CONCRETE PLACEMENT IS COMPLETE FOR THE PROJECT.

- 2. EMBED THE STRAW BALES 4" INTO THE SOIL. PROVIDE TWO ROWS OF BALES, AS SHOWN ON THE DETAIL, WITH ENDS AND CORNERS TIGHTLY ABUTING. ORIENT THE STRAW BALES LENGTHWISE WITH BINDINGS AROUND THE SIDES OF THE BALES SO THE WIRE DOES NOT CONTACT THE SOIL DRIVE 2"X2" WOOD STAKES THROUGH EACH BALE, TO SECURELY ANCHOR THE BALE AND CONNECT ADJACENT BALES. GRAVEL BACKFILL SHALL BE PROVIDED AND TAMPED AROUND THE OUTSIDE PERIMETER OF THE BALES TO PREVENT EROSION AND FLOW AROUND THE BALES.
- 3. THE INTENT OF THESE STRUCTURES IS TO COLLECT ALL CONCRETE WASH OUT WATER AND ALLOW IT TO DRY TO A SOLID MATERIAL. AFTER DRYING, THE SOLID MATERIAL CAN BE REMOVED WITH A LOADER OR EXCAVATOR FOR PROPER DISPOSAL. WASH OUT WILL NOT BE PERMITTED IN ANY OTHER AREAS.
- 4. USE THE MINIMUM AMOUNT OF WATER TO WASH THE VEHICLES AND EQUIPMENT. NEVER DISPOSE OF WASH OUT INTO THE STREET, STORM INLET, DRAINAGE SWALE OR WATERCOURSE. DISPOSE OF SWALL AMOUNTS OF EXCESS DRY CONCRETE, GROUT AND MORTAR IN THE TRASH. ANY SOAPS THAT ARE UTILIZED SHALL BE PHOSPHATE—FREE AND BIODEGRADABLE.
- 5. ADDITIONAL CONCRETE CLEAN—OUT STRUCTURES SHALL BE CONSTRUCTED WITHIN THE SPECIFIED AREA AS NEEDED BASED UPON THE VOLUME OF WASH OUT GENERATED DAILY.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

 AND ACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

 MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASHOTONIAL SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

 SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE REPORTED TO OHIO EPA (1-800-282-9378), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MINUTES OF THE SPILL.
- SPILL.

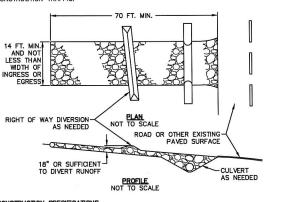
 5. SOILS CONTAMINATED BY PETROLEUM OR OTHER CHEMICAL SPILLS MUST BE TREATED/DISPOSED AT AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITY
- FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITY (TSDF).

 6. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

 7. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY—TO—DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP CONTAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

CONSTRUCTION ENTRANCE

A CONSTRUCTION ENTRANCE IS A STABILIZED PAD OF STONE UNDERLAIN WITH GEOTEXTILE AND IS USED TO REDUCE THE AMOUNT OF MUD TRACKED OFF—SITE WITH CONSTRUCTION TRAFFIC. LOCATED AT POINTS OF INGRESS/EGRESS, THE PRACTICE IS USED TO REDUCE THE AMOUNT OF MUD TRACKED OFF—SITE WITH CONSTRUCTION TRAFFIC.



FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:

- CONSTRUCTION SPECIFICATIONS

 1. STONE SIZE: 0001 #2 (1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
- CONCRETE EQUIVALENT.

 2. LENGTH: THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT.

 3. THICKNESS: THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.

 4. WIDTH: THE ENTRANCES SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.

 5. GOTOTEXTILE; A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA, PRIOR TO PLACING STONE. IT SHALL BE LAID OVER THE ENTIRE AREA, PRIOR TO PLACING STONE. IT SHALL BE LAID OVER THE ENTIRE AREA.

GEOTEXTILE SPECIFICATION FOR CONSTRUCTION ENTRANCE					
MINIMUM TENSILE STRENGTH	200 LBS.				
MINIMUM PUNCTURE STRENGTH	80 PSI.				
MINIMUM TEAR STRENGTH	50 LBS.				
MINIMUM BURST STRENGTH	320 PSI.				
MINIMUM ELONGATION	20%				
EQUIVALENT OPENING SIZE	<0.6 MM.				
PERMITTIMTY	1X10 ⁻³ CM/SEC.				

- TIMING: THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.

 CULVERT: A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ONTO PAVED CULBEACES.
- SURFACES.

 8. WAITER BAR: A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.

 9. MAINTENANCE: TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND, MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY, REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.

 10. VEHICLES: CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF—SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION—SITE SHALL BE RESTRICTED FROM MUDDTY AREAS.

REVISIONS

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STORMWATER POLLUTION PREVENTION PLAN

> RAWING NUMBER C502

STORM SEWER GRATE-

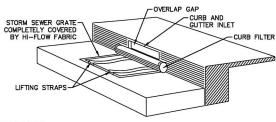
INSTALLATION

1. PLACE THE EMPTY DANDY BAG OVER THE GRATE AS THE GRATE STANDS ON END. PULL UP SLACK. 2. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE.

3. HOLDING THE LIFT STRAPS, INSERT THE GRATE INTO THE INLET BEING CAREFUL NOT TO DAMAGE THE DANDY BAG UNIT.

MAINTENANCE

1. THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH RAIN EVENT OR AS DIRECTED BY ENGINEER/INSPECTOR. DISPOSE OF UNIT NO LONGER IN USE AT AN APPROPRIATE RECYCLING OR SOLID WASTE FACILITY



INSTALLATION.

