

ZONING COMMISSION APPLICATION			
ZONE CHANGE	\$1000	MINOR ADJUSTMENT TO A PUD	\$200
PUD I	\$1000	MAJOR ADJUSTMENT TO A PUD	\$1000
PUD II	\$1000	MINOR ADJUSTMENT TO A LASR	\$200
LASR	\$1000	MAJOR ADJUSTMENT TO A LASR	\$1000
THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN			

APPLICATION NUMBER
<b>2024-05P2</b>
DO NOT WRITE IN THIS SPACE



SycamoreTownship.org

Planning & Zoning Department  
 8540 Kenwood Road  
 Sycamore Township, Ohio 45236  
 Phone: (513) 792-7250

**PROJECT ADDRESS:** 10777 & 10793 MONTGOMERY ROAD, CINCINNATI, OH **ZIP CODE:** 45242

NAME	STREET ADDRESS	ZIP	EMAIL	PHONE NUMBER
APPLICANT RIZE, INC.	8575 SLEEPY HOLLOW DR. CINCINNATI, OH	45243	DRGUNACAR@GMAIL.COM	513-257-1117
PROPERTY OWNER SAME AS APPLICANT				
DESIGN PROFESSIONAL MCCARTY ASSOCIATE, LLC	213 N. HIGH STREET HILLSBORO, OH	45133	GSPARGUR @MCCARTYASSOCIATES.COM	937-393-9971
CONTRACTOR TBD				

**ZONING COMMISSION ACTION REQUESTED:**

- ZONE CHANGE FROM ZONE \_\_\_\_\_ TO ZONE \_\_\_\_\_
- PUD  PUD 2  LASR (LOCALIZED ALTERNATIVE SIGN ALTERNATIVE)
- MAJOR ADJUSTMENT TO A PUD  MINOR ADJUSTMENT TO A PUD
- MAJOR ADJUSTMENT TO A LASR  MINOR ADJUSTMENT TO A LASR

**STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:**

THE PROJECT INVOLVES THE EXPANSION OF AN EXISTING DRIVE-THROUGH RESTAURANT FROM 2,508 SF TO 2,617 SF AND THE EXPANSION OF THE EXISTING PARKING LOT/DRIVE AISLES BETWEEN THE DENTAL OFFICE AND RESTAURANT.

DENTAL OFFICE: EX. 3,963 SF  
 SQUARE FEET: RESTAURANT: 2,536 SF USE: RESTAURANT/DENTAL OFFICE HEIGHT: \_\_\_\_\_  
 ESTIMATED START DATE: 12/1/2024 ESTIMATED FINISH DATE: 6/1/2025 NUMBER OF SIGN(S): \_\_\_\_\_

THE PLANNING & ZONING DEPARTMENT IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. THROUGH THE ZONING RESOLUTION, THE TOWNSHIP PROMOTES A HIGH STANDARD FOR RESIDENTIAL AND COMMERCIAL LAND USE AND DEVELOPMENT. WE LOOK FORWARD TO SERVING OUR RESIDENTS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

*The owner of this project and undersigned do hereby certify* that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Zoning Commission application. By signing, the owner of this project is aware that there shall be no refund or part thereof once Zoning Commission public notice has been given.

APPLICANT'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**PLEASE NOTE:**

**SUBMITTING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.**

PROPERTY OWNER'S SIGNATURE \_\_\_\_\_ DATE 10/3/24

October 4, 2024

Planning Commission  
Sycamore Township  
8540 Kenwood Road  
Sycamore Township, Ohio 45236

RE: Montgomery Restaurant – PUD-2 Application

The proposed project is located at 10777 & 10793 Montgomery Road (Parcel IDs 600-0030-0415-00 & 600-0030-0014-00). The 10777 Montgomery Road property is 0.93 acres with 0.38 acres of existing impervious area (40.9% ISR) The 10793 Montgomery Road property is 0.61 acres with 0.55 acres of existing impervious area (90% ISR). Both properties are currently zoned Retail “E”. A dental office (Kings Dental) is located at 10777 Montgomery Road and is operated by the property owner. An existing drive-through restaurant is located at 10793 Montgomery Road and is planned to be leased by the owner after the project is complete. There is a common drive between both parcels with a right-in, right-out entrance from Montgomery Road and a full access entrance from the neighboring property to the north. Parking is provided separately on both parcels.

The subject parcels are adjoined by a golf cart sales store (zoned Retail “E”) to the north, a shopping center and drive-through restaurant (zoned Retail “E”) across Montgomery Road to the east, a drive-through restaurant (zoned Retail “E”) to the south, and multifamily housing (zoned Planned Multifamily Residential “DD”) to the west. The immediate area along Montgomery Road is characterized by commercial/retail development zoned Retail “E”. Montgomery Road is a 4-lane, two-way major arterial road with a two-way left turn lane in the middle. The site is located approximately 200 feet northeast from the intersection of Montgomery Road and Weller Road.

The existing drive-through restaurant is proposed to be expanded from 2,508 square feet to 2,617 square feet and a 244 square foot patio added on the front of the building. The exterior of the restaurant will be remodeled to update the finishes of the building. As a part of this project, the Kings Dental office will not be remodeled. The project will also include the expansion and remodel of the existing parking lot on both of the subject parcels. The remodel will contain 42 parking spaces, 1 less than the existing parking lots; however, additional circulation and landscaping have been added. Access easements will be provided between the two subject parcels and between the property to the north in order to maintain unimpeded access. A new dumpster pad and enclosure will be added to the restaurant property. The building and parking lot expansions will result in a total proposed impervious area of 0.52 acres (55.9% ISR) on the 10777 Montgomery Road property and 0.55 acres (90% ISR) on the 10793 Montgomery Road property.

The subject properties have been developed previously before the current Sycamore Township Zoning Code was implemented. The density of impervious area does not match modern standards and leads to difficulty redeveloping the site. The existing parking lot layout and drive-through configuration is also not to modern standards and does not reflect current traffic volumes. Development under the PUD-2 would allow for the site to be redeveloped in order to create more efficient traffic flow through the development and create a more aesthetic building, while also working to better meet the current landscaping and parking requirements of the Zoning Code. Redevelopment of the site in this nature is not atypical for this area as dense commercial development without landscaping or consideration to traffic was characteristic of the past. The drive-through restaurant use matches the current commercial uses in the area, many drive-through restaurants are located along this corridor. The proposed expansion to the restaurant will not increase the intensity of the use and will continue to operate similarly to previous years. There are no proposed alterations to the existing utility services on either property.

Sincerely,



Garrett Spargur

McCarty Associates, LLC

REVISIONS	
03.22.24	OWNER REVIEW
05.17.24	OWNER REVIEW

**PRELIMINARY - NOT FOR CONSTRUCTION**

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ARCHITECTS | ENGINEERS | SURVEYORS  
213 N. High St. Hillsboro, Oh. 45133  
O: 937.393.9971 F: 937.393.2480  
MCCARTYASSOCIATES.COM



1 3D VIEW  
A100

**RENOVATION FOR  
MONTGOMERY RESTAURANT**

10793 MONTGOMERY RD  
CINCINNATI, OHIO 45242  
HAMILTON COUNTY

PROJECT NUMBER  
24-130

3D VIEW

DRAWING NUMBER  
A100

REVISIONS	
03.22.24	OWNER REVIEW
05.17.24	OWNER REVIEW

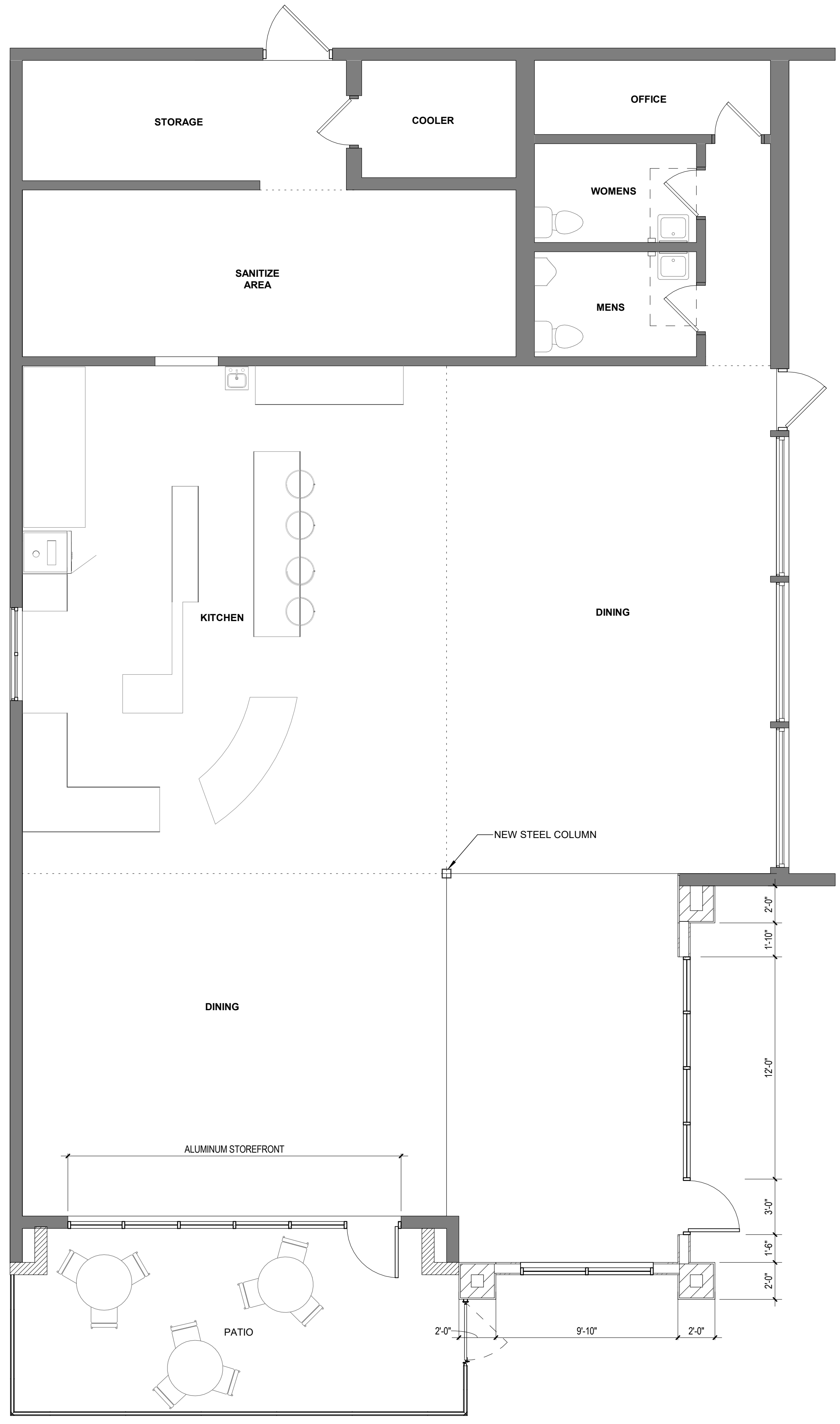
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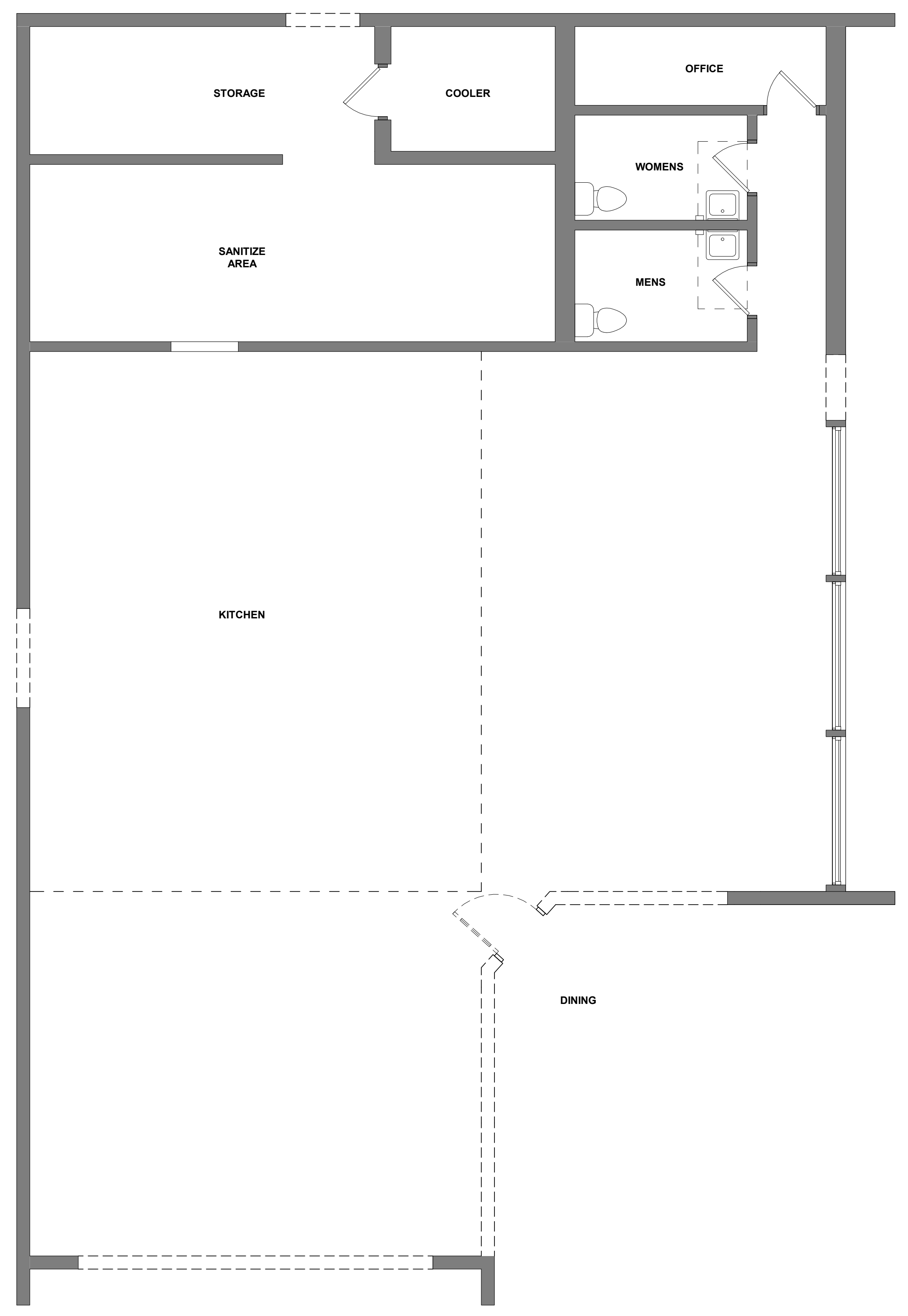
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 MCCARTYASSOCIATES.COM

**RENOVATION FOR MONTGOMERY RESTAURANT**  
 10793 MONTGOMERY RD  
 CINCINNATI, OHIO 45242  
 HAMILTON COUNTY

PROJECT NUMBER 24-130
FLOOR PLAN & DEMO PLAN
DRAWING NUMBER <b>A101</b>



**1 FLOOR PLAN**  
 A101 1/4" = 1'-0"



**2 DEMOLITION PLAN**  
 A101 1/4" = 1'-0"

REVISIONS	
03.22.24	OWNER REVIEW
05.17.24	OWNER REVIEW

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**RENOVATION FOR MONTGOMERY RESTAURANT**

10793 MONTGOMERY RD  
CINCINNATI, OHIO 45242  
HAMILTON COUNTY

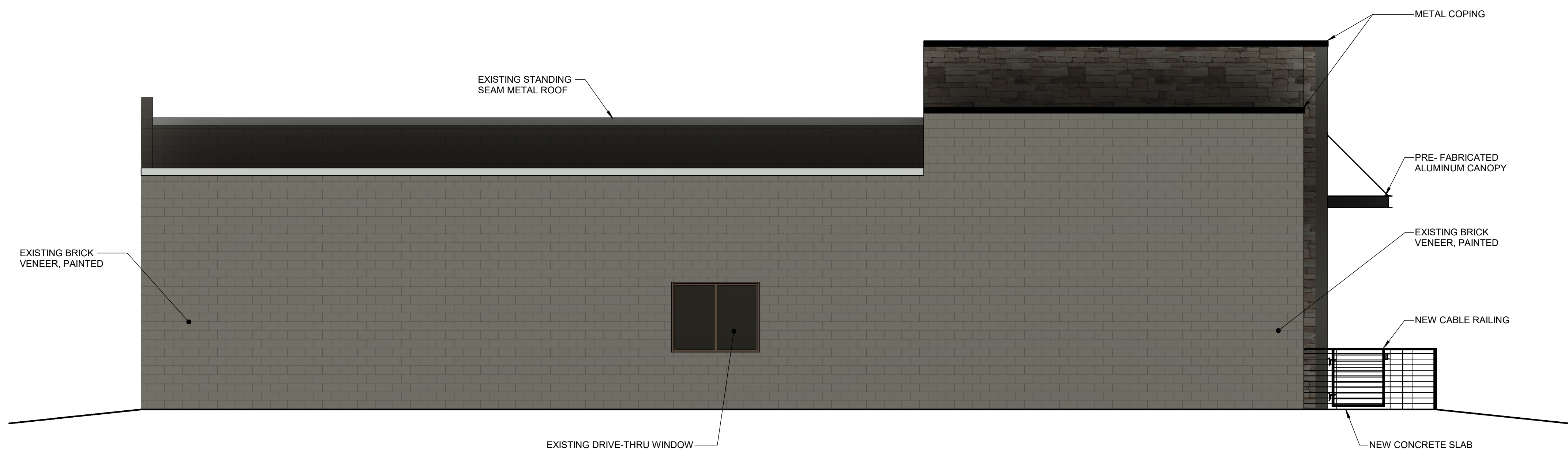
PROJECT NUMBER	24-130
<b>EXTERIOR ELEVATIONS</b>	
DRAWING NUMBER	A201



**1 SOUTH ELEVATION**  
A201 1/4" = 1'-0"



**2 EAST ELEVATION**  
A201 1/4" = 1'-0"



**3 WEST ELEVATION**  
A201 1/4" = 1'-0"

**PROJECT DESCRIPTION**

THIS PROJECT CONSISTS OF THE EXPANSION OF AN EXISTING DRIVE-THROUGH RESTAURANT BUILDING AND ASSOCIATED PARKING LOT.