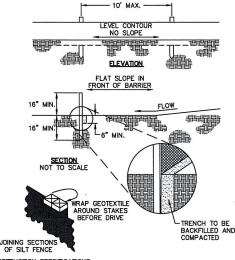
1. PLACE THE EMPTY DANDY CURB BAG OVER THE GRATE AS THE GRATE STANDS ON END. PULL UP SLACK.

- 2. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE
- 3. HOLDING THE LIFT STRAPS, INSERT THE GRATE INTO ITS FRAME, FRONT EDGE FIRST, THEN LOWER BACK EDGE WITH CYLINDRICAL TUBE INTO PLACE.

MAINTENANCE

1. THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH RAIN EVENT OR AS DIRECTED BY ENGINEER/INSPECTOR. DISPOSE OF UNIT NO LONGER IN USE AT AN APPROPRIATE RECYCLING OR SOLID WASTE FACILITY

SILT FENCE



CONSTRUCTION SPECIFICATIONS

1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE

- 2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS
- ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WIL BE PREVENTED FROM FLOWING AROUND THE ENDS.
 SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- 6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- 8. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8 INCHES OF GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
- SEAMS BETWEEN SECTION OF SILT FENCE SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH AA MINIMUM 6 INCHES OVERLAP PRIOR TO DRIVING INTO THE GROUND. (SEE DETAILS)
- 10. MAINTENANCE: SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

 SILT FENCE SHALL BE INSTALLED.

 SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

CRITERIA FOR SILT FENCE MATERIALS.

1. FENCE POSTS — THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2-BY-2 INCH NOMINAL DIMENSIONED HARDWOOD OF SOUND QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS, THAT WILL WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. POSTS TO STEELE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT/WATER LOADING.

2. SILT FENCE FABRIC (SEE CHART BELOW):

FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (535 N)	ASTM D 4632
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180 N)	ASTM D 4533
APPARENT OPENING SIZE	≤0.84 MM	ASTM D4751
MINIMUM PERMITTIVITY	1X10 ⁻² SEC. ⁻¹	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM G 4355

NOTE: THE USE OF STRAW WATTLE, OR FILTER SOCK, HAS BEEN PROVEN TO BE AN EFFECTIVE ESC BMP. STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE IN LINEAR INSTALLATIONS

TEMPORARY SEEDING CONSTRUCTION SPECIFICATIONS

TEMPORA	ARY SEEDING SPECIES SE	LECTION			
SEEDING DATES	SPECIES	LB./1000 FT ²	LB./ACRE		
MARCH 1 TO AUGUST 15	OATS	3	128 (4 BU.)		
	TALL FESCUE	1	40		
	ANNUAL RYEGRASS	1	40		
	PERENNIAL RYEGRASS TALL FESCUE ANNUAL RYEGRASS	1 1	40 40 40		
	ANNUAL RYEGRASS PERENNIAL RYEGRASS CREEPING RED FESCUE KENTUCKY BLUEGRASS	1.25 3.25 0.4 0.4	55 142 17 17		
AUGUST 16 TO NOVEMBER 1	RYE	3	112 (2 BU.)		
	TALL FESCUE	1	40		
	ANNUAL RYEGRASS	1	40		
	WHEAT	3	120 (2 BU.)		
	TALL FESCUE	1	40		
	ANNUAL RYEGRASS	1	40		
	PERENNIAL RYE	1	40		
	TALL FESCUE	1	40		
	ANNUAL RYEGRASS	1	40		
	ANNUAL RYEGRASS	1.25	55		
	PERENNIAL RYEGRASS	3.25	142		
	CREEPING RED FESCUE	0.4	17		
	KENTUCKY BLUEGRASS	0.4	17		
NOVEMBER 1 TO FEB. 28 USE MULCH ONLY OR DORMANT SEEDING					

- STRUCTURAL EROSION AND SEDIMENT—CONTROL PRACTICES SUCH AS
 DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH
 TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION

 STATEMENT OF THE CONSTRUCTION

 THE CONSTRUCTION

 STATEMENT OF THE CONSTRUCTION

 ST
- TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 21 DAYS OR GREATER. THESE IDLE AREAS SHALL BE SEEDED WITHIN 7 DAYS AFTER GRADING.
- 3. THE SEEDBED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.
- SOIL AMENDMENTS—TEMPORARY VEGETATION SEEDING RATE SHALL ESTABLISH ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. BASE RATE FOR LIME AND FERTILIZER SHALL BE USED.
- 5. SEEDING METHOD——SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SPREADER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER MILL BE MIXED ON SITE. AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT

MULCHING TEMPORARY SEEDING

1. APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL
BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE
DURING OPTIMUM SEEDING DATES ON FAVORABLE VERY FLAT SOIL CONDITIONS
MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.

2. MATERIALS

- STRAW: IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE OR 90 LB. PER 1,000 SQUARE FEET (TWO TO THREE BALES).

 HYDROSEDERS: IF WOOD-CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB. PER ACRE OR 46 LB. PER 1,000 SQUARE FEET.

 OTHER: OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINOS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS
- APPLIED AT 6 TONS PER ACRE.
- 3. STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WND OR WATER. ANCHORING METHODS

 MECHANICAL: A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, LEFT TO A LENGTH OF APPOXIMATELY 6 INCHES.

 MULCH NETTINGS: NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATION RUNOFF AND ON CRITICAL SLOPES.

 YNTHETIC BINDERS: SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.

 WOOD—CELLULOSE FIBER: WOOD—CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB. PER ACRE. THE WOOD—CELLULOSE FIBER SHALL BE MIXED WITH WATER, AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. PER 100 GALLONS.

PERMANENT SEEDING

- SITE PREPARATION

 1. SUBSOILER, PLOW, OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL

 1. SUBSOILER, PLOW, OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL

 1. SUBSOILER, PLOW, OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL

 WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY.) SUBSOILING

 SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENDUGH TO ALLOW THE

 SOIL TO CRACK OR FRACTURE. SUBSOILING SHALL NOT BE DONE ON

 SLIP—PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT

 IS NECESSARY FOR ESTABLISHING VEGETATION.

 2. THE SITE SHALL BE GRADED AS NECEDED TO PERMIT THE USE OF

 CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING.

 3. TOPSOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION.

- SEEDBED PREPARATION

 1. LIME: AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACID SOIL AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 POUNDS PER 1,000—SQ. FT. OR 2 TONS PER

SEEDING DATES AND SOIL CONDITIONS.
SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO
SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED
DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE A
MINIMUM OF BOX GERMINATION. TILLAGE FOR SEEDBED PREPARATION SHOULD BE
DONE WHEN THE SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS
WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION

DORMANT SEEDINGS

1. SEEDINGS SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 20. DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURWYE THE WINTER.

2. THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING":

"FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR, AFTER NOVEMBER 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE, INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.

"FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDI TIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZE, APPLY THE SELECTED SEED MIXTURE, MULCH AND ANCHOR, INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.

"APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER (SLURRY MAY INCLUDE SEED AND FERTIL IZER) ON A FIRM, MOIST SEEDBED.

"WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDERIS USED, THE SEEDBER DROULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG, ON SLOPING LAND, SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG, ON SLOPING LAND, SEEDING OPERATIONS SHOULD BE FORMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG, ON SLOPING LAND, SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG, ON SLOPING LAND, SEEDING OPERATIONS SHOULD BE FORMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG, ON SLOPING LAND, SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG, ON SLOPING LAND, SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG, ON SLOPING LAND, SEEDING

MULCHING

1. MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. DORMANT SEEDING SHALL BE MULCHED. 100% OF THE GROUND SURFACE SHALL BE COVERED WITH AN APPROVED MATERIAL.

COVERED WITH AN APPROVED MATERIAL.

2. MATERIALS

STRAW: IF STRAW IS USED IT SHALL BE UNROTTED SMALL—GRAIN STRAW APPLED AT THE RATE OF 2 TONS PER ACRE OR 90 POUNDS (TWO TO THREE BALES) PER 1,000—SQ. FT. THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY APPLIED SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND—SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000—SQ.—FT. SECTIONS AND SPREAD TWO 45—LB. BALES OF STRAW IN EACH SECTION.

HYDROSEEDERS: IF WOOD CELLUCISE FIBER IS USED, IT SHALL BE APPLIED AT 2,000 LB, AC. OR 46 LB, 7,000 SQ.

OTHER: OTHER ACCEPTABLE MULCHES INCLUDE ROLLED EROSION CONTROL MATTINGS OR BLANKETS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHILD ES INCLUDE ROLLED EROSION CONTROL MATTINGS OR BLANKETS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.

3. STRAW AND MULCH ANCHORING METHODS
STRAW MUCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.

• MECHANICAL: A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BESET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY, BE LEFT LONGER THAN 6 INCHES.

• MULCH NETTING; NETTING SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.

• ASPHALT EMULSION: ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER'S ATT THE RATE OF 160 GALLONS PER ACRE.

CRITICAL SLOPES.

ASPHALT EMULSION: ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURE OR AT THE RATE OF 180 GALLONS PER ACRE. SYNTHETIC BINDERS: SYNTHETIC BINDERS SUCH AS ACRYLIC DIE ACRE. THE RATE OF 180 GALLONS PER ACRE. SYNTHETIC BINDERS SUCH AS ACRYLIC DIE OFFICIAL THE REPROPERT OF THE MANUFACTURER.

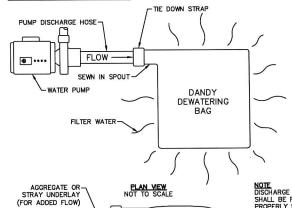
WOOD CELLULOSE FIBER: WOOD CELLULOSE FIBER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 POUNDS CELLULOSE PER 100 GALLONS OF WATER.

IRRIGATION
PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION
DURING DRY WEATHER OR ON ADVERSE SITE CONDITIONS, WHICH REQUIRE
ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH.

IRRIGATION RATES SHALL BE MONITORED TO PREVENT EROSION AND DAMAGE TO SEEDED AREAS FROM EXCESSIVE RUNOFF.