**BASIS OF BEARINGS**

BEARINGS ARE BASED UPON THE GRID AZIMUTH (AZ 195°51'34.9") BETWEEN NATIONAL GEODETIC SURVEY CORNERS STATION "LEBA" AND MCCARTY ASSOCIATES GEODETIC LOCAL CONTROL MONUMENT "2001" AND DERIVED FROM GNSS OBSERVATIONS TAKEN FEBRUARY 19, 2024, UTILIZING THE ODOT OHIO REAL TIME NETWORK (TRIMBLE VIRTUAL REFERENCE SYSTEM).

TRIMBLE FILE (24130 02-20-24)

**SITE SETTINGS**

SITE SETTINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 (2011) AND NAVD 88.

**NATIONAL GEODETIC SURVEY CONTROL MONUMENTS**

NAME	LATITUDE	LONGITUDE	HEIGHT	NORTHING	EASTING	ELEVATION
LEBANON CORNERS ARP LEBA	39°25'49.78843"N	84°16'59.28382"W	739.714	525982.865	1464871.214	850.221

**LOCAL CONTROL MONUMENT "2001"**

NAME	LATITUDE	LONGITUDE	HEIGHT	NORTHING	EASTING	ELEVATION
LOCAL CONTROL MONUMENT "2001"	39°15'31.97628"N	84°20'28.17146"W	681.282	463819.015	1447210.651	792.774

**LOCAL SITE SETTINGS**

LOCAL GROUND COORDINATES	NAVD 88 ELEVATION
NORTHING EASTING 463819.015 1447210.651	792.774

GROUND SCALE FACTOR: 1.00009429062853  
GEOID MODEL: GEOID18 (CONUS)  
UNITS ARE IN U.S. SURVEY FEET (SFT).

**CONTROL POINTS AND BENCH MARKS**

CONTROL POINTS AND BENCHMARKS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 (2011) AND NAVD 88.

**CP #2001**

5/8" IRON PIN (SET) WITH PLASTIC CAP STAMPED "MCCARTY TRAVERSE"  
NORTHING = 463819.015  
EASTING = 1447210.651  
ELEVATION = 792.774

**BM #1**

ARROW BOLT ON TOP OF FIRE HYDRANT 15.08' WEST AND 142.52' NORTH OF NORTHEAST CORNER OF SUBJECT PREMISES.  
NORTHING = 463854.917  
EASTING = 1447320.417  
ELEVATION = 796.42

**FLOOD ZONE**

THE SUBJECT SITE IS LOCATED IN ZONE "X", AREAS OF MINIMAL FLOOD HAZARD, ACCORDING TO THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 39061C0114F, DATED JUNE 7, 2023.

**SPECIFICATIONS**

THE STANDARD SPECIFICATIONS OF THE OHIO DEPARTMENT OF TRANSPORTATION (ODOT), 2023 VERSION & REVISIONS, INCLUDING SUPPLEMENTAL SPECIFICATIONS LISTED IN THE PLANS SHALL GOVERN THIS IMPROVEMENT.

**UTILITY CONTACTS**

**WATER**  
GREATER CINCINNATI WATER WORKS  
4747 SPRING GROVE AVENUE  
CINCINNATI, OH 45232  
513-591-7836

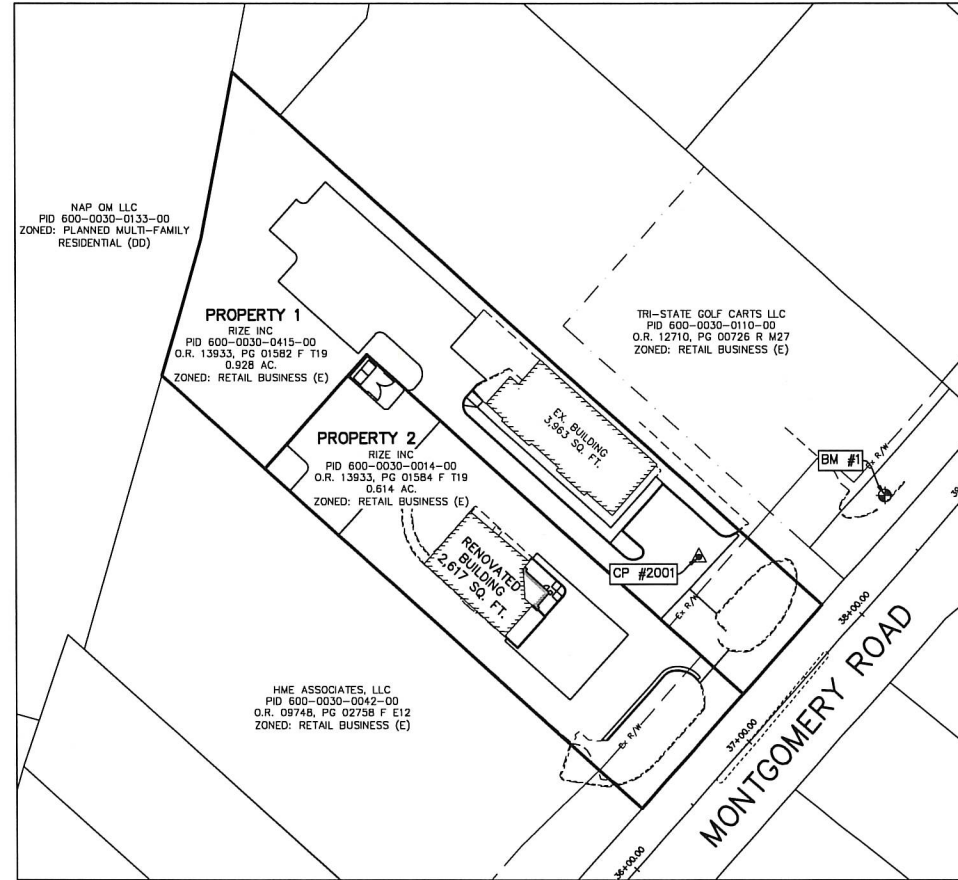
**TELECOMM**  
AT&T  
844-605-1009

**SANITARY SEWER**  
METROPOLITAN SEWER DISTRICT OF CINCINNATI  
1600 GEST STREET  
CINCINNATI, OH 45204  
MSD.COMMUNICATIONS@CINCINNATI-OH.GOV  
513-244-1300

**ELECTRIC/GAS**  
DUKE ENERGY  
11783 SOLZMAN ROAD  
CINCINNATI, OH 45249  
MWCONSTRUCTION@DUKE-ENERGY.COM  
877-700-3853

# RENOVATION FOR MONTGOMERY RESTAURANT

10777 & 10793 MONTGOMERY ROAD  
CINCINNATI, OHIO 45242  
SYCAMORE TOWNSHIP, HAMILTON COUNTY

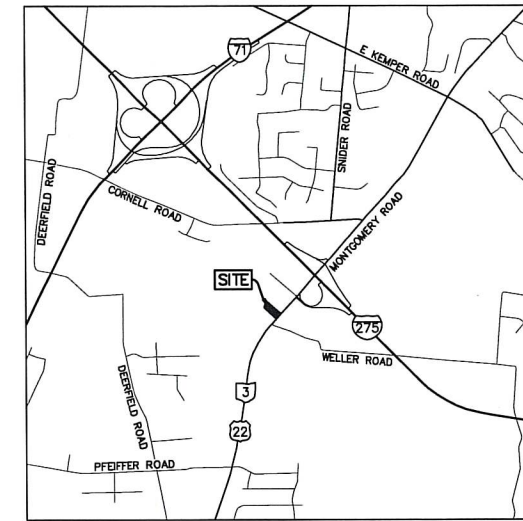


INDEX MAP  
0 50' 100'

**OWNER/DEVELOPER**  
RIZE, INC.  
8575 SLEEPY HOLLOW DRIVE  
CINCINNATI, OHIO 45243  
GUY GUNACAR  
DRGUNACAR@GMAIL.COM  
513-257-1117

**DESIGN CONSULTANT**  
MCCARTY ASSOCIATES, LLC  
213 NORTH HIGH STREET  
HILLSBORO, OHIO 45133  
GARRETT SPARGUR  
GSPARGUR@MCCARTYASSOCIATES.COM  
937-393-9971

**SURVEYOR**  
MCCARTY ASSOCIATES, LLC  
213 NORTH HIGH STREET  
HILLSBORO, OHIO 45133  
JASON MCCONNAUGHEY  
JMCC@MCCARTYASSOCIATES.COM  
937-393-9971



VICINITY MAP  
SCALE: 1" = 2000'

**INDEX OF SHEETS**

COVER SHEET.....	C001
EXISTING CONDITIONS.....	C101
DEMOLITION PLAN.....	C102
SITE PLAN.....	C201
GRADING PLAN.....	C301
GRADING DETAILS.....	C302
GENERAL NOTES.....	C401
SITE DETAILS.....	C402
STORMWATER POLLUTION PREVENTION PLAN.....	C501-C503
LANDSCAPE PLAN.....	L101

**REVISIONS**

03.22.24	OWNER REVIEW
05.17.24	OWNER REVIEW
11.01.24	PUD-2 APPLICATION

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

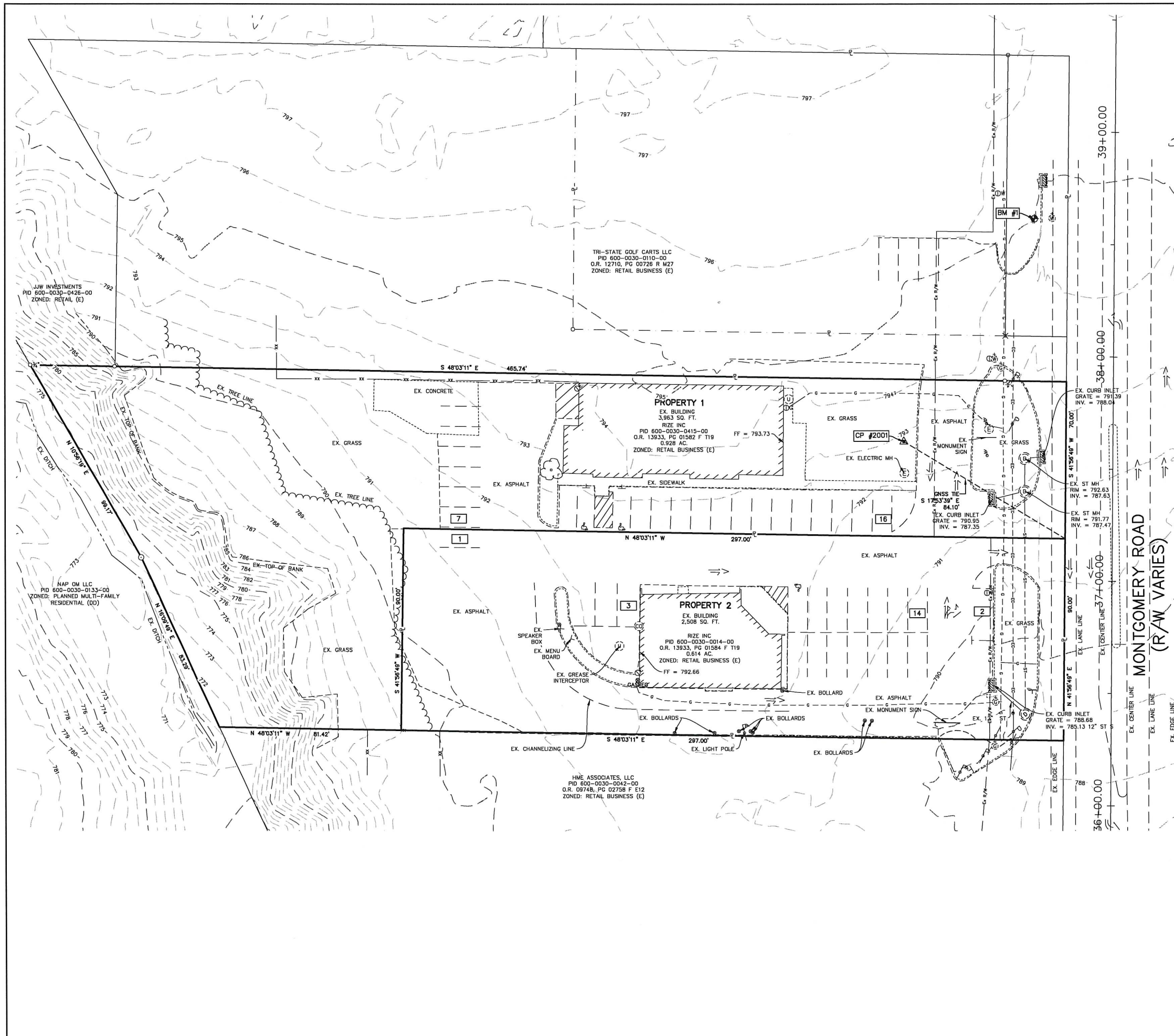
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ARCHITECTS | ENGINEERS | SURVEYORS  
213 N. High St., Hillsboro, Oh 45133  
O: 937.393.9971 F: 937.393.2480  
MCCARTYASSOCIATES.COM

**RENOVATION FOR  
MONTGOMERY RESTAURANT**  
10777 & 10793 MONTGOMERY ROAD  
CINCINNATI, OHIO 45242  
SYCAMORE TOWNSHIP, HAMILTON COUNTY

PROJECT NUMBER 24-130
COVER SHEET
DRAWING NUMBER C001





**LEGEND**

- 5/8" IRON PIN (FOUND)  
UNLESS NOTED OTHERWISE
- 1" IRON PIPE (FOUND)
- △ MAG SPIKE (FOUND)
- LOCAL CONTROL MONUMENT "2001"  
5/8" IRON PIN (SET) WITH PLASTIC CAP  
STAMPED "MCCARTY TRAVERSE"  
BENCHMARK
- EX. UTILITY POLE
- EX. LIGHT POLE
- EX. POLE
- EX. GUY WIRE
- EX. ELECTRIC MANHOLE
- EX. GAS VALVE
- EX. GAS REGULATOR
- EX. WATER VALVE
- EX. WATER METER
- EX. CLEANOUT
- EX. STORM MANHOLE
- EX. SQUARE CATCH BASIN
- EX. GROUND LIGHT
- EX. BOLLARD
- EX. SIGN
- EX. RIGHT-OF-WAY
- PROPERTY LINE
- EX. CONTOUR
- EX. CHAINLINK FENCE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC AND COMM
- EX. GAS
- EX. STORM SEWER
- 8 PARKING COUNT

**ABBREVIATIONS**

- EX. EXISTING
- ST. STORM
- MH MANHOLE

**EXISTING CONDITION NOTES**

1. THE ABOVE LISTED DEED REFERENCES WERE USED AS A BASIS FOR CARRYING OUT THE WORK.
2. NO EVIDENCE OF OCCUPATION EXISTS ALONG PROPERTY LINES INDICATED BY SOLID LINES.
3. ALL MONUMENTS FOUND OR SET ARE IN GOOD CONDITION UNLESS OTHERWISE INDICATED.
4. THE SIZE AND/OR LOCATION OF UNDERGROUND UTILITIES WAS PROVIDED BY THE UTILITY COMPANIES AND IS NOT WARRANTED CORRECT OR COMPLETE BY THE SURVEYOR.

**SITE DATA**

<b>PROPERTY 1</b>	
SITE ADDRESS:	10777 MONTGOMERY ROAD
PARCEL ID:	600-0030-0415-00
SITE AREA:	0.93 ACRES
ZONING:	RETAIL BUSINESS (E)
EXISTING USE:	OFFICE, MEDICAL/CLINIC
EX. BUILDING FLOOR AREA:	3,963 SQ. FT.
EX. IMPERVIOUS AREA:	0.38 ACRES (40.9%)
EX. PARKING SPACES:	23 SPACES
<b>PROPERTY 2</b>	
SITE ADDRESS:	10793 MONTGOMERY ROAD
PARCEL ID:	600-0030-0014-00
SITE AREA:	0.61 ACRES
ZONING:	RETAIL BUSINESS (E)
EXISTING USE:	VACANT RESTAURANT W/ DRIVE-THRU
EX. BUILDING FLOOR AREA:	2,508 SQ. FT.
EX. IMPERVIOUS AREA:	0.55 ACRES (90%)
EX. PARKING SPACES:	20

**REVISIONS**

03.23.24	OWNER REVIEW
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11.01.24	PUD-2 APPLICATION

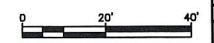
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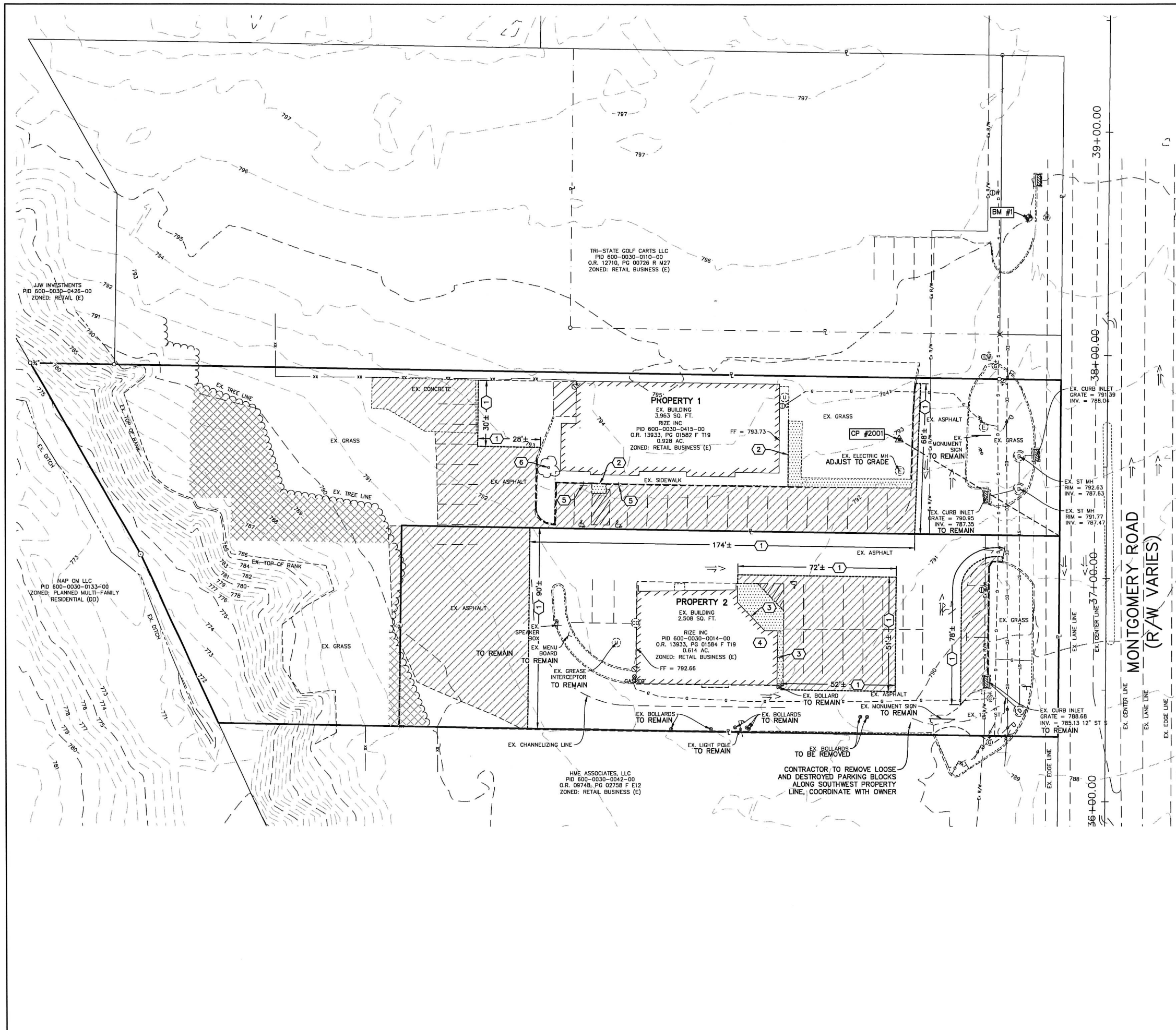
**RENOVATION FOR  
MONTGOMERY RESTAURANT**  
10777 & 10793 MONTGOMERY ROAD  
CINCINNATI, OHIO 45242  
SYCAMORE TOWNSHIP, HAMILTON COUNTY

PROJECT NUMBER	24-130
EXISTING CONDITIONS	
DRAWING NUMBER	C101



L:\2024\24-130-REZE, THE MONTGOMERY ROAD RESTAURANT RENOVATION\Drawings\24-130-REZE\_C101.dwg, E.K. Conrad, 11/7/2024 9:18:58 AM, gmm, DWG to PDF.plt





**LEGEND**

	FULL DEPTH SAWCUT LINE
	EX. CURB TO BE REMOVED
	EX. PAVEMENT TO BE REMOVED
	EX. SIDEWALK TO BE REMOVED
	CLEARING AND GRUBBING

**NOTE:**  
 1. SEE SHEET C101 FOR EXISTING CONDITIONS LEGEND.

- KEYNOTES**
1. FULL-DEPTH SAWCUT EX. PAVEMENT WITH NEAT, STRAIGHT LINES.
  2. SAWCUT AND REMOVE EX. CONCRETE SIDEWALKS TO THE NEAREST JOINT.
  3. SAWCUT AND REMOVE EX. CONCRETE SIDEWALK ALONG EX. BUILDING.
  4. BUILDING DEMOLITION PER ARCHITECTURAL PLANS.
  5. REMOVE ADA PARKING SIGN FOR REUSE, SEE SHEET C201 FOR NEW LOCATIONS.
  6. EX. TREE TO BE REMOVED.

- DEMOLITION NOTES**
1. ALL UTILITIES SHALL BE PROTECTED AND REMAIN IN PLACE UNDISTURBED UNLESS SPECIFICALLY LISTED FOR ABANDONMENT OR REMOVAL.
  2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO DEMOLITION.
  3. CONTROL POINTS OR BENCHMARKS SHALL BE PROTECTED. IF A CONTROL POINT OR BENCHMARK IS LOCATED IN AN AREA IN WHICH IT WILL BE DESTROYED, ADDITIONAL CONTROL POINTS OR BENCHMARKS SHALL BE SET PRIOR TO COMMENCING WORK IN THE AFFECTED AREA.
  4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THE PLANS OR FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
  5. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING UTILITIES. CONTRACTOR TO COORDINATE ANY RELOCATION OR DISTURBANCE WITH THE RESPECTIVE UTILITY OWNER.
  6. EXTENTS OF CLEARING AND GRUBBING ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. CONTRACTOR TO MINIMIZE TREE REMOVAL AND EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND TREES.

**REVISIONS**

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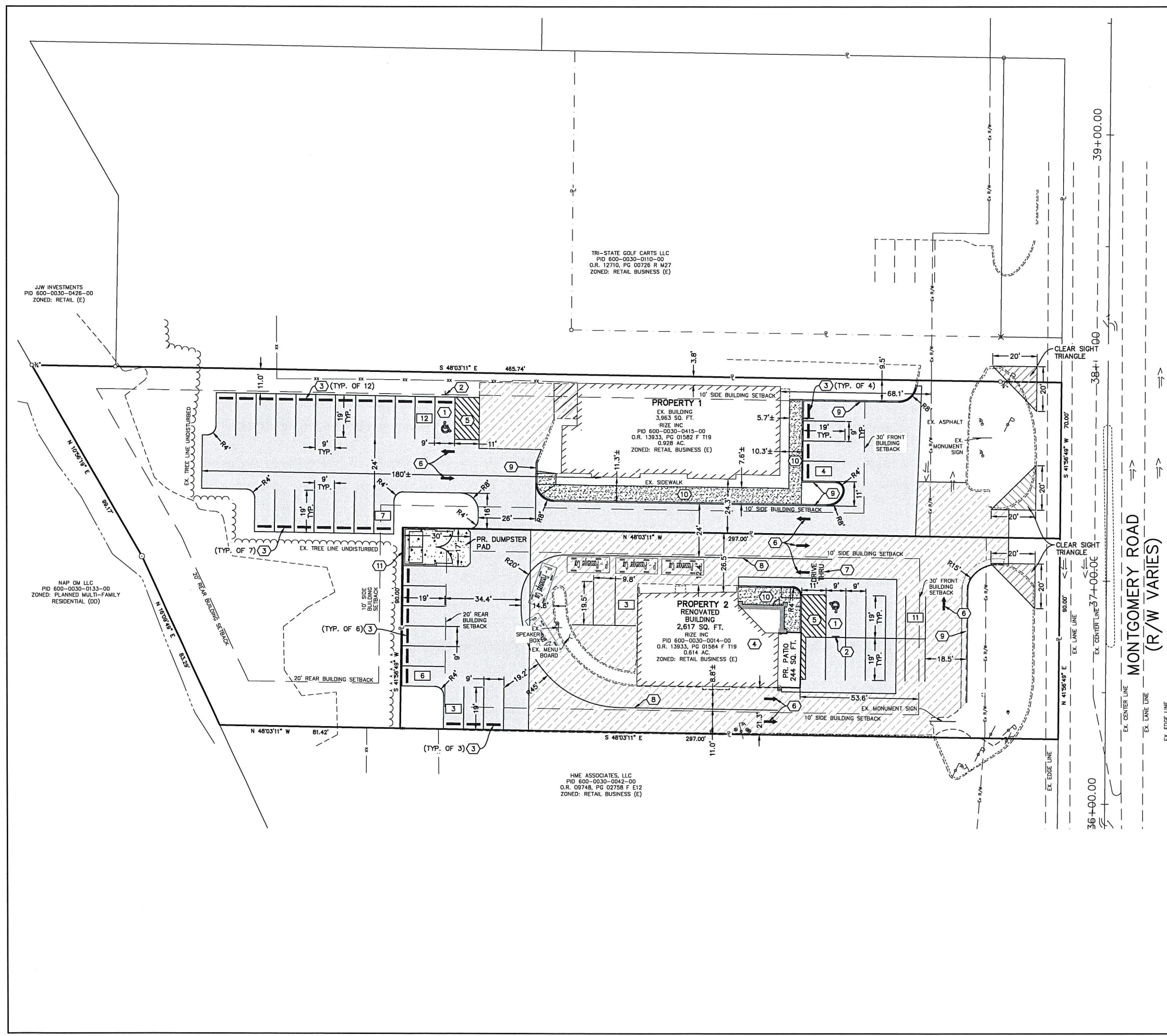
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 CINCINNATI, OHIO 45242  
 SYCAMORE TOWNSHIP, HAMILTON COUNTY

PROJECT NUMBER	24-130
DEMOLITION PLAN	
DRAWING NUMBER	C102



U:\2024\24-130 RZE, LLC, MONTGOMERY ROAD RESTAURANT RENOVATION (Plan) 24130\_3\_1.dwg, Date: 11/1/2024 9:19:02 AM, User: jmm, Plot: 11/1/2024 9:19:02 AM



**SITE LEGEND**

[Symbol]	PR. ASPHALT PAVEMENT, SEE DETAIL 1 ON SHEET C402.
[Symbol]	PR. CONCRETE PAVEMENT, SEE DETAIL 1 ON SHEET C402.
[Symbol]	PR. MILL AND OVERLAY, SEE DETAIL 1 ON SHEET C402.
[Symbol]	PR. SIDEWALK

**ABBREVIATIONS**  
PR. PROPOSED

**NOTE:**  
1. SEE SHEET C101 FOR EXISTING CONDITIONS LEGEND.

- KEYNOTES**
- PR. ADA PARKING SPACE, VAN ACCESSIBLE
  - RESET ADA PARKING SIGN PER DETAIL 3 ON SHEET C402.
  - PR. PARKING BLOCK, SEE DETAIL 5 ON SHEET C402.
  - PR. BUILDING RENOVATIONS AND PATIO PER ARCHITECTURAL PLANS.
  - PR. TRANSVERSE PAVEMENT MARKING, SEE DETAIL 6 ON SHEET C402.
  - PR. PAVEMENT MARKING ARROW, SEE DETAIL 7 ON SHEET C402.
  - PR. WORD ON PAVEMENT, 24" WHITE, PER ODOT ITEM 644.
  - PR. CHANNELIZING LINE, 4" WHITE, PER ODOT ITEM 644.
  - PR. 18" STRAIGHT CURB, TYPE 6, PER ODOT STANDARD DRAWING BP-5.1.
  - PR. INTEGRAL SIDEWALK AND CURB, SEE DETAIL 2 ON SHEET C402.
  - PR. DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS.

**SITE DATA**

<b>PROPERTY 1</b>	10777 MONTGOMERY ROAD
SITE ADDRESS:	600-0030-0415-00
PARCEL ID:	0.93 ACRES
SITE AREA:	RETAIL BUSINESS (E)
CURRENT ZONING:	OFFICE, MEDICAL/CLINIC
EXISTING USE:	3,963 SQ. FT.
EX. BUILDING FLOOR AREA:	
EX. IMPERVIOUS AREA:	0.38 ACRES (40.9%)
PR. IMPERVIOUS AREA:	0.52 ACRES (55.9%)

<b>BUILDING SETBACKS:</b>	REQUIRED	PROVIDED
FRONT:	30'	68.1'
SIDE:	10'	3.8'
REAR:	20'	188.0'

MAX BUILDING HEIGHT: 35'

PARKING SPACES: 21 (6 + 1 PER 200 SQ. FT. OF NET FLOOR SPACE IN EXCESS OF 1000 SQ. FT.)