PERMANENT SEEDING SPECIES SELECTION							
CEED MIN	SEEDING	G RATE	NOTES				
SEED MIX	LB./1000 FT ²	LB./ACRE	NOIES				
GENERAL USE							
OATS	1/2-1	20-40	FOR CLOSE MOWING &				
TALL FESCUE ANNUAL RYEGRASS	1/4-1/2	10-20 20-40	WATERWAYS WITH <2.0 FT/SEC VELOCITY				
TALL FESCUE	1-1 1/4	40-50	FI/SEC VELOCITI				
	2 1/4	90					
TURF-TYPE FESCUE			DEC.				
	STEEP BANKS		PES				
TALL FESCUE	1-1 1/4	40-50					
CROWN VETCH	1/4-1/2	10-20	DO NOT SEED LATER THAN				
TALL FESCUE	1/2-3/4	20-30	AUGUST				
FLAT PEA	1/2-3/4	20-25	DO NOT SEED LATER THAN				
TALL FESCUE	1/2-3/4	20-30	AUGUST				
	ROAD DITCH	IES AND SWAL	ES				
TALL FESCUE	1-1 1/4	40-50					
TURF-TYPE FESCUE	2 1/4	90					
KENTUCKY BLUEGRASS	0.1	5					
LAWNS							
KENTUCKY BLUEGRASS	2 2	100-120					
PERENNIAL BLUEGRASS							
KENTUCKY BLUEGRASS	2 ,_	100-120	FOR SHADED AREAS				
CREEPING RED FESCUE	1-1 1/2						
NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.							

DANDY DEWATERING BAG®



SIDE VIEW NOT TO SCALE

NOTE.

DISCHARGE HOSES USED DURING PUMPING ACTIVITIES
SHALL BE FITTED WITH SEDIMENT BAGS THAT ARE
PROPERLY SIZED PER MANUFACTURER'S
RECOMMENDATIONS REGARDLESS OF WHAT OTHER
SEDIMENT CONTROLS ARE IN PLACE FURTHER
DOWNSTREAM. SEDIMENT BAGS MUST BE PROPERLY
SECURED TO THE DISCHARGE HOSE AND PLACED
OVER VEGETATED AREAS, WHERE FEASIBLE, DURING
DISCHARGE. INSTALL AND MAINTAIN SYSTEM PER
MANUFACTURER'S RECOMMENDATION. MANUFACTURER'S RECOMMENDATION.

REVISIONS

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J R COUNT FOR 10777 & 10793 MONTGOMERY F CINCINNATI, OHIO 45242 SYCAMORE TOWNSHIP, HAMILTON RENOVATION FOR SOMERY RES

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PROJECT NUMBER STORMWATER POLLUTION

PREVENTION PLAN C503

ALL LANDSCAPE MATERIALS SHALL MEET CHAPTER 15 OF THE SYCAMORE TOWNSHIP ZONING CODE.

- CANOPY TREES SHALL BE DECIDUOUS TREES WITH A MINIMUM OF TWELVE FEET (12') OVERALL HEIGHT OR A MINIMUM OF 2 1/2 INCHES WHEN INSTALLED, AND HAVE AN EXPECTED HEIGHT OF AT LEAST 35 FEET AT MATURITY PER 15–3.3(a).
- SHRUBS SHALL BE AT LEAST EIGHTEEN INCHES (18") IN HEIGHT OR TWENTY—FOUR INCHES (24") IN SPREAD WHEN INSTALLED.
- 4. THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS AND VEGETATION PROPOSED. ANY TREES, SHRUBS, GROUND COVER, OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACE AT THE EXPENSE OF THE CONTRACTOR.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES AT LEAST 2 WORKING DAYS PRIOR TO ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST DUE TO DAMAGE TO ANY
- ALL PLANTING MATERIALS SHALL BE PLANTED PER ODOT SPECIFICATIONS. EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE BROKEN, LOW HANGING AND OTHER UNDESIRABLE GROWTH.
- 7. ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO ABOVE 60°T CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF WITH PRE-EMERGENT AND POST-EMERGENT TYPE HERBICIDES USING A STATE-LICENSED HERBICIDE APPLICATION. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBICCOUS MATERIALS HAVE BEEN KILLED. BEFORE PLANTING, TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTO-TILLER.
- 8. FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:
 A. ONE PART EXCAVATED SOIL
 B. ONE PART TOPSOIL
 C. ONE PART EAR RATED CLASS IV COMPOST
 D. A SLOW RELEASE COMMERCIAL FERTILIZER (0-20-20 OR EQUAL)
 ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE MIX.
 E. IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25
 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF MIX.
- 9. SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDDED HARDWOOD BARK OF UNIFORM TEXTURE AND SIZE. PLANTS GROUPED IN MASSES SHALL HAVE THE ENTIRE CONTIGUOUS PLANTING BED OR ISLAND MULCHED. USE SHREDDED HARDWOOD BARK AGED MIN. ONE YEAR. RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS, MULCH TO A DEPTH OF 3 INCHES. AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12–12–12 OR EQUAL), IN GRANULAR FORM, TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1,000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS, OR LEAVES.
- 10. BEFORE FINAL INSPECTION, PLACE ALL PLANTS, SEED ALL LAWN, AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOW THE STANDARD HORTICULTURAL PRACTICES TO ENSURE THE HEALTH AND GROWTH OF THE PLANTED MATERIAL WATER, REMULCH, RESTAKE, GUY, AND CULTIVATE AS NECESSARY. ENSURE MULCHED AREAS ARE COMPLETELY RID OF WEEDS AND GRASSES.
- 11. ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT, OR 1. ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT, OR LANDSCAPE PLANTING BEDS SHALL BE PREPARED FOR GRASS SEED. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MINIMUM OF 4" TOPSOIL PLACES, SEEDED, AND A STRAW/MULCH COVER PLACED OVER THE SEEDED AREA PER ODOT SPECIFICATIONS. FERTILIZE ONE POUND OF ACTUAL NITROGEN PER 1,000 SQUARE FEET WITH A SLOW RELEASE COMMERCIAL STARTER FERTILIZER (LESCO 18-24-12 OR EQUAL).
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING, AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1° OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATER TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAGS) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.