**PROPERTY 2**

SITE ADDRESS:	10793 MONTGOMERY ROAD
PARCEL ID:	600-0030-0014-00
SITE AREA:	0.61 ACRES
ZONING:	RETAIL BUSINESS (E)
EXISTING USE:	VACANT RESTAURANT W/ DRIVE-THRU
PR. GROSS FLOOR AREA:	2,617 SQ. FT.
PR. NET FLOOR AREA:	2,030 SQ. FT.
(INCLUDING PATIO AREA)	
SEATING:	60-80

<b>BUILDING SETBACKS:</b>	REQUIRED	PROVIDED
FRONT:	30'	53.6'
SIDE:	10'	21.3'
REAR:	20'	106.5'

MAX BUILDING HEIGHT: 35'

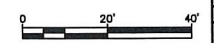
PARKING SPACES: 21 (1 PER 100 NET FLOOR AREA)

STACKING SPACES: 5

LOADING SPACES: 0 (0 FOR 0 TO 10,000 SQ. FT. BUILDING)

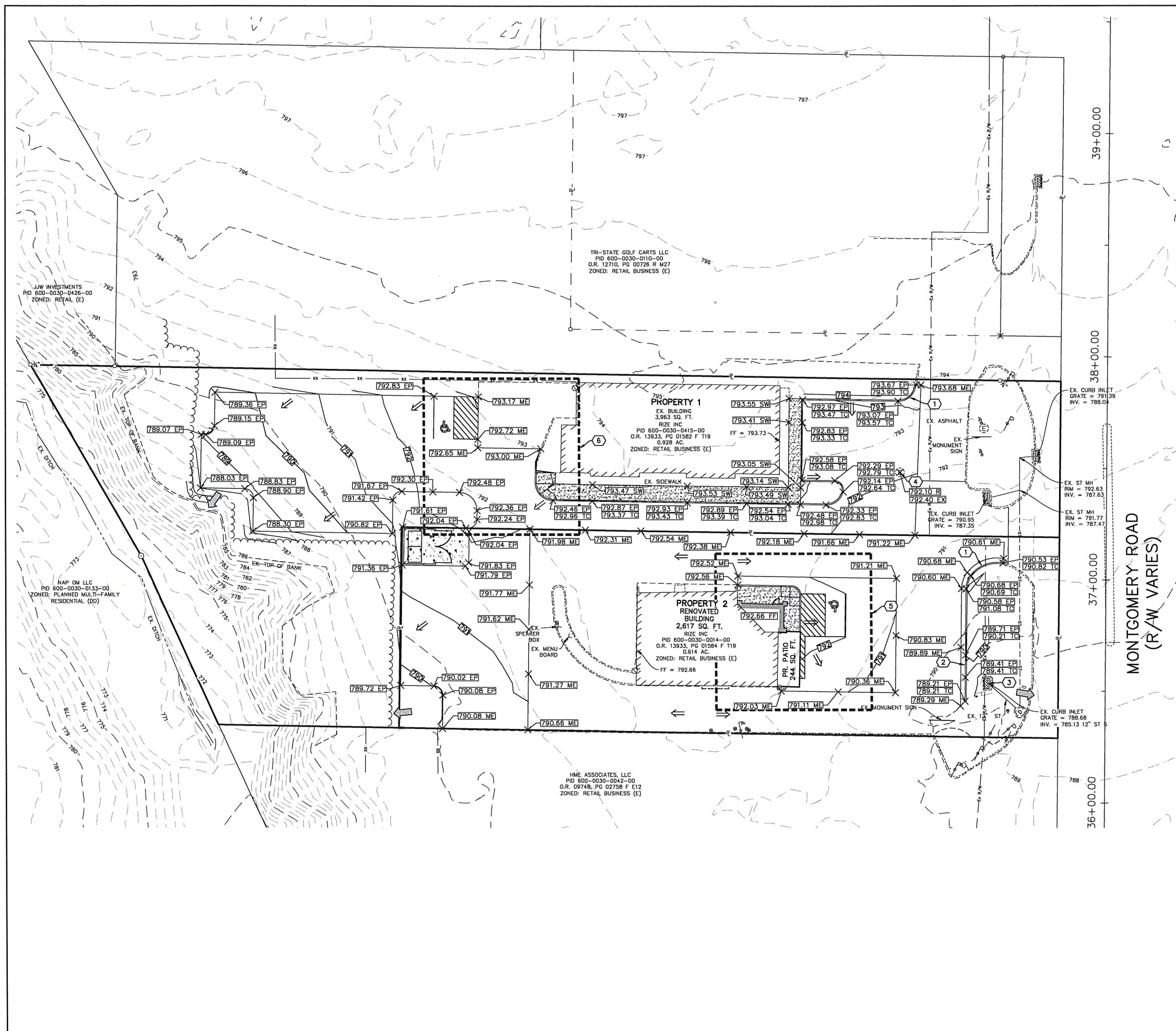
- SITE NOTES**
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB, OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF UTILITY ENTRANCES, BUILDING DIMENSIONS, AND EXIT DOORS AND RAMPS.
  - ALL PARKING STRIPES ARE TO BE 4" WHITE PER ODOT ITEM 640.

REVISIONS	
03.22.24	OWNER REVIEW
05.17.24	OWNER REVIEW
11.01.24	PUD-2 APPLICATION
PRELIMINARY NOT FOR CONSTRUCTION	
 ARCHITECTS/ENGINEERS/SURVEYORS 213 N. High St. Hillsboro, Oh 45133 P: 937.393.9971 F: 937.393.2480 MCCARTYASSOCIATES.COM	
RENOVATION FOR <b>MONTGOMERY RESTAURANT</b> 10777 & 10793 MONTGOMERY ROAD CINCINNATI, OHIO 45242 SYCAMORE TOWNSHIP, HAMILTON COUNTY	
PROJECT NUMBER	24-130
SITE PLAN	
DRAWING NUMBER	C201



L:\2024\24-130-REZ, LLC, MONTGOMERY ROAD RESTAURANT RENOVATION\PROJECT\Drawings\Plan Production\Plan\24130\_4\_Plan\_Plot.dwg, Site Plan, 11/1/2024 4:18:07 PM, gmm, DWG to PDF.plt

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**GRADING LEGEND**

	PR. RUNOFF FLOW
	PR. MAJOR FLOOD ROUTE
	PR. SPOT ELEVATION
	PR. CONTOUR

**ABBREVIATIONS**

EP	EDGE OF PAVEMENT
TC	TOP OF CURB
SW	SIDEWALK
R	RIM
ME	MATCH EXISTING
FF	FINISHED FLOOR
TP	TOP OF PATIO

- NOTE:**
- SEE SHEET C101 FOR EXISTING CONDITIONS LEGEND.
  - SEE SHEET C201 FOR SITE LEGEND.

- KEYNOTES**
- TAPER CURB FROM 6" HIGH TO MATCH EXISTING HEIGHT.
  - TAPER CURB FROM 6" HIGH TO FLUSH OVER 10'.
  - REPLACE CURB AND GUTTER FRAME AND GRATE WITH FLAT FRAME AND GRATE.
  - ADJUST ELECTRIC MANHOLE TO GRADE. CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITY COMPANY.
  - SEE RESTAURANT ADA PARKING AND PATIO DETAIL ON SHEET C302.
  - SEE DENTAL OFFICE ADA PARKING DENTAL ON SHEET C302.

- GRADING PLAN NOTES**
- CONTRACTOR TO VERIFY EXISTING TOPOGRAPHY, STRUCTURES, AND UTILITIES ON-SITE AND NOTIFY ENGINEER OF DISCREPANCIES PRIOR TO START OF WORK.
  - THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN ESTABLISHING ALL GRADES IN THE VICINITY OF ADA ACCESS AREAS. ADA ACCESS AREAS SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL CODES.
  - THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE IN ALL AREAS. PAVEMENT SHALL BE TESTED FOR ANY PONDING CONDITIONS FOLLOWING CONSTRUCTION.
  - CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING UTILITIES. CONTRACTOR TO COORDINATE ANY RELOCATION OR DISTURBANCE WITH THE RESPECTIVE UTILITY OWNER.



**REVISIONS**

03.22.24	OWNER REVIEW
05.17.24	OWNER REVIEW
11.01.24	PUD-2 APPLICATION

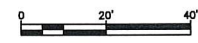
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**RENOVATION FOR  
MONTGOMERY RESTAURANT**  
 10777 & 10793 MONTGOMERY ROAD  
 CINCINNATI, OHIO 45242  
 SYCAMORE TOWNSHIP, HAMILTON COUNTY

PROJECT NUMBER	24-130
GRADING PLAN	
DRAWING NUMBER	C301



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**NOTE:**  
 1. SEE SHEET C301 FOR GRADING LEGEND.



REVISIONS	
03.22.24	OWNER REVIEW
05.17.24	OWNER REVIEW
11.01.24	PUD-2 APPLICATION

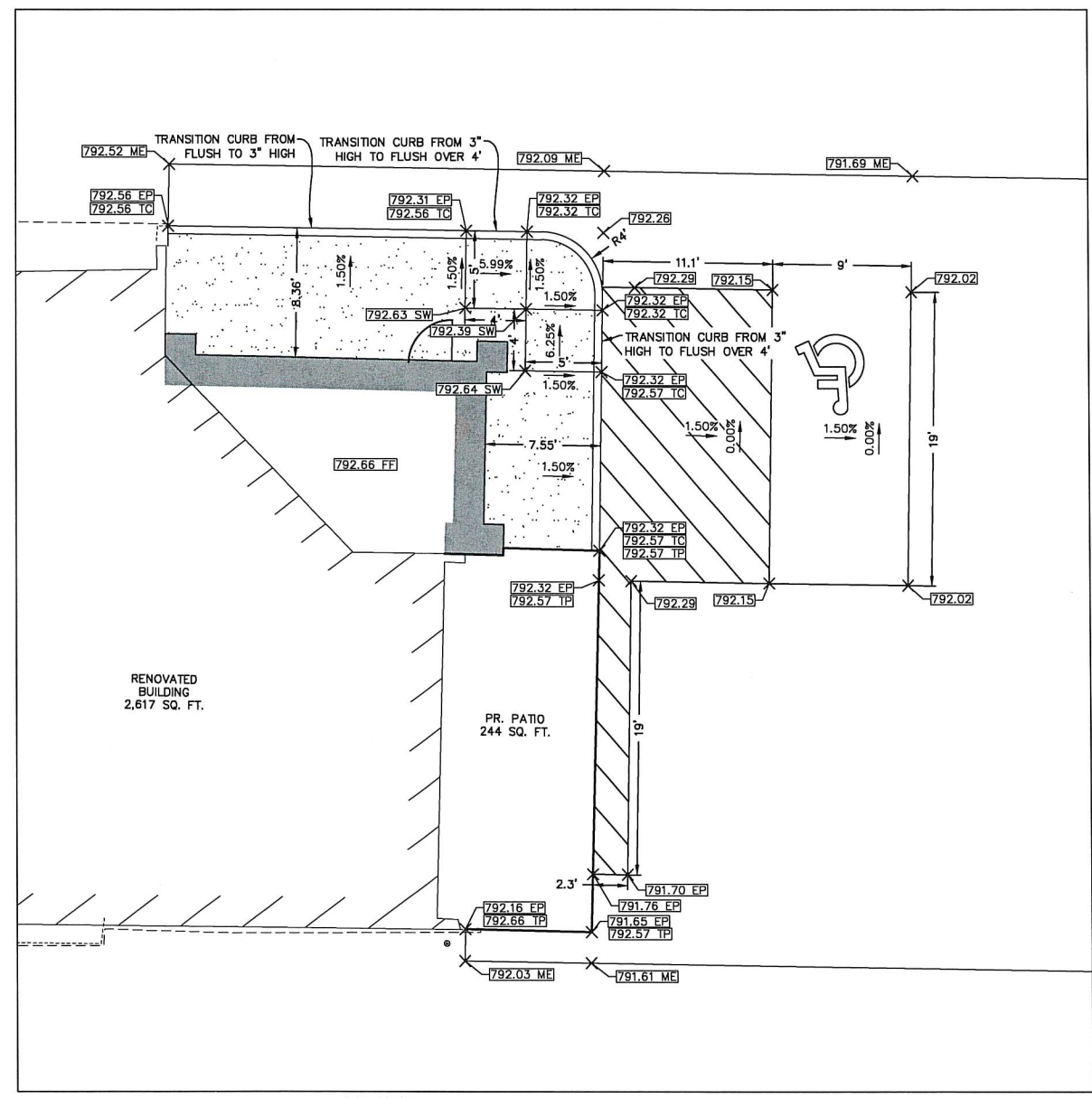
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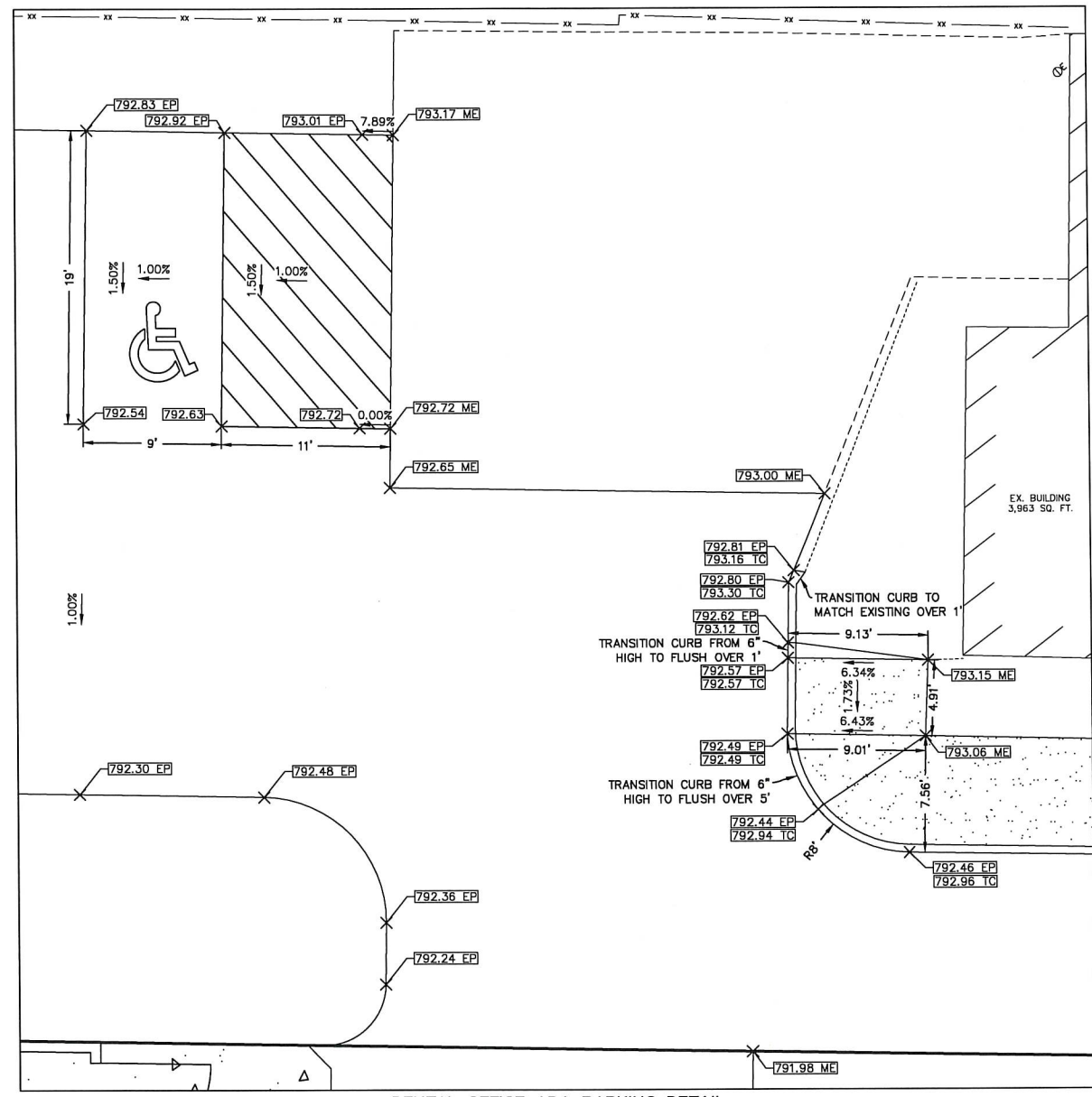
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**RENOVATION FOR  
MONTGOMERY RESTAURANT**  
 10777 & 10793 MONTGOMERY ROAD  
 CINCINNATI, OHIO 45242  
 SYCAMORE TOWNSHIP, HAMILTON COUNTY

PROJECT NUMBER	24-130
GRADING DETAILS	
DRAWING NUMBER	C302



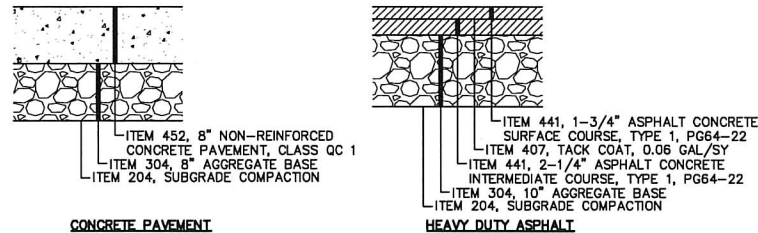
**RESTAURANT ADA PARKING AND PATIO DETAIL**



**DENTAL OFFICE ADA PARKING DETAIL**

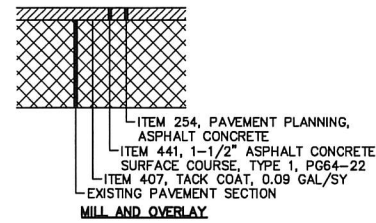






**CONCRETE PAVEMENT**

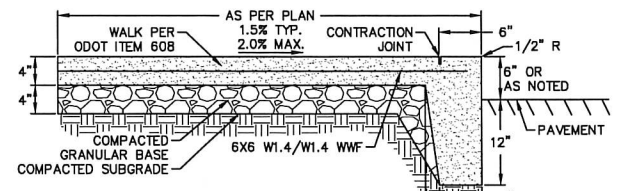
**HEAVY DUTY ASPHALT**



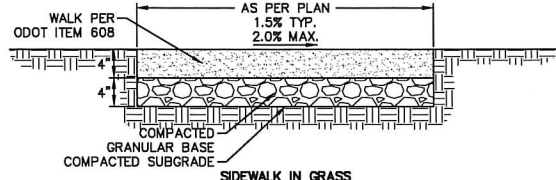
**MILL AND OVERLAY**

ALL PAVEMENT MATERIALS SHALL CONFORM TO THE CURRENT VERSION OF THE OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.

**PAVEMENT SECTIONS** 1  
NOT TO SCALE



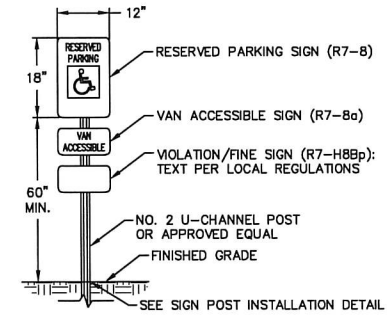
**INTEGRAL SIDEWALK AND CURB**



**SIDEWALK IN GRASS**

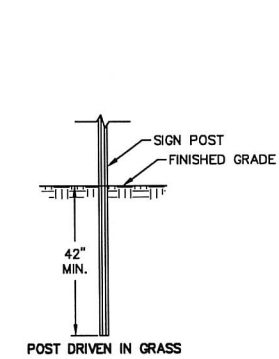
**NOTES**  
 1. PROVIDE LIGHT BROOM FINISH TO ALL EXPOSED SURFACES.  
 2. CONCRETE SHALL BE CLASS QC 1 PER ODOT ITEM 499.  
 3. ADD CONTRACTION JOINTS SPACED AT APPROX. 5' INTERVALS.  
 4. ADD 1/2" PREMOLDED EXPANSION JOINT APPROX. EVERY 40 FT.  
 5. USE A 1/4" RADIUS EDGING TOOL TO EDGE ALL OUTSIDE EDGES AND JOINTS.

**CONCRETE SIDEWALK** 2  
NOT TO SCALE

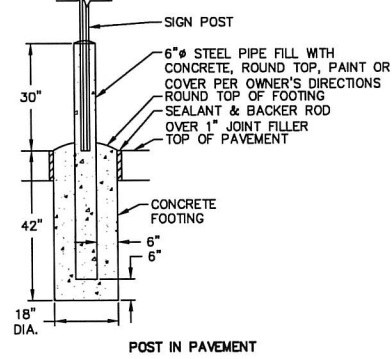


**NOTES**  
 1. ACCESSIBLE PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.

**ACCESSIBLE PARKING SIGN** 3  
NOT TO SCALE

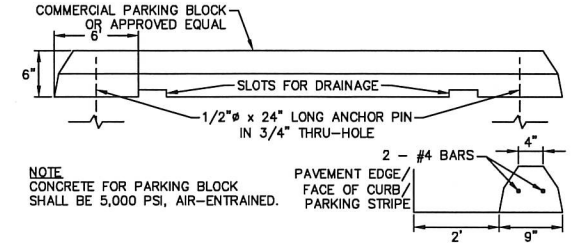


**POST DRIVEN IN GRASS**



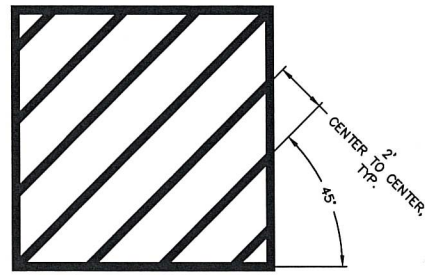
**POST IN PAVEMENT**

**SIGN POST INSTALLATION** 4  
NOT TO SCALE



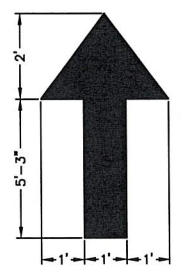
**NOTE**  
 CONCRETE FOR PARKING BLOCK SHALL BE 5,000 PSI, AIR-ENTRAINED.

**PARKING BLOCK** 5  
NOT TO SCALE



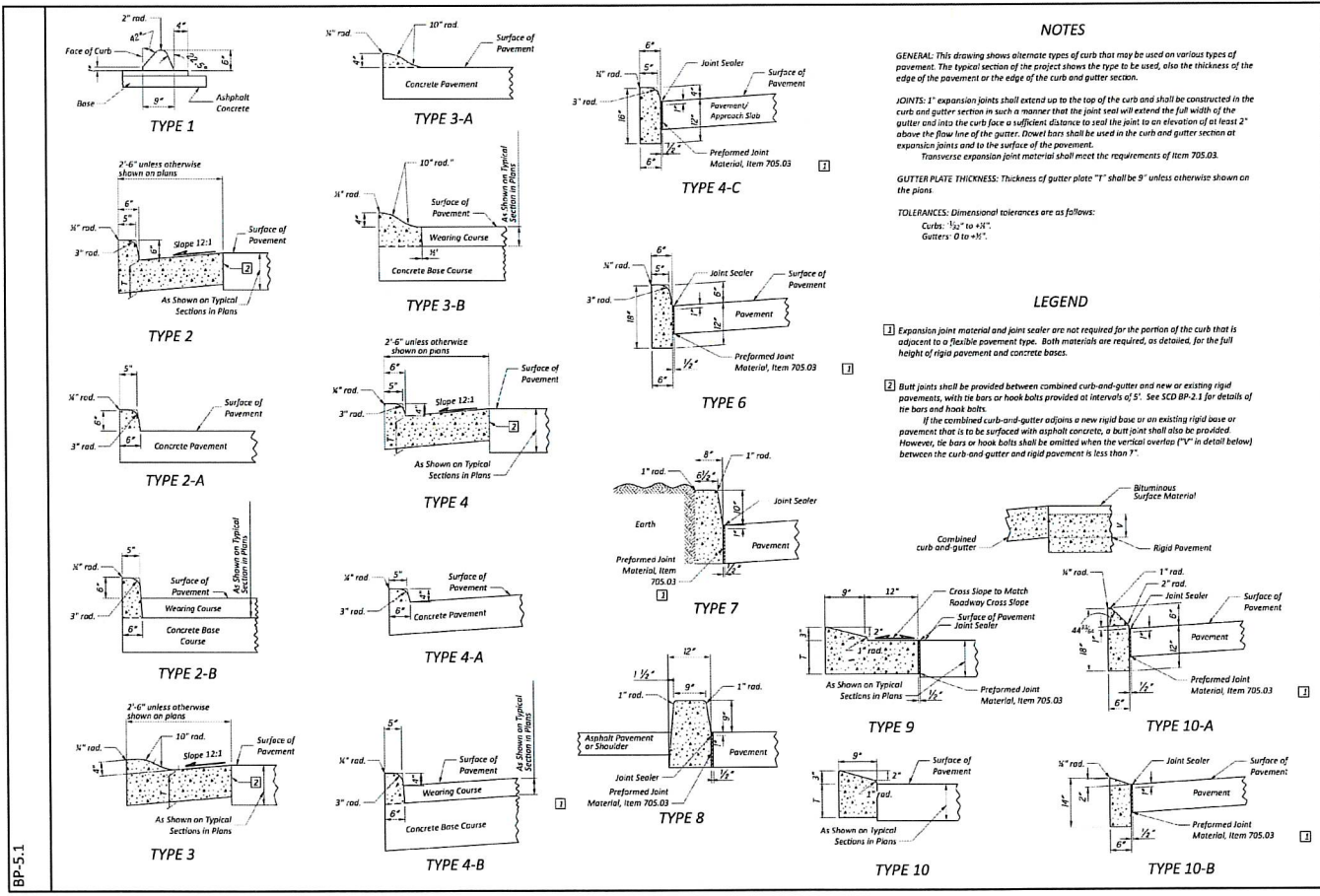
**NOTES**  
 1. ALL PAVEMENT STRIPES HAVE A WIDTH OF 4\"/>

**TRANSVERSE PAVEMENT MARKING** 6  
NOT TO SCALE



**NOTES**  
 1. LANE ARROW SHALL CONFORM TO ODOT ITEM 640.  
 2. ALL LANE ARROWS ARE WHITE, UNLESS NOTED OTHERWISE.

**PAVEMENT MARKING ARROW** 7  
NOT TO SCALE



**NOTES**  
 GENERAL: This drawing shows alternate types of curb that may be used on various types of pavement. The typical section of the project shows the type to be used, also the thickness of the edge of the pavement or the edge of the curb and gutter section.  
 JOINTS: 1" expansion joints shall extend up to the top of the curb and shall be constructed in the curb and gutter section in such a manner that the joint seal will extend the full width of the gutter and into the curb face a sufficient distance to seal the joint to an elevation of at least 2" above the flow line of the gutter. Dowel bars shall be used in the curb and gutter section at expansion joints and to the surface of the pavement.  
 Transverse expansion joint material shall meet the requirements of Item 705.03.  
 GUTTER PLATE THICKNESS: Thickness of gutter plate "T" shall be 9" unless otherwise shown on the plans.  
 TOLERANCES: Dimensional tolerances are as follows:  
 Curb: 1/2" to 1/4"  
 Gutters: 0 to +1/4"

**LEGEND**  
 1 Expansion joint material and joint sealer are not required for the portion of the curb that is adjacent to a flexible pavement type. Both materials are required, as detailed, for the full height of rigid pavement and concrete bases.  
 2 Built joints shall be provided between combined curb-and-gutter and new or existing rigid pavements, with the bars or hook bolts provided at intervals of 5'. See SCD BP-2.1 for details of the bars and hook bolts.  
 If the combined curb-and-gutter adds a new rigid base or an existing rigid base or pavement that is to be surfaced with asphalt concrete, a built joint shall also be provided. However, the bars or hook bolts shall be omitted when the vertical overlap ("V") in detail below between the curb and gutter and rigid pavement is less than 1".

OFFICE OF ROADWAY ENGINEERING	DATE: 1-21-2022
DESIGNER: Adam Koenig	DATE: 1-15-2022
CHECKER: D. Fisher	
STANDARD ROADWAY CONSTRUCTION DRAWING CONCRETE CURBS AND GUTTER	
REVISIONS	
03.22.24	OWNER REVIEW
05.17.24	OWNER REVIEW
11.01.24	PUD-2 APPLICATION

**RENOVATION FOR MONTGOMERY RESTAURANT**

10777 & 10793 MONTGOMERY ROAD  
 CINCINNATI, OHIO 45242  
 SYCAMORE TOWNSHIP, HAMILTON COUNTY

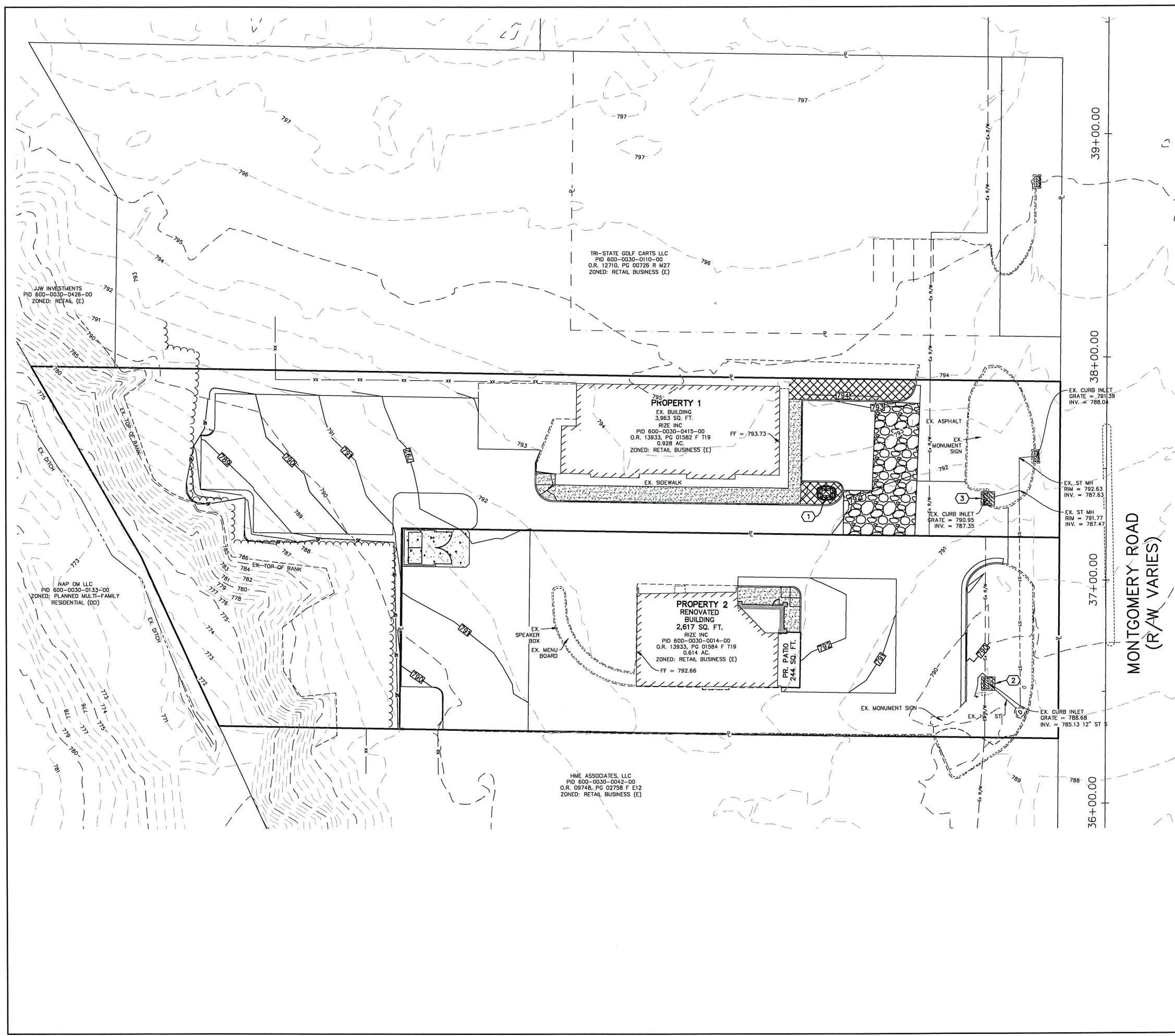
PROJECT NUMBER: 24-130  
 SITE DETAILS  
 DRAWING NUMBER: C402

**PRELIMINARY NOT FOR CONSTRUCTION**

**MCCARTY ASSOCIATES, LLC.**  
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LS:\2024\24-130\REV. IBC, MONTGOMERY ROAD RESTAURANT RENOVATION\Plan Production\Figs\24130\_C402\_Site Details.dwg  
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- SWPPP LEGEND**
- EX. STORM MANHOLE
  - EX. CURB INLET
  - EX. CONTOUR
  - EX. STORM SEWER
  - PR. CONTOUR
  - SILT FENCE
  - INLET PROTECTION
  - CONCRETE WASHOUT
  - CONSTRUCTION ENTRANCE. SEE DETAIL ON SHEET C502.
  - AREA FOR STORAGE OR DISPOSAL OF SOLID, SANITARY, OR TOXIC WASTES (INCLUDING DUMPSTER AREAS) AND VEHICLE FUELING. LOCATION IS APPROXIMATE. CONTRACTOR TO DETERMINE FINAL PLACEMENT.

- KEYNOTES**
1. CONCRETE WASHOUT. LOCATION IS APPROXIMATE. CONTRACTOR TO DETERMINE FINAL PLACEMENT. SEE DETAIL ON SHEET C502.
  2. DANDY BAG INLET PROTECTION, SEE DETAIL ON SHEET C503.
  3. DANDY CURB BAG INLET PROTECTION, SEE DETAIL ON SHEET C503.

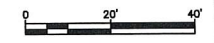
**NOTE**

ANY WASTE OR EXCAVATED MATERIAL STORED ON SITE FOR MORE THAN 2 DAYS SHALL BE PROTECTED BY PERIMETER SILT FENCE. LOCATION OF STOCKPILE CAN BE PLACED ANYWHERE ON PROPERTY AS LONG AS ITS PROTECTED BY PERIMETER SILT FENCE.

**MAINTENANCE AND INSPECTION**

ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. THE CONTRACTOR SHALL DESIGNATE A QUALIFIED PERSON WHO SHALL INSPECT ALL SEDIMENT CONTROLS ON THE SITE. THE SITE SHOULD BE INSPECTED AT LEAST ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER ANY RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. EACH INSPECTION SHALL RESULT IN A REPORT INDICATING THE NAME OF THE SITE, THE CONDITION OF EROSION CONTROL MEASURES, WHETHER SAID MEASURES ARE FUNCTIONING AS INTENDED, NAME AND QUALIFICATIONS OF INSPECTING PERSONNEL. COPIES OF THE INSPECTION REPORT SHALL BE AVAILABLE TO OWNER, ENGINEER, AND PUBLIC AUTHORITIES.