SITE LEGEND

PR. DECIDUOUS/COVER TREE

PR. DECIDUOUS SHRUB

SEEDING AND MULCHING

LANDSCAPE BED LIMITS, CONTRACTOR TO COORDINATE BED MATERIAL WITH OWNER.

ABBREVIATIONS

ILA INTERIOR LANDSCAPE AREA

NOTE:

- 1. SEE SHEET C101 FOR EXISTING CONDITIONS LEGEND.
- 2. SEE SHEET C201 FOR SITE LEGEND.

SITE DATA

PROPERTY 1 CURRENT ZONING: PR. IMPERVIOUS AREA: LAND USE CLASS:

RETAIL BUSINESS (F) 0.52 ACRES (55.9%)

(22 SQ. FT. PER PARKING SPACE PER 12-6.4(a))
PARKING LOT TREES: 7 (2 TREES PER 10 PARKING SPACES PER 12-6.4(b))
PARKING LOT SHRUBS: 21 21 (3 SHRUBS PER TREE REQUIRED PER 12-6.4(b))

PROPERTY 2 PR. IMPERVIOUS AREA:

0.55 ACRES (90%)

REQUIRED INTERIOR LANDSCAPING: 616 SQ. FT. INTERIOR LANDSCAPING: 015 St. FT. 357 St. 14 (22 SQ. FT. PER PARKING/STACKING SPACE PER 12-6.4(o))
PARKING LOT TREES: 5 2
(2 TREES PER 10 PARKING SPACES PER 12-6.4(b))
PARKING LOT SHRUBS: 15 (2.6.4(b))

(3 SHRUBS PER TREE REQUIRED PER 12-6.4(b))

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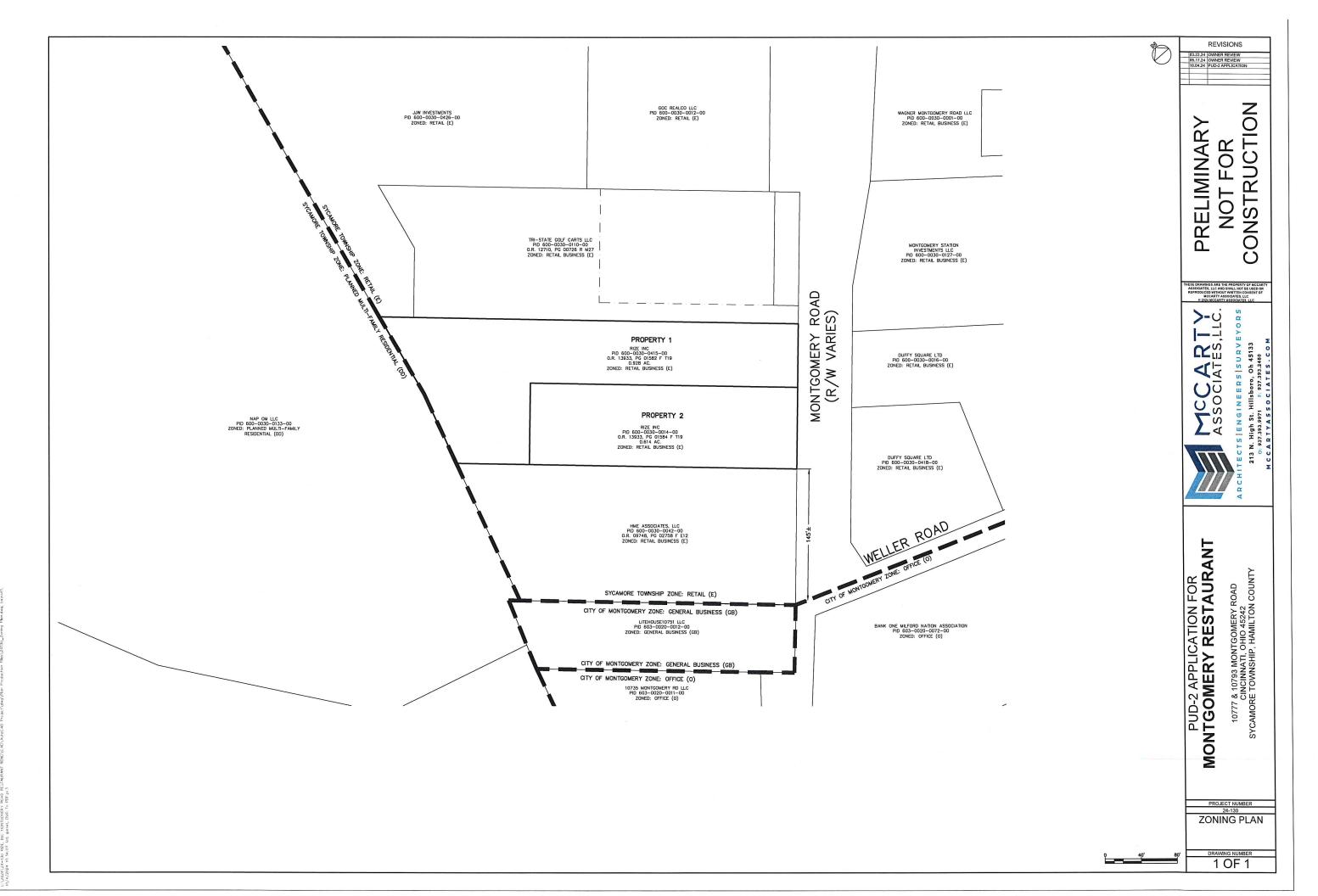
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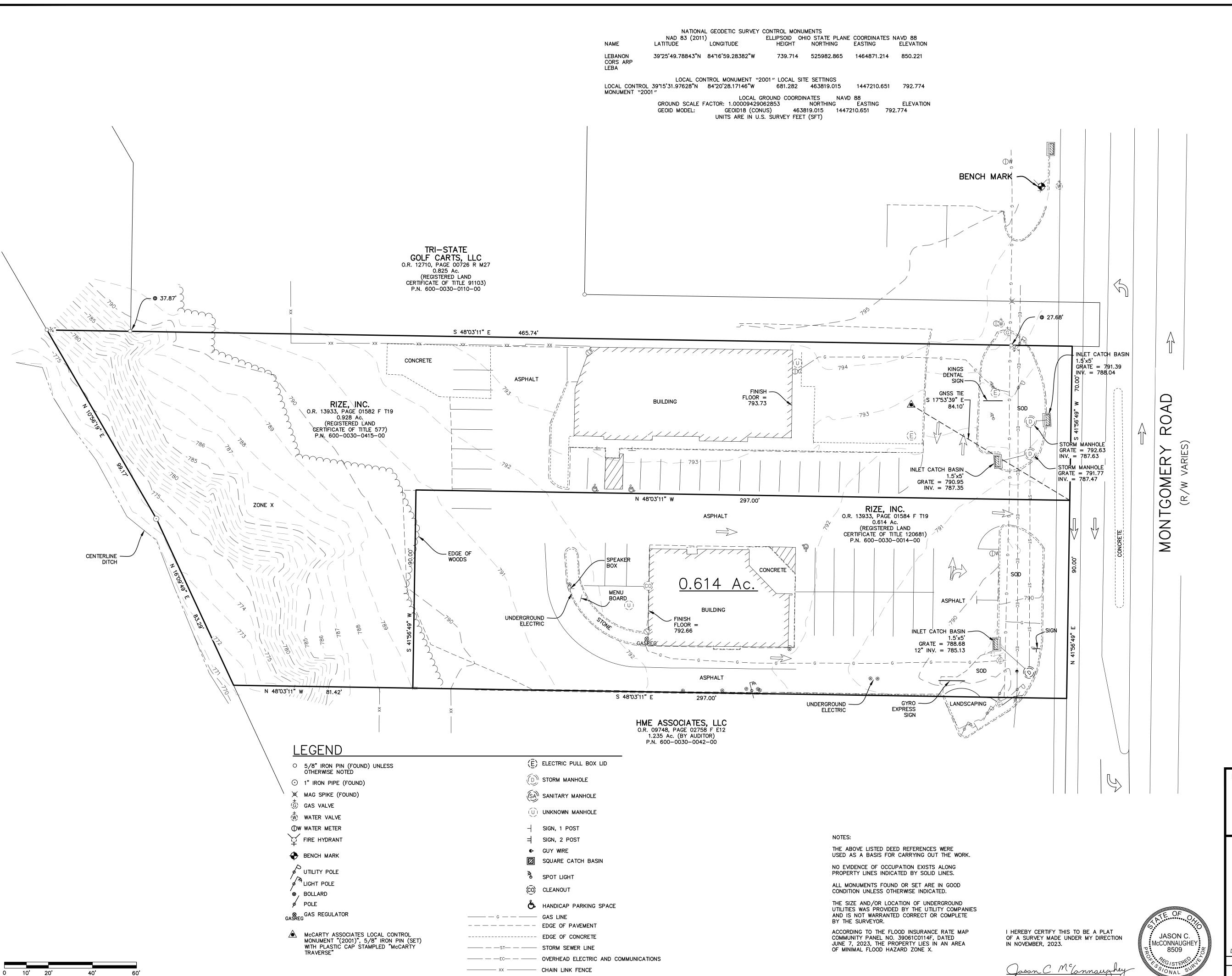
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LANDSCAPE PLAN