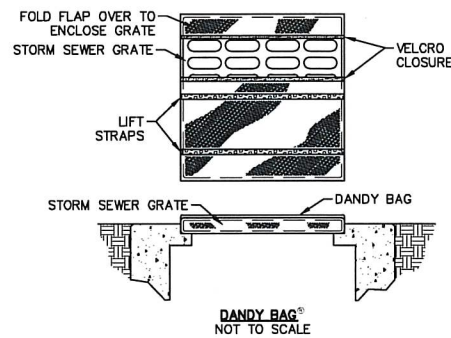
<p><b>REVISIONS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">03.22.24</td> <td>OWNER REVIEW</td> </tr> <tr> <td>05.17.24</td> <td>OWNER REVIEW</td> </tr> <tr> <td>11.01.24</td> <td>PLD-2 APPLICATION</td> </tr> </table>	03.22.24	OWNER REVIEW	05.17.24	OWNER REVIEW	11.01.24	PLD-2 APPLICATION	<p style="font-size: 24pt; font-weight: bold; letter-spacing: 0.5em;">PRELIMINARY NOT FOR CONSTRUCTION</p>
03.22.24	OWNER REVIEW						
05.17.24	OWNER REVIEW						
11.01.24	PLD-2 APPLICATION						
<p>THESE DRAWINGS ARE THE PROPERTY OF MCCARTY ASSOCIATES, LLC AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT OF MCCARTY ASSOCIATES, LLC</p>							
<p><b>MCCARTY ASSOCIATES, LLC.</b>          ARCHITECTS   ENGINEERS   SURVEYORS          213 N. High St., Hillsboro, OH 45133          O. 937.393.9971 F. 937.393.2480          MCCARTYASSOCIATES.COM</p>							
<p><b>RENOVATION FOR MONTGOMERY RESTAURANT</b></p> <p>10777 &amp; 10793 MONTGOMERY ROAD          CINCINNATI, OHIO 45242          SYCAMORE TOWNSHIP, HAMILTON COUNTY</p>							
<p>PROJECT NUMBER 24-130</p> <p>STORMWATER POLLUTION PREVENTION PLAN</p> <p>DRAWING NUMBER C501</p>							





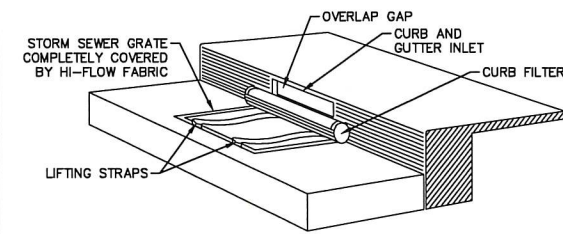


**INLET PROTECTION - DANDY BAG®**



- INSTALLATION**
1. PLACE THE EMPTY DANDY BAG OVER THE GRATE AS THE GRATE STANDS ON END. PULL UP SLACK.
  2. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE.
  3. HOLDING THE LIFT STRAPS, INSERT THE GRATE INTO THE INLET BEING CAREFUL NOT TO DAMAGE THE DANDY BAG UNIT.

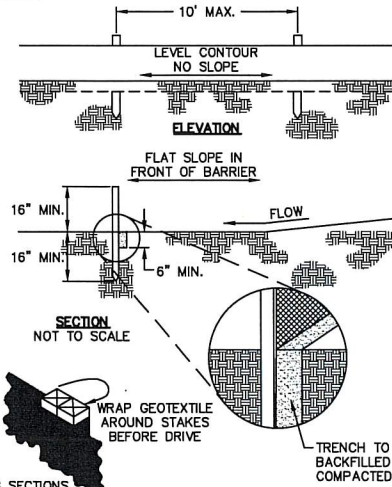
- MAINTENANCE**
1. THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH RAIN EVENT OR AS DIRECTED BY ENGINEER/INSPECTOR. DISPOSE OF UNIT NO LONGER IN USE AT AN APPROPRIATE RECYCLING OR SOLID WASTE FACILITY.



- INSTALLATION**
1. PLACE THE EMPTY DANDY CURB BAG OVER THE GRATE AS THE GRATE STANDS ON END. PULL UP SLACK.
  2. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE.
  3. HOLDING THE LIFT STRAPS, INSERT THE GRATE INTO ITS FRAME, FRONT EDGE FIRST, THEN LOWER BACK EDGE WITH CYLINDRICAL TUBE INTO PLACE.

- MAINTENANCE**
1. THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH RAIN EVENT OR AS DIRECTED BY ENGINEER/INSPECTOR. DISPOSE OF UNIT NO LONGER IN USE AT AN APPROPRIATE RECYCLING OR SOLID WASTE FACILITY.

**SILT FENCE**



- CONSTRUCTION SPECIFICATIONS**
1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
  2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
  3. ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
  4. SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
  5. WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
  6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
  7. THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
  8. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8 INCHES OF GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
  9. SEAMS BETWEEN SECTION OF SILT FENCE SHALL BE SPliced TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6 INCHES OVERLAP PRIOR TO DRIVING INTO THE GROUND. (SEE DETAILS)
  10. **MAINTENANCE:** SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

- CRITERIA FOR SILT FENCE MATERIALS**
1. FENCE POSTS - THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2-BY-2 INCH NOMINAL DIMENSIONED HARDWOOD OF SOUND QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS, THAT WILL WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. POSTS SHALL BE DRIVEN A MINIMUM 16 INCHES INTO THE GROUND, WHERE POSSIBLE. IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT/WATER LOADING.
  2. SILT FENCE FABRIC (SEE CHART BELOW):

FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (535 N)	ASTM D 4632
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180 N)	ASTM D 4533
APPARENT OPENING SIZE	≤0.84 MM	ASTM D4751
MINIMUM PERMITTIVITY	1X10 <sup>-2</sup> SEC. <sup>-1</sup>	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM G 4355

NOTE: THE USE OF STRAW WATTLE, OR FILTER SOCK, HAS BEEN PROVEN TO BE AN EFFECTIVE ESC BMP. STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE IN LINEAR INSTALLATIONS.

**TEMPORARY SEEDING CONSTRUCTION SPECIFICATIONS**

TEMPORARY SEEDING SPECIES SELECTION			
SEEDING DATES	SPECIES	LB./1000 FT <sup>2</sup>	LB./ACRE
MARCH 1 TO AUGUST 15	OATS	3	128 (4 BU.)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYEGRASS	1	40
	TALL FESCUE	1	40
AUGUST 16 TO NOVEMBER 1	RYE	3	112 (2 BU.)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	WHEAT	3	120 (2 BU.)
	TALL FESCUE	1	40
NOVEMBER 1 TO FEB. 28	PERENNIAL RYE	1	40
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	ANNUAL RYEGRASS	1.25	55
	PERENNIAL RYEGRASS	3.25	142
	CREeping RED FESCUE	0.4	17
	KENTUCKY BLUEGRASS	0.4	17

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

1. STRUCTURAL EROSION AND SEDIMENT-CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.
2. TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 21 DAYS OR GREATER. THESE IDLE AREAS SHALL BE SEEDING WITHIN 7 DAYS AFTER GRADING.
3. THE SEEDBED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.
4. SOIL AMENDMENTS--TEMPORARY VEGETATION SEEDING RATE SHALL ESTABLISH ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. BASE RATE FOR LIME AND FERTILIZER SHALL BE USED.
5. SEEDING METHOD--SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SPREADER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON SITE, AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

- MULCHING TEMPORARY SEEDING**
1. APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES ON FAVORABLE VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
  2. MATERIALS
    - STRAW: IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE OR 90 LB. PER 1,000 SQUARE FEET (TWO TO THREE BALES).
    - HYDROSEEDERS: IF WOOD-CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB. PER ACRE OR 46 LB. PER 1,000 SQUARE FEET.
    - OTHER: OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.
  3. STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS
    - MECHANICAL: A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, LEFT TO A LENGTH OF APPROXIMATELY 6 INCHES.
    - MULCH NETTINGS: NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATION RUNOFF AND ON CRITICAL SLOPES.
    - SYNTHETIC BINDERS: SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
    - WOOD-CELLULOSE FIBER: WOOD-CELLULOSE FIBER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LBS. PER ACRE. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER, AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. PER 100 GALLONS.

**PERMANENT SEEDING**

- SITE PREPARATION**
1. SUBSOILER, PLOW, OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. (MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY.) SUBSOILING SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBSOILING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
  2. THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING.
  3. TOPSOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION.

- SEEDBED PREPARATION**
1. LIME: AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACID SOIL AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 POUNDS PER 1,000-SQ. FT. OR 2 TONS PER ACRE.
  2. FERTILIZER: FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN PLACE OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 25 POUNDS PER 1,000-SQ. FT. OR 1000 POUNDS PER ACRE OF A 10-10-10 OR 12-12-12 ANALYSES.
  3. THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES. ON SLOPING LAND, THE SOIL SHALL BE WORKED ON THE CONTOUR.

**SEEDING DATES AND SOIL CONDITIONS**  
SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE A MINIMUM OF 80% GERMINATION. TILLAGE FOR SEEDBED PREPARATION SHOULD BE DONE WHEN THE SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.

**DORMANT SEEDINGS**

1. SEEDINGS SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 20. DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER.
2. THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING":
  - FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
  - FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZE. APPLY THE SELECTED SEED MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
  - APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) ON A FIRM, MOIST SEEDBED.
  - WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND, SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHERE FEASIBLE.

**MULCHING**

1. MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. DORMANT SEEDING SHALL BE MULCHED. 100% OF THE GROUND SURFACE SHALL BE COVERED WITH AN APPROVED MATERIAL.
2. MATERIALS
  - STRAW: IF STRAW IS USED IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE OR 90 POUNDS (TWO TO THREE BALES) PER 1,000-SQ. FT. THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY APPLIED SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000-SQ.-FT. SECTIONS AND SPREAD TWO 45-LB. BALES OF STRAW IN EACH SECTION.
  - HYDROSEEDERS: IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE APPLIED AT 2,000 LB./AC. OR 46 LB./1,000 SQ. FT.
  - OTHER: OTHER ACCEPTABLE MULCHES INCLUDE ROLLED EROSION CONTROL MATTINGS OR BLANKETS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.
3. STRAW AND MULCH ANCHORING METHODS
  - STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.
  - MECHANICAL: A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY BE LEFT LONGER THAN 6 INCHES.
  - MULCH NETTING: NETTING SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.
  - ASPHALT EMULSION: ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER OR AT THE RATE OF 160 GALLONS PER ACRE.
  - SYNTHETIC BINDERS: SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUIVALENT MAY BE USED AT RATES SPECIFIED BY THE MANUFACTURER.
  - WOOD CELLULOSE FIBER: WOOD CELLULOSE FIBER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 POUNDS CELLULOSE PER 100 GALLONS OF WATER.

**IRRIGATION**

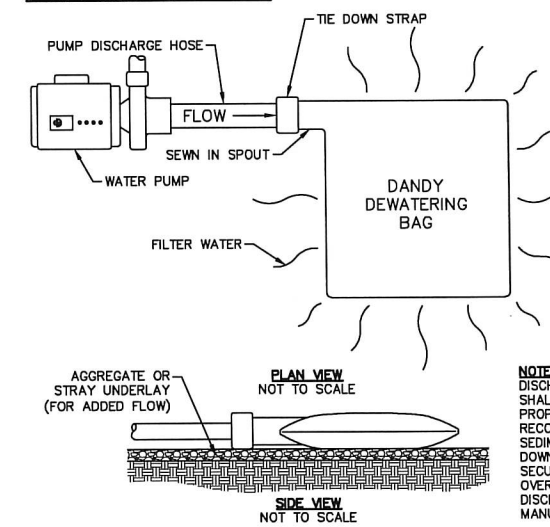
PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY WEATHER OR ON ADVERSE SITE CONDITIONS, WHICH REQUIRE ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH.

IRRIGATION RATES SHALL BE MONITORED TO PREVENT EROSION AND DAMAGE TO SEEDING AREAS FROM EXCESSIVE RUNOFF.

PERMANENT SEEDING SPECIES SELECTION			
SEED MIX	SEEDING RATE		NOTES
	LB./1000 FT <sup>2</sup>	LB./ACRE	
GENERAL USE			
OATS	1/2-1	20-40	FOR CLOSE MOWING & WATERWAYS WITH <2.0 FT/SEC VELOCITY
TALL FESCUE	1/4-1/2	10-20	
ANNUAL RYEGRASS	1/2-1	20-40	
TALL FESCUE	1-1 1/4	40-50	
TURF-TYPE FESCUE	2 1/4	90	
STEEP BANKS OR CUT SLOPES			
TALL FESCUE	1-1 1/4	40-50	
CROWN VETCH	1/4-1/2	10-20	DO NOT SEED LATER THAN AUGUST
TALL FESCUE	1/2-3/4	20-30	
FLAT PEA	1/2-3/4	20-25	DO NOT SEED LATER THAN AUGUST
TALL FESCUE	1/2-3/4	20-30	
ROAD DITCHES AND SWALES			
TALL FESCUE	1-1 1/4	40-50	
TURF-TYPE FESCUE	2 1/4	90	
KENTUCKY BLUEGRASS	0.1	5	
LAWNS			
KENTUCKY BLUEGRASS	2	100-120	
PERENNIAL BLUEGRASS	2	100-120	
KENTUCKY BLUEGRASS	2	100-120	FOR SHADED AREAS
CREeping RED FESCUE	1-1 1/2		

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

**DANDY DEWATERING BAG®**



NOTE: DISCHARGE HOSES USED DURING PUMPING ACTIVITIES SHALL BE FITTED WITH SEDIMENT BAGS THAT ARE PROPERLY SIZED PER MANUFACTURER'S RECOMMENDATIONS REGARDLESS OF WHAT OTHER SEDIMENT CONTROLS ARE IN PLACE FURTHER DOWNSTREAM. SEDIMENT BAGS MUST BE PROPERLY SECURED TO THE DISCHARGE HOSE AND PLACED OVER VEGETATED AREAS, WHERE FEASIBLE, DURING DISCHARGE. INSTALL AND MAINTAIN SYSTEM PER MANUFACTURER'S RECOMMENDATION.

REVISIONS

03.22.24	OWNER REVIEW
05.17.24	OWNER REVIEW
11.01.24	PLD-3 APPLICATION

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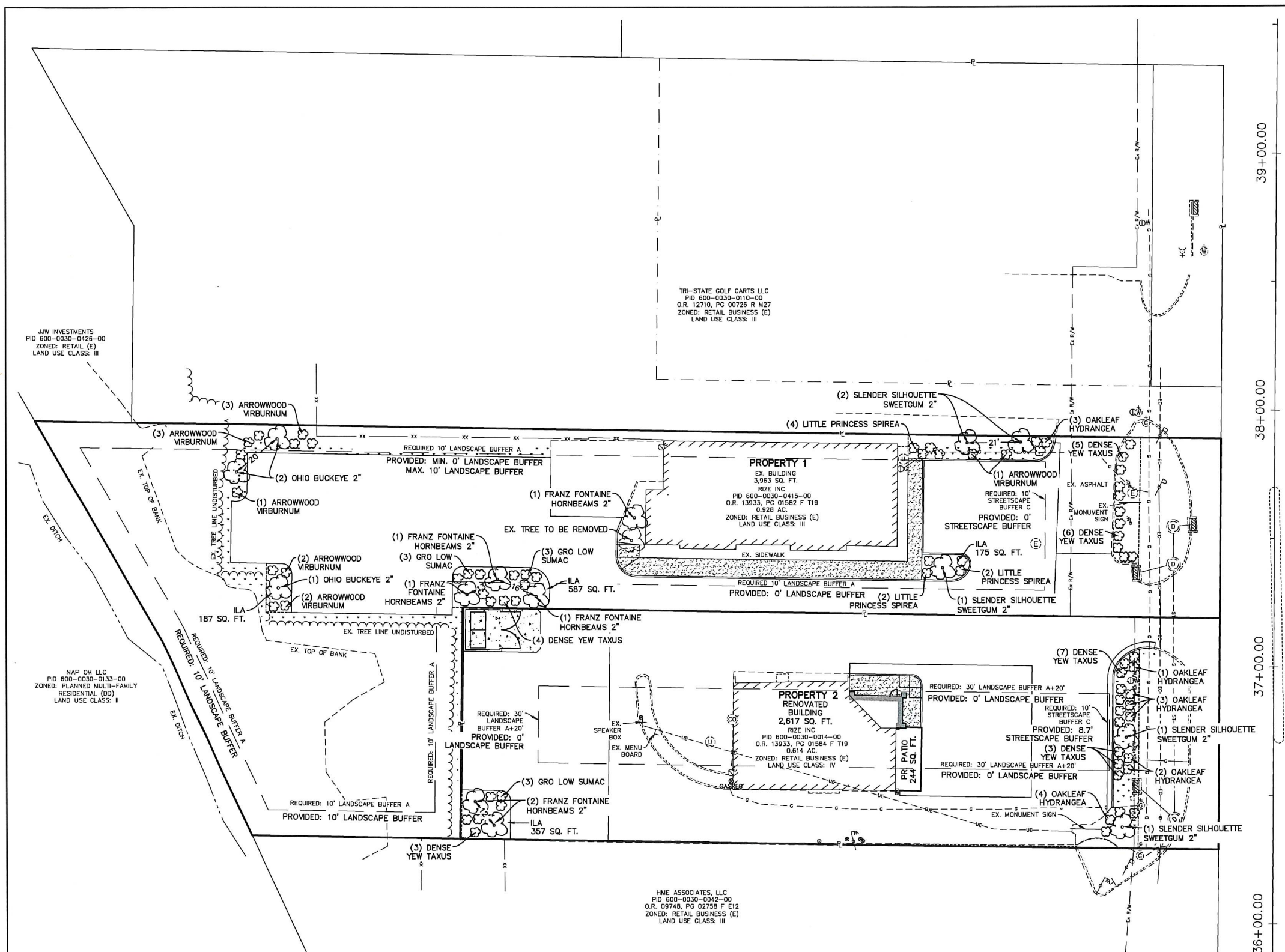
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ARCHITECTS/ENGINEERS/SURVEYORS  
213 N. High St., Hillsboro, OH 45133  
O: 937.393.9971 F: 937.393.2480  
MCCARTYASSOCIATES.COM

RENOVATION FOR  
**MONTGOMERY RESTAURANT**  
10777 & 10763 MONTGOMERY ROAD  
CINCINNATI, OHIO 45242  
SYCAMORE TOWNSHIP, HAMILTON COUNTY

PROJECT NUMBER  
24-130  
**STORMWATER POLLUTION PREVENTION PLAN**  
DRAWING NUMBER  
**C503**

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**SITE LEGEND**

- PR. DECIDUOUS/COVER TREE
- PR. DECIDUOUS SHRUB
- SEEDING AND MULCHING
- LANDSCAPE BED LIMITS, CONTRACTOR TO COORDINATE BED MATERIAL WITH OWNER.