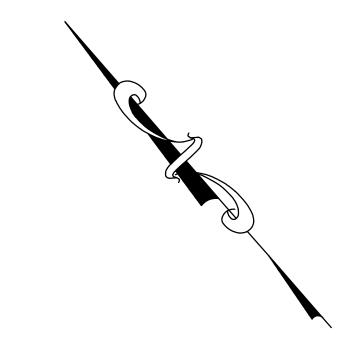
DRAWING NUMBER L101





----- XX ----- CHAIN LINK FENCE

BEARINGS ARE BASED UPON THE GRID AZIMUTH (AZ 195°51'34.9") BETWEEN NATIONAL GEODETIC SURVEY CORS STATION "LEBA" AND MCCARTY ASSOCIATES GEODETIC LOCAL CONTROL MONUMENT "2001" AND DERIVED FROM GNSS OBSERVATIONS TAKEN FEBRUARY 19, 2024, UTILIZING THE ODOT OHIO REAL TIME NETWORK (TRIMBLE VIRTUAL REFERENCE SYSTEM). (TRIMBLE FILE 24130 02-20-24)



BENCH MARK: ARROW BOLT ON TOP OF FIRE HYDRANT 15.08' WEST AND 142.52 NORTH OF SUBJECT PREMISES.

ELEVATION = 796.42 FEET (NAVD88)

DEED REFERENCE: **RIZE, INC.**0.R. 13933, PAGE 01582 F T19 0.928 Ac. (REGISTERED LAND CERTIFICATE OF TITLE 577)
P.N. 600-0030-0415-00 **RIZE, INC.** O.R. 13933, PAGE 01584 F T19 0.614 Ac. (REGISTERED LAND CERTIFICATE OF TITLE 120681)

P.N. 600-0030-0014-00

REVISION

S24-130

LIMITED BOUNDARY, TOPOGRAPHIC, PLANIMETRIC AND UTILITY SURVEY OF

PROPERTY SYCAMORE TOWNSHIP

HAMILTON COUNTY, OHIO SEC 5 — TOWN 4 — ENTIRE RANGE 1 MIAMI PURCHASE



ARCHITECTS | ENGINEERS | SURVEYORS

213 N. High St. Hillsboro, Oh 45133 O: 937.393.9971 F: 937.393.2480

M C C A R T Y A S S O C I A T E S . C O M DATE PROJECT NO.

1"=20'

MARCH 6, 2024

JASON C. McCONNAUGHEY, P.S. 8509

204586 19-478533 19-481486 06/06/2019

Convey. number.

Deed number:

513000.00 0.50 1539.00 513.00 2052.50

Instr. number
Transfer date:
Sec. 319.202 R.C.
Sec. 322.02 R.C.
Dusty Rhodes
Hamilton Courty Auditor
Sales amount:
003 - Transfer Fee
050 - Permissive Fee
202 - Conveyance Fee
Fee total:

After recording, please return to: Gerner & Kearns Co., LPA, Box T-19

File # GK1900098

Norbert A. Nadel Hamilton County Recorder's Office Doc #: 2019-0044301 Type: DE Filed: 06/06/19 02:21:09 PM \$28.00 Off.Rec.: 13933 01584 F T19 2

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GENERAL WARRANTY DEED

Tri-State Golf Carts, LLC, an Ohio limited liability company for valuable consideration paid, grants with general warranty covenants to Rize, Inc., an Ohio corporation, whose tax mailing address is 8575 Sleeping Hollow Drive, Cincinnati, Ohio 45243, the following described real property:

Situated in Sycamore Township, Section 5, Town 4, Entire Range 1, Hamilton County, Ohio.

Beginning at a point in the North Line of Section 5, said point being South 83° 09' West, 1056.00 feet from the Northeast corner of said section; thence South 1° 00' West, 1,879.02 feet to a point in the Original Centerline of Montgomery Road (U.S. 22), which line is also the Southeasterly line of Registered Land described in Certificate of Title No. 577, said point being 1,766.33 feet Southwestwardly from the East line of said Section 5 along said Original Centerline as per survey of April 4, 1922, and platted in the Registered Lands Office of the Hamilton County Recorder in Certificate Book 3, Page 577 which point is the true place of beginning of this conveyance; thence continuing in said Original Centerline of Montgomery Road, South 37° 19' West, 50.83 feet to a point in the Grantors' Southerly line, said point being 12.23 feet West of and at right angles from the established improved centerline for said Montgomery Road as recorded in Plat Book 60, Page 31, in the offices of said Hamilton County Recorder; thence continuing in the Grantors' Southerly line, North 52° 41' West, 297.00 feet to a point; thence North 37° 19' East 90.00 feet to a point; thence South 52° 41' East, 297.00 feet to a point in the Original Centerline of Montgomery Road; thence continuing in said Original Centerline South 37° 19' West 39.17 feet to the place of beginning; thus enclosing 0.614 acres of land; subject to legal highways and an easement to the State of Ohio.

The Registered Land portion of the following premises is described as follows:

Situated in Sycamore Township, Section 5, Town 4, Entire Range 1, Hamilton County, Ohio.

Beginning at a point in the North line of said Section 5, said point being South 83° 09' West, 1,056.00 feet from the Northeast corner of said section thence South 1° 00' West, 1,879.02 feet to a point in the Original Centerline of Montgomery Road (U.S. 22), said point being 1,766.33 feet Southwestwardly from the East line of said Section 5 along said Original Centerline as per survey of April 4, 1922, and platted in the Registered Land Office of the Hamilton County Recorder in Plat Book 3, Page 577, to the true place of beginning of this Registered Land; thence continuing North 1° East 48.61 feet; thence South 52° 41' East 28.79 feet; thence South 37° 19' West 39.17 feet to the place of beginning.

Subject to and together with ingress, egress and vehicular parking easements as set forth in Deed Book 4259, Page 195 and Registered Land Certificate No. 120681, Hamilton County, Ohio Records.

Subject to and together with all easements, restrictions and legal highways, if any, of record

Parcel Number: 600-0030 (0014-00, 48, 49 & 419 (cons.))

More Commonly Known As: 10793 Montgomery Road, Cincinnati, Ohio 45242

Prior Instrument Reference: Being the same real property acquired by Tri-State Golf Carts, LLC, an Ohio limited liability company, the Grantor herein, by Deed dated February 25, 2016 and recorded February 26, 2016 in Official Record Book 13111, Page 1676 of the Hamilton County, Ohio Records.

Signed this 5th day of June, 2019.

Tri-State Golf Carts, LLC, an Ohio limited liability compa
--

By: Carl D. Wesley, Member

DESCRIPTION ACCEPTABLE HAMILTON COUNTY ENGINEER

Tax Map · ___

STATE OF OHIO

SS:

CAGIS - _____

COUNTY OF HAMILTON

Be it remembered, that on this 5th day of June, 2019 before me, a Notary Public, personally came Tri-State Golf Carts, LLC, an Ohio limited liability company, by and through Carl D. Wesley, Member, the Grantor in the foregoing Deed, and acknowledged the signing thereof to be his voluntary act and deed on behalf of the limited liability company.

In testimony thereof, I have hereunto subscribed my name and affixed my notarial seal on the day and year last aforesaid.

Notary Public, State of Ohio

This Instrument Prepared By: David E. Gerner, Esq. Gerner & Kearns Co. L.P.A. 7900 Tanners Gate Lane Florence, KY 41042 (513) 241-7722



SUSAN D'ANGELO Notary Public, State of Ohio My Commission Expires December 11, 2020

Hamilton County Auditor 003 - Transfer Fee Sec. 319.202 R.C. Convey. number: Sec. 322.02 R.C. Duety Rhodes Sales amount: Deed number: Transfer date: Instr. number

350 - Permissive Fee

After recording, please return to: Gerner & Kearns Co., LPA, Box T-19

File # GK1900098

Norbert A. Nadel Hamilton County Recorder's Office Doc #: 2019-0044300 Type: DE Filed: 06/06/19 02:20:44 PM Off.Rec.: 13933 01582 F T19

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GENERAL WARRANTY DEED

Tri-State Golf Carts, LLC, an Ohio limited liability company for valuable consideration paid, grants with general warranty covenants to Rize, Inc., an Ohio corporation, whose tax mailing address is 8575 Sleeping Hollow Drive, Cincinnati, Ohio 45243, the following described real property:

Situated in Section 5, Town 4, Entire Range 1, Sycamore Township, Hamilton County, Ohio, and being more particularly described as follows:

Commencing at a point in the north line of said Section 5, said point being South 83° 09' West, 1056.00 feet from the northeast corner of said Section 5; thence South 1° 00' West, 1879.02 feet to a point in the Original Centerline of Montgomery Road (U.S. 22), which is also the southeasterly line of Registered Lane described in Registered Land Certificate of Title No. 577, said point being 1766.33 feet southwestwardly from the east line of said Section 5, as measured along said Original Centerline as per survey of April 4, 1922 and platted in Certificate Book 3, Page 577 of the Registered Land Records of Hamilton County; thence along said Original Centerline, North 37° 19' East, 39.17 feet to the real place of beginning of the tract herein described; thence departing the said Original Centerline, North 52° 41' West, 297.00 feet; thence South 37° 19' West, 90.00 feet; thence North 52° 41' West, 81.42 feet to a concrete monument; thence North 11° 32' East, 83.29 feet; thence North 6° 18' 30" East, 99.17 feet to an iron pin; thence South 52° 41' East, 465.74 feet to a point in the said original centerline of Montgomery Road; thence along said original centerline, South 37° 19' West, 70.00 feet to the place of beginning of the tract herein described.

The above described tract contains 0.928 Acres of Land and is subject to the legal right-of-way of Montgomery Road and all easements of record.

Being part of the same premises described in Deed Book 4183 pages 419-23 of the Deed Records of the Recorder at Hamilton County, Ohio.

A portion of the above described tract is a part of a tract of registered land originally registered by Certificate of Title #577 of the Registered Land Records of Hamilton County, Ohio. The registered land portion of the above described tract being described as follows:

Commencing at a point in the north line of said Section 5, said point being South 83° 09' West, 1056,00 feet from the northeast corner of said Section 5; thence South 1° 00' West, 1879.02 feet to a point in the Original Centerline of Montgomery Road (U.S. 22), which is also the southeasterly line of Registered Land described in Registered Land Certificate of Title No. 577, said point being 1766.33 feet southwestwardly from the east line of said Section 5 as measured along said Original Centerline as per survey of April 4, 1922 and platted in Certificate Book 3, Page 577 of the Registered Land Records of Hamilton County; thence along said Original Centerline, North 37° 19' East, 39.17 feet to the real place of beginning of the tract herein described; thence departing the said Original Centerline, North 52° 41' West, 28.79 feet; thence North 1° 00' East, 86.88 feet; thence South 52° 41' East, 80.25 feet to a point in the said original centerline of Montgomery Road: thence along said original centerline. South 37° 19' West, 70.00 feet to the place of beginning.

The registered land portion contains 0.088 acres of land.

This description was prepared by Robert W. Trenkamp, registered land surveyor #6452 in Ohio and was based on a survey made by Thomas Graham Associates in June, 1980.

Subject to and together with all easements, restrictions and legal highways, if any, of record.

Parcel Number: 600-0030/0415-00, 416 (cons.) More Commonly Known As: 10777 Montgomery Road, Cincinnati, Ohio 45242

Prior Instrument Reference: Being the same real property acquired by Tri-State Golf Carts, LLC, an Ohio limited liability company, the Grantor herein, by Deed dated January 22, 2016 and recorded January 27, 2016 in Official Record Book 13090, Page 1113 of the Hamilton County, Ohio Records.

Signed this 5th day of June, 2019.

Tri-State Golf Carts, LLC, an Ohio limited liability company

SS:

Carl D. Wesley, Member

DESCRIPTION ACCEPTABLE HAMILTON COUNTY ENGINEER

Tax Map -___

STATE OF OHIO

CAGIS - ____

COUNTY OF HAMILTON

Be it remembered, that on this 5th day of June, 2019 before me, a Notary Public, personally came Tri-State Golf Carts, LLC, an Ohio limited liability company, by and through Carl D. Wesley, Member, the Grantor in the foregoing Deed, and acknowledged the signing thereof to be his voluntary act and deed on behalf of the limited liability company.

In testimony thereof, I have hereunto subscribed my name and affixed my notarial seal on the day and year last aforesaid.

Notary Pul

This Instrument Prepared By: David E. Gerner, Esq. Gerner & Kearns Co. L.P.A. 7900 Tanners Gate Lane Florence, KY 41042/(513) 241-7722

SUSAN D'ANGELO Notary Public, State of Ohio My Commission Expires December 11, 2020