**ABBREVIATIONS**

ILA INTERIOR LANDSCAPE AREA

**NOTE:**

- SEE SHEET C101 FOR EXISTING CONDITIONS LEGEND.
- SEE SHEET C201 FOR SITE LEGEND.

**SITE DATA**

PROPERTY	ZONING	PR. IMPERVIOUS AREA	LAND USE CLASS	REQUIRED INTERIOR LANDSCAPING (SQ. FT.)	PROVIDED INTERIOR LANDSCAPING (SQ. FT.)	REQUIRED PARKING/STACKING SPACE PER 12-6.4(a)	PROVIDED PARKING/STACKING SPACE PER 12-6.4(a)	REQUIRED PARKING LOT TREES	PROVIDED PARKING LOT TREES	REQUIRED PARKING LOT SHRUBS	PROVIDED PARKING LOT SHRUBS
PROPERTY 1	RETAIL BUSINESS (E)	0.52 ACRES (55.9%)	III	506	949	12-6.4(o)	12-6.4(o)	7	7	21	21
PROPERTY 2	RETAIL BUSINESS (E)	0.55 ACRES (90%)	IV	616	357	12-6.4(o)	12-6.4(o)	5	2	15	6

**REVISIONS**

NO.	DATE	DESCRIPTION
03.22.24	OWNER REVIEW	
05.17.24	OWNER REVIEW	
11.01.24	PUD-2 APPLICATION	

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- LANDSCAPING NOTES**
- ALL LANDSCAPE MATERIALS SHALL MEET CHAPTER 15 OF THE SYCAMORE TOWNSHIP ZONING CODE.
  - CANOPY TREES SHALL BE DECIDUOUS TREES WITH A MINIMUM OF TWELVE FEET (12') OVERALL HEIGHT OR A MINIMUM OF 2 1/2 INCHES WHEN INSTALLED, AND HAVE AN EXPECTED HEIGHT OF AT LEAST 35 FEET AT MATURITY PER 15-3.3(o).
  - SHRUBS SHALL BE AT LEAST EIGHTEEN INCHES (18") IN HEIGHT OR TWENTY-FOUR INCHES (24") IN SPREAD WHEN INSTALLED.
  - THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS AND VEGETATION PROPOSED, ANY TREES, SHRUBS, GROUND COVER, OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES AT LEAST 2 WORKING DAYS PRIOR TO ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST DUE TO DAMAGE TO ANY UTILITIES.
  - ALL PLANTING MATERIALS SHALL BE PLANTED PER ODOT SPECIFICATIONS. EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE BROKEN, LOW HANGING AND OTHER UNDESIRABLE GROWTH.
  - ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO ABOVE 60° CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF WITH PRE-EMERGENT AND POST-EMERGENT TYPE HERBICIDES USING A STATE-LICENSED HERBICIDE APPLICATOR. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBACEOUS MATERIALS HAVE BEEN KILLED. BEFORE PLANTING, TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTO-TILLER.
  - FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:
    - ONE PART EXCAVATED SOIL
    - ONE PART TOPSOIL
    - ONE PART EPA RATED CLASS IV COMPOST
    - A SLOW RELEASE COMMERCIAL FERTILIZER (0-20-20 OR EQUAL) ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE MIX.
    - IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF MIX.
  - SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDDED HARDWOOD BARK OF UNIFORM TEXTURE AND SIZE. PLANTS GROUPED IN MASSES SHALL HAVE THE ENTIRE CONTIGUOUS PLANTING BED OR ISLAND MULCHED. USE SHREDDED HARDWOOD BARK AGED MIN. ONE YEAR. RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS, MULCH TO A DEPTH OF 3 INCHES. AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12-12-12 OR EQUAL), IN GRANULAR FORM, TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1,000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS, OR LEAVES.
  - BEFORE FINAL INSPECTION, PLACE ALL PLANTS, SEED ALL LAWN, AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOW THE STANDARD HORTICULTURAL PRACTICES TO ENSURE THE HEALTH AND GROWTH OF THE PLANTED MATERIAL. WATER, REMULCH, RESTAKE, GUY, AND CULTIVATE AS NECESSARY. ENSURE MULCHED AREAS ARE COMPLETELY RID OF WEEDS AND GRASSES.
  - ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT, OR LANDSCAPE PLANTING BEDS SHALL BE PREPARED FOR GRASS SEED. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MINIMUM OF 4" TOPSOIL PLACES, SEEDED, AND A STRAW/MULCH COVER PLACED OVER THE SEEDED AREA PER ODOT SPECIFICATIONS. FERTILIZE ONE POUND OF ACTUAL NITROGEN PER 1,000 SQUARE FEET WITH A SLOW RELEASE COMMERCIAL STARTER FERTILIZER (LESCO 18-24-12 OR EQUAL).
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING, AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESSARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1" OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATER TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAGS) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.

**RENOVATION FOR MONTGOMERY RESTAURANT**

10777 & 10793 MONTGOMERY ROAD  
CINCINNATI, OHIO 45242  
SYCAMORE TOWNSHIP, HAMILTON COUNTY

**MONTGOMERY RESTAURANT**

PROJECT NUMBER  
24-130  
**LANDSCAPE PLAN**

DRAWING NUMBER  
**L101**

0 20' 40'

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REVISIONS	
03.22.24	OWNER REVIEW
05.17.24	OWNER REVIEW
10.04.24	PUD-2 APPLICATION

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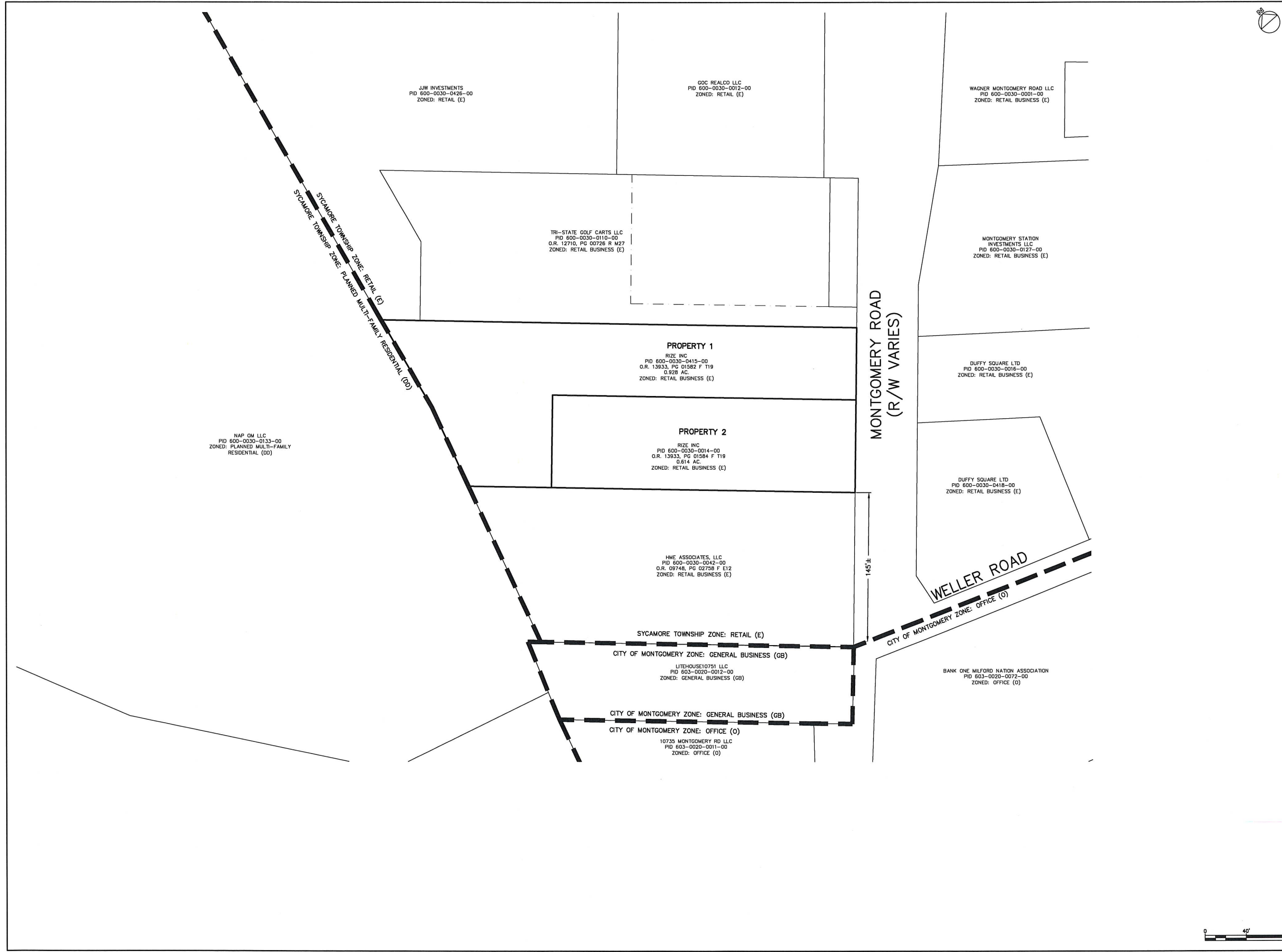
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**PUD-2 APPLICATION FOR  
MONTGOMERY RESTAURANT**

10777 & 10793 MONTGOMERY ROAD  
CINCINNATI, OHIO 45242  
SYCAMORE TOWNSHIP, HAMILTON COUNTY

PROJECT NUMBER	24-130
ZONING PLAN	

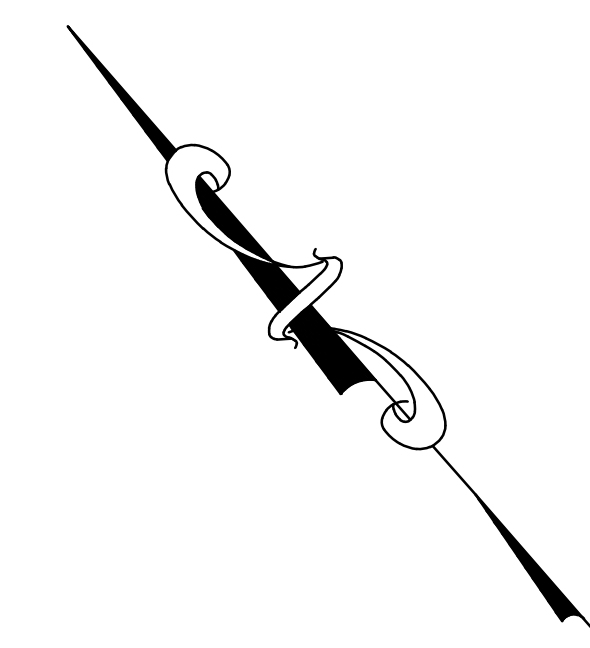
DRAWING NUMBER	1 OF 1
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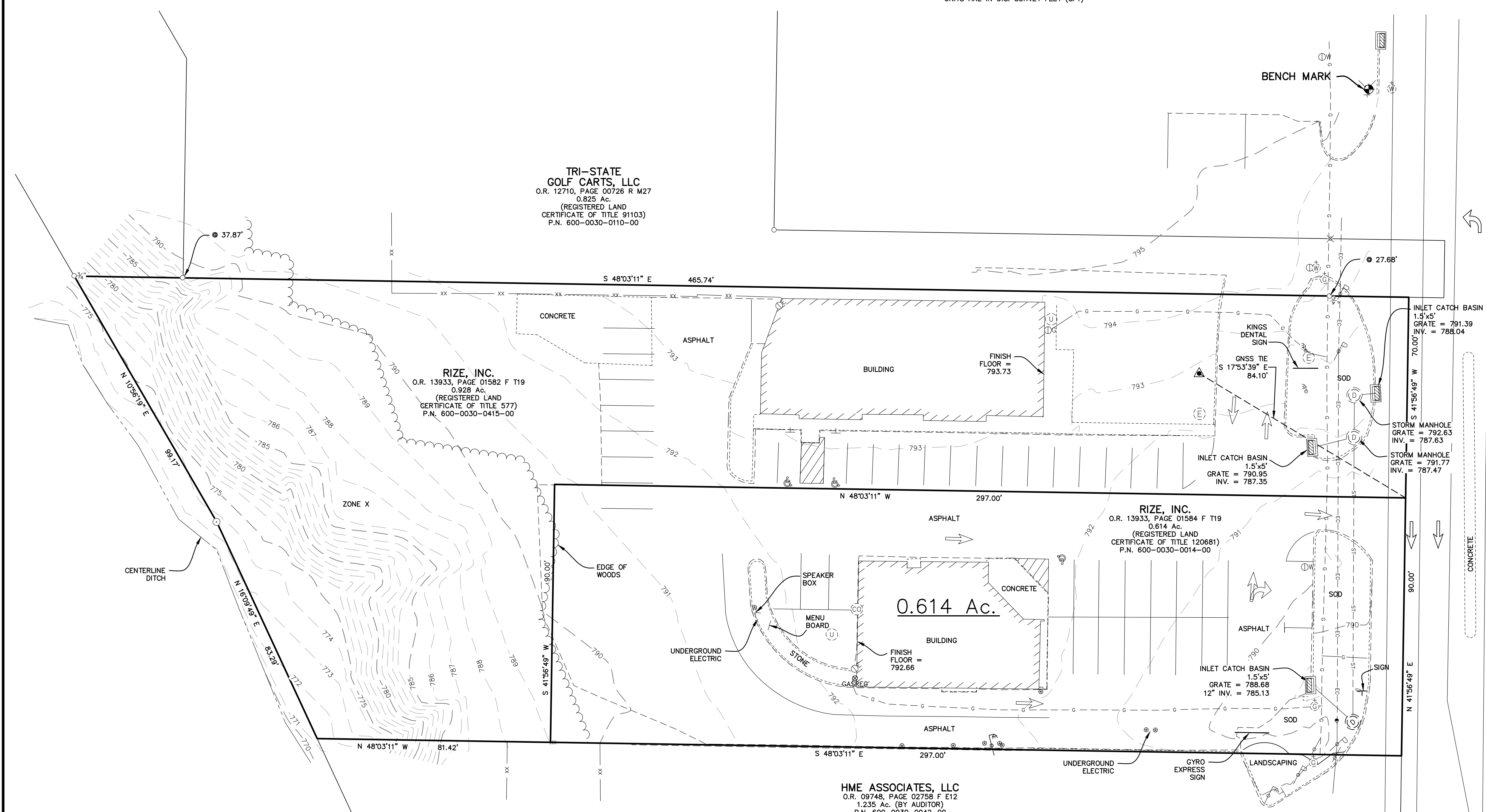
U:\2024\24-130 RIZE INC MONTGOMERY ROAD RESTAURANT REMAINING\24-130\_Plan\_Production\Plan\24130\_Zoning\_Plan.dwg, Layout1, 10/4/2024 10:38:07 AM, mrcal, DWG, by: PDP/cas

NATIONAL GEODETIC SURVEY CONTROL MONUMENTS						
NAME	NAD 83 (2011) LATITUDE	LONGITUDE	ELLIPSOID HEIGHT	OHIO STATE PLANE NORTHING	EASTING	NAVD 88 ELEVATION
LEBANON CORS ARP LEBA	39°25'49.78843"N	84°16'59.28382"W	739.714	525982.865	1464871.214	850.221
LOCAL CONTROL MONUMENT "2001" LOCAL SITE SETTINGS						
LOCAL CONTROL MONUMENT "2001"	39°15'31.97628"N	84°20'28.17146"W	681.282	463819.015	1447210.651	792.774
LOCAL GROUND COORDINATES NAVD 88						
GROUND SCALE FACTOR: 1.00009429062853					NORTHING	EASTING
GEOD MODEL: GEOD18 (CONUS)					463819.015	1447210.651
UNITS ARE IN U.S. SURVEY FEET (SFT)						

BEARINGS ARE BASED UPON THE GRID AZIMUTH (AZ 195°51'34.9") BETWEEN NATIONAL GEODETIC SURVEY CORS STATION "LEBA" AND MCCARTY ASSOCIATES GEODETIC LOCAL CONTROL MONUMENT "2001" AND DERIVED FROM GNSS OBSERVATIONS TAKEN FEBRUARY 19, 2024, UTILIZING THE ODOT OHIO REAL TIME NETWORK (TRIMBLE VIRTUAL REFERENCE SYSTEM). (TRIMBLE FILE 24130 02-20-24)



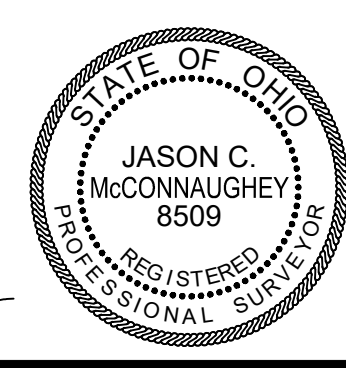
**BENCH MARK:**  
ARROW BOLT ON TOP OF FIRE HYDRANT 15.08' WEST AND 142.52' NORTH OF SUBJECT PREMISES.  
**ELEVATION = 796.42 FEET (NAVD88)**



LEGEND	
○ 5/8" IRON PIN (FOUND) UNLESS OTHERWISE NOTED	Ⓜ ELECTRIC PULL BOX LID
⊙ 1" IRON PIPE (FOUND)	Ⓜ STORM MANHOLE
✕ MAG SPIKE (FOUND)	Ⓜ SANITARY MANHOLE
⊕ GAS VALVE	Ⓜ UNKNOWN MANHOLE
⊕ WATER VALVE	⊥ SIGN, 1 POST
⊕ WATER METER	⊥ SIGN, 2 POST
⊕ FIRE HYDRANT	⊕ GUY WIRE
⊕ BENCH MARK	Ⓜ SQUARE CATCH BASIN
⊕ UTILITY POLE	⊕ SPOT LIGHT
⊕ LIGHT POLE	Ⓜ CLEANOUT
⊕ BOLLARD	♿ HANDICAP PARKING SPACE
⊕ POLE	— G — GAS LINE
⊕ GAS REGULATOR	— ST — EDGE OF PAVEMENT
Ⓜ MCCARTY ASSOCIATES LOCAL CONTROL MONUMENT "2001", 5/8" IRON PIN (SET) WITH PLASTIC CAP STAMPED "MCCARTY TRAVERSE"	— EC — STORM SEWER LINE
	— EC — OVERHEAD ELECTRIC AND COMMUNICATIONS
	— XX — CHAIN LINK FENCE

**NOTES:**  
THE ABOVE LISTED DEED REFERENCES WERE USED AS A BASIS FOR CARRYING OUT THE WORK.  
NO EVIDENCE OF OCCUPATION EXISTS ALONG PROPERTY LINES INDICATED BY SOLID LINES.  
ALL MONUMENTS FOUND OR SET ARE IN GOOD CONDITION UNLESS OTHERWISE INDICATED.  
THE SIZE AND/OR LOCATION OF UNDERGROUND UTILITIES WAS PROVIDED BY THE UTILITY COMPANIES AND IS NOT WARRANTED CORRECT OR COMPLETE BY THE SURVEYOR.  
ACCORDING TO THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 39061C0114F, DATED JUNE 7, 2023, THE PROPERTY LIES IN AN AREA OF MINIMAL FLOOD HAZARD ZONE X.

I HEREBY CERTIFY THIS TO BE A PLAT OF A SURVEY MADE UNDER MY DIRECTION IN NOVEMBER, 2023.  
*Jason C. McConaughy*  
JASON C. MCCONAUGHEY, P.S. 8509



DEED REFERENCE:
RIZE, INC. O.R. 13933, PAGE 01582 F T19 0.928 Ac. (REGISTERED LAND CERTIFICATE OF TITLE 577) P.N. 600-0030-0415-00
RIZE, INC. O.R. 13933, PAGE 01584 F T19 0.614 Ac. (REGISTERED LAND CERTIFICATE OF TITLE 120681) P.N. 600-0030-0014-00

LIMITED BOUNDARY, TOPOGRAPHIC, PLANIMETRIC AND UTILITY SURVEY OF  
**RIZE, INC.**  
PROPERTY  
SYCAMORE TOWNSHIP  
HAMILTON COUNTY, OHIO  
SEC 5 - TOWN 4 - ENTIRE RANGE 1 MIAMI PURCHASE

**MCCARTY ASSOCIATES, LLC.**  
ARCHITECTS | ENGINEERS | SURVEYORS  
213 N. High St. Hillsboro, Oh 45133  
O: 937.393.9971 F: 937.393.2480  
MCCARTYASSOCIATES.COM

DATE	SCALE	PROJECT NO.
MARCH 6, 2024	1"=20'	S24-130

L:\2024\130\_RIZE, INC. MONTGOMERY ROAD RESTAURANT RENOVATION\DWG\24130\_Survey\_Plat.dwg, Topo Plat, 5/7/2024 1:14:28 PM, Dims, DWG to PDF PC3

24130\_TPOD SURVEY



204586  
 19-478633  
 19-481486  
 06/06/2019

Convey number:  
 Deed number:  
 Instr. number:  
 Transfer date:  
 Sec. 319.202 R.C.  
 Sec. 322.02 R.C.  
 Dusty Rhodes  
 Hamilton County Auditor

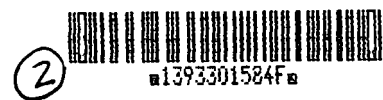
513000.00  
 0.50  
 1539.00  
 513.00  
 2052.50

Sales amount:  
 003 - Transfer Fee  
 050 - Permissive Fee  
 202 - Conveyance Fee  
 Fee total:

Norbert A. Nadel  
 Hamilton County Recorder's Office  
 Doc #: 2019-0044301 Type: DE  
 Filed: 06/06/19 02:21:09 PM \$28.00  
 Off.Rec.: 13933 01584 F T19 2 343

After recording, please return to:  
 Gerner & Kearns Co., LPA, Box T-19

File # GK1900098



## GENERAL WARRANTY DEED

**Tri-State Golf Carts, LLC**, an Ohio limited liability company for valuable consideration paid, grants with general warranty covenants to **Rize, Inc.**, an Ohio corporation, whose tax mailing address is 8575 Sleeping Hollow Drive, Cincinnati, Ohio 45243, the following described real property:

Situated in Sycamore Township, Section 5, Town 4, Entire Range 1, Hamilton County, Ohio.

Beginning at a point in the North Line of Section 5, said point being South 83° 09' West, 1056.00 feet from the Northeast corner of said section; thence South 1° 00' West, 1,879.02 feet to a point in the Original Centerline of Montgomery Road (U.S. 22), which line is also the Southeasterly line of Registered Land described in Certificate of Title No. 577, said point being 1,766.33 feet Southwestwardly from the East line of said Section 5 along said Original Centerline as per survey of April 4, 1922, and platted in the Registered Lands Office of the Hamilton County Recorder in Certificate Book 3, Page 577 which point is the true place of beginning of this conveyance; thence continuing in said Original Centerline of Montgomery Road, South 37° 19' West, 50.83 feet to a point in the Grantors' Southerly line, said point being 12.23 feet West of and at right angles from the established improved centerline for said Montgomery Road as recorded in Plat Book 60, Page 31, in the offices of said Hamilton County Recorder; thence continuing in the Grantors' Southerly line, North 52° 41' West, 297.00 feet to a point; thence North 37° 19' East 90.00 feet to a point; thence South 52° 41' East, 297.00 feet to a point in the Original Centerline of Montgomery Road; thence continuing in said Original Centerline South 37° 19' West 39.17 feet to the place of beginning; thus enclosing 0.614 acres of land; subject to legal highways and an easement to the State of Ohio.

The Registered Land portion of the following premises is described as follows:

Situated in Sycamore Township, Section 5, Town 4, Entire Range 1, Hamilton County, Ohio.

Beginning at a point in the North line of said Section 5, said point being South 83° 09' West, 1,056.00 feet from the Northeast corner of said section thence South 1° 00' West, 1,879.02 feet to a point in the Original Centerline of Montgomery Road (U.S. 22), said point being 1,766.33 feet Southwestwardly from the East line of said Section 5 along said Original Centerline as per survey of April 4, 1922, and platted in the Registered Land Office of the Hamilton County Recorder in Plat Book 3, Page 577, to the true place of beginning of this Registered Land; thence continuing North 1° East 48.61 feet; thence South 52° 41' East 28.79 feet; thence South 37° 19' West 39.17 feet to the place of beginning.

Subject to and together with ingress, egress and vehicular parking easements as set forth in Deed Book 4259, Page 195 and Registered Land Certificate No. 120681, Hamilton County, Ohio Records.

Subject to and together with all easements, restrictions and legal highways, if any, of record

Parcel Number: 600-0030(0014-00, 48, 49 & 419 (cons.))<sup>CONS</sup>  
More Commonly Known As: 10793 Montgomery Road, Cincinnati, Ohio 45242<sup>SW</sup>

Prior Instrument Reference: Being the same real property acquired by Tri-State Golf Carts, LLC, an Ohio limited liability company, the Grantor herein, by Deed dated February 25, 2016 and recorded February 26, 2016 in Official Record Book 13111, Page 1676 of the Hamilton County, Ohio Records.

Signed this 5th day of June, 2019.

Tri-State Golf Carts, LLC, an Ohio limited liability company

By: Carl D. Wesley  
Carl D. Wesley, Member

DESCRIPTION ACCEPTABLE  
HAMILTON COUNTY ENGINEER  
Tax Map - 6/6/19 JL  
CAGIS - \_\_\_\_\_

STATE OF OHIO  
SS:  
COUNTY OF HAMILTON

Be it remembered, that on this 5th day of June, 2019 before me, a Notary Public, personally came Tri-State Golf Carts, LLC, an Ohio limited liability company, by and through Carl D. Wesley, Member, the Grantor in the foregoing Deed, and acknowledged the signing thereof to be his voluntary act and deed on behalf of the limited liability company.

In testimony thereof, I have hereunto subscribed my name and affixed my notarial seal on the day and year last aforesaid.

Susan D'Angelo  
Notary Public, State of Ohio

This Instrument Prepared By:  
David E. Gerner, Esq.  
Gerner & Kearns Co. L.P.A.  
7900 Tanners Gate Lane  
Florence, KY 41042  
(513) 241-7722



**SUSAN D'ANGELO**  
Notary Public, State of Ohio  
My Commission Expires  
December 11, 2020

204582  
 19-478630  
 19-481483  
 06/06/2019

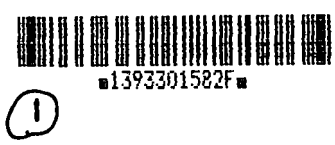
Convey. number:  
 Deed number:  
 Instr. number:  
 Transfer date:  
 Sec. 319.202 R.C.  
 Sec. 322.02 R.C.  
 Dusty Rhodes  
 Hamilton County Auditor  
 Sales amount:  
 003 - Transfer Fee  
 050 - Permissive Fee  
 202 - Conveyance Fee  
 Fee total:

655000.00  
 0.50  
 1955.00  
 655.00  
 2620.50

Norbert A. Nadel  
 Hamilton County Recorder's Office  
 Doc #: 2019-0044300 Type: DE  
 Filed: 06/06/19 02:20:44 PM \$28.00  
 Off.Rec.: 13933 01582 F T19 2 342

After recording, please return to:  
 Gerner & Kearns Co., LPA, Box T-19

File # GK1900098



## GENERAL WARRANTY DEED

**Tri-State Golf Carts, LLC**, an Ohio limited liability company for valuable consideration paid, grants with general warranty covenants to **Rize, Inc.**, an Ohio corporation, whose tax mailing address is 8575 Sleeping Hollow Drive, Cincinnati, Ohio 45243, the following described real property:

Situated in Section 5, Town 4, Entire Range 1, Sycamore Township, Hamilton County, Ohio, and being more particularly described as follows:

Commencing at a point in the north line of said Section 5, said point being South 83° 09' West, 1056.00 feet from the northeast corner of said Section 5; thence South 1° 00' West, 1879.02 feet to a point in the Original Centerline of Montgomery Road (U.S. 22), which is also the southeasterly line of Registered Lane described in Registered Land Certificate of Title No. 577, said point being 1766.33 feet southwestwardly from the east line of said Section 5, as measured along said Original Centerline as per survey of April 4, 1922 and platted in Certificate Book 3, Page 577 of the Registered Land Records of Hamilton County; thence along said Original Centerline, North 37° 19' East, 39.17 feet to the real place of beginning of the tract herein described; thence departing the said Original Centerline, North 52° 41' West, 297.00 feet; thence South 37° 19' West, 90.00 feet; thence North 52° 41' West, 81.42 feet to a concrete monument; thence North 11° 32' East, 83.29 feet; thence North 6° 18' 30" East, 99.17 feet to an iron pin; thence South 52° 41' East, 465.74 feet to a point in the said original centerline of Montgomery Road; thence along said original centerline, South 37° 19' West, 70.00 feet to the place of beginning of the tract herein described.

The above described tract contains 0.928 Acres of Land and is subject to the legal right-of-way of Montgomery Road and all easements of record.

Being part of the same premises described in Deed Book 4183 pages 419-23 of the Deed Records of the Recorder at Hamilton County, Ohio.

A portion of the above described tract is a part of a tract of registered land originally registered by Certificate of Title #577 of the Registered Land Records of Hamilton County, Ohio. The registered land portion of the above described tract being described as follows:

Commencing at a point in the north line of said Section 5, said point being South 83° 09' West, 1056.00 feet from the northeast corner of said Section 5; thence South 1° 00' West, 1879.02 feet to a point in the Original Centerline of Montgomery Road (U.S. 22), which is also the southeasterly line of Registered Land described in Registered Land Certificate of Title No. 577, said point being 1766.33 feet southwestwardly

from the east line of said Section 5 as measured along said Original Centerline as per survey of April 4, 1922 and platted in Certificate Book 3, Page 577 of the Registered Land Records of Hamilton County; thence along said Original Centerline, North 37° 19' East, 39.17 feet to the real place of beginning of the tract herein described; thence departing the said Original Centerline, North 52° 41' West, 28.79 feet; thence North 1° 00' East, 86.88 feet; thence South 52° 41' East, 80.25 feet to a point in the said original centerline of Montgomery Road; thence along said original centerline, South 37° 19' West, 70.00 feet to the place of beginning.

The registered land portion contains 0.088 acres of land.

This description was prepared by Robert W. Trenkamp, registered land surveyor #6452 in Ohio and was based on a survey made by Thomas Graham Associates in June, 1980.

Subject to and together with all easements, restrictions and legal highways, if any, of record.

Parcel Number: 600-0030-<sup>(CONS)</sup>0415-00, 416 (cons.)  
More Commonly Known As: 10777 Montgomery Road, Cincinnati, Ohio 45242

Prior Instrument Reference: Being the same real property acquired by Tri-State Golf Carts, LLC, an Ohio limited liability company, the Grantor herein, by Deed dated January 22, 2016 and recorded January 27, 2016 in Official Record Book 13090, Page 1113 of the Hamilton County, Ohio Records.

Signed this 5th day of June, 2019.

Tri-State Golf Carts, LLC, an Ohio limited liability company

By: Carl D. Wesley  
Carl D. Wesley, Member

DESCRIPTION ACCEPTABLE  
HAMILTON COUNTY ENGINEER  
Tax Map - 6/6/19 JL

STATE OF OHIO

CAGIS - \_\_\_\_\_

SS:

COUNTY OF HAMILTON

Be it remembered, that on this 5th day of June, 2019 before me, a Notary Public, personally came Tri-State Golf Carts, LLC, an Ohio limited liability company, by and through Carl D. Wesley, Member, the Grantor in the foregoing Deed, and acknowledged the signing thereof to be his voluntary act and deed on behalf of the limited liability company.

In testimony thereof, I have hereunto subscribed my name and affixed my notarial seal on the day and year last aforesaid.

Susan D'Angelo  
Notary Public, State of Ohio



SUSAN D'ANGELO  
Notary Public, State of Ohio  
My Commission Expires  
December 11, 2020

This Instrument Prepared By:  
David E. Gerner, Esq.  
Gerner & Kearns Co. L.P.A.  
7900 Tanners Gate Lane  
Florence, KY 41042/(513) 241-7722