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**PUD MAJOR MODIFICATION
SCOTT STREET PARTNERS-II
OFFICE BUILDING**

8240 NORTHCREEK DRIVE
SECTION 8, TOWN 4, ENTIRE RANGE 1
SYCAMORE TOWNSHIP, HAMILTON COUNTY, OHIO

Sheet Title

EXISTING FEATURES

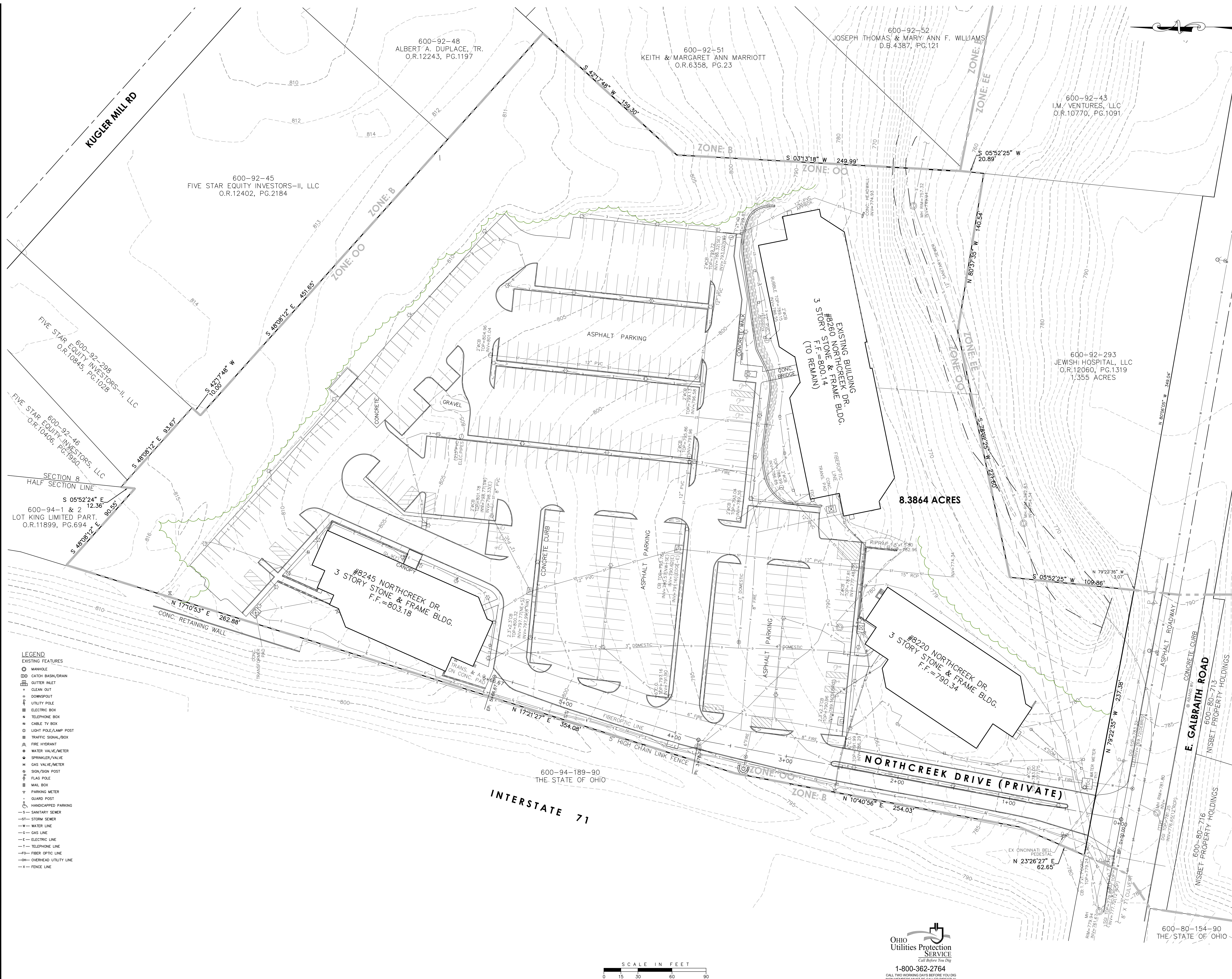
Project No. _____

Scale	AS NOTED
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AS NOTED

Sheet No. _____

File No. 08499.10




OHIO
Utilities Protection
SERVICE
Call Before You Dig
1-800-362-2764
CALL TWO WORKING DAYS BEFORE YOU
(NON MEMBERS MUST BE CALLED DIRECTLY)

CALL TWO WORKING DAYS BEFORE YOU DIE
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**PUD MAJOR MODIFICATION
SCOTT STREET PARTNERS-II
OFFICE BUILDING**

8240 NORTHCREEK DRIVE
SECTION 8, TOWN 4, ENTIRE RANGE 1
SYCAMORE TOWNSHIP, HAMILTON COUNTY, OHIO

SCOTT STREET PARTNERS-II, LLC
PO BOX 36381
CINCINNATI, OH 45236

SCOTT STREET PARTNERS-II, LLC
PO BOX 36381
CINCINNATI, OH 45236
CONTACT: MIKE KUBICKI 513-543-8888

GROSS AREA:	8.3864 ACRES
AREA IN RIGHT OF WAY:	0.0000 ACRES
NET AREA:	8.3864 ACRES
EXISTING ZONING:	OO - PLANNED OFFICE DISTRICT
PROPOSED USE:	OFFICE & MEDICAL OFFICE

PROPOSED USE: OFFICE & MEDICAL OFFICE	GROSS AREA	NET AREA
PROPOSED BUILDING AREA: (MEDICAL OFFICE)	112,000 S.F.	89,600 S.F.
EXISTING BUILDING AREA:(OFFICE)	48,900 S.F.	39,120 S.F.
TOTAL	160,900 S.F.	128,720 S.F.

PARKING SPACES REQUIRED: (MEDICAL OFFICE) 6 PER FIRST 1,000 S.F., 1 PER 200 S.F.
(OFFICE) 4 PER FIRST 1,000 S.F., 1 PER 250 S.F.

TOTAL PARKING SPACES REQUIRED: 606

TOTAL PARKING SPACES PROVIDED:	SURFACE	= 383
	GARAGE (UPPER DECK)	= 98
	GARAGE (LOWER DECK)	= 142
	TOTAL	= 623

PROPOSED BUILDING AREA:	62,198 S.F.
EXISTING BUILDING AREA:	18,513 S.F.
PROPOSED WALKS:	5,065 S.F.
EXISTING WALKS:	626 S.F.
PAVEMENT:	162,408 S.F.

TOTAL IMPERVIOUS AREA:	248,810 S.F.	= 0.68
TOTAL SITE AREA:	365,312 S.F.	

Sheet Title

Project No.	08499.10
Scale	AS NOTED
Sheet No.	C100
File No.	08499.10



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Engineers • Architects • Surveyors
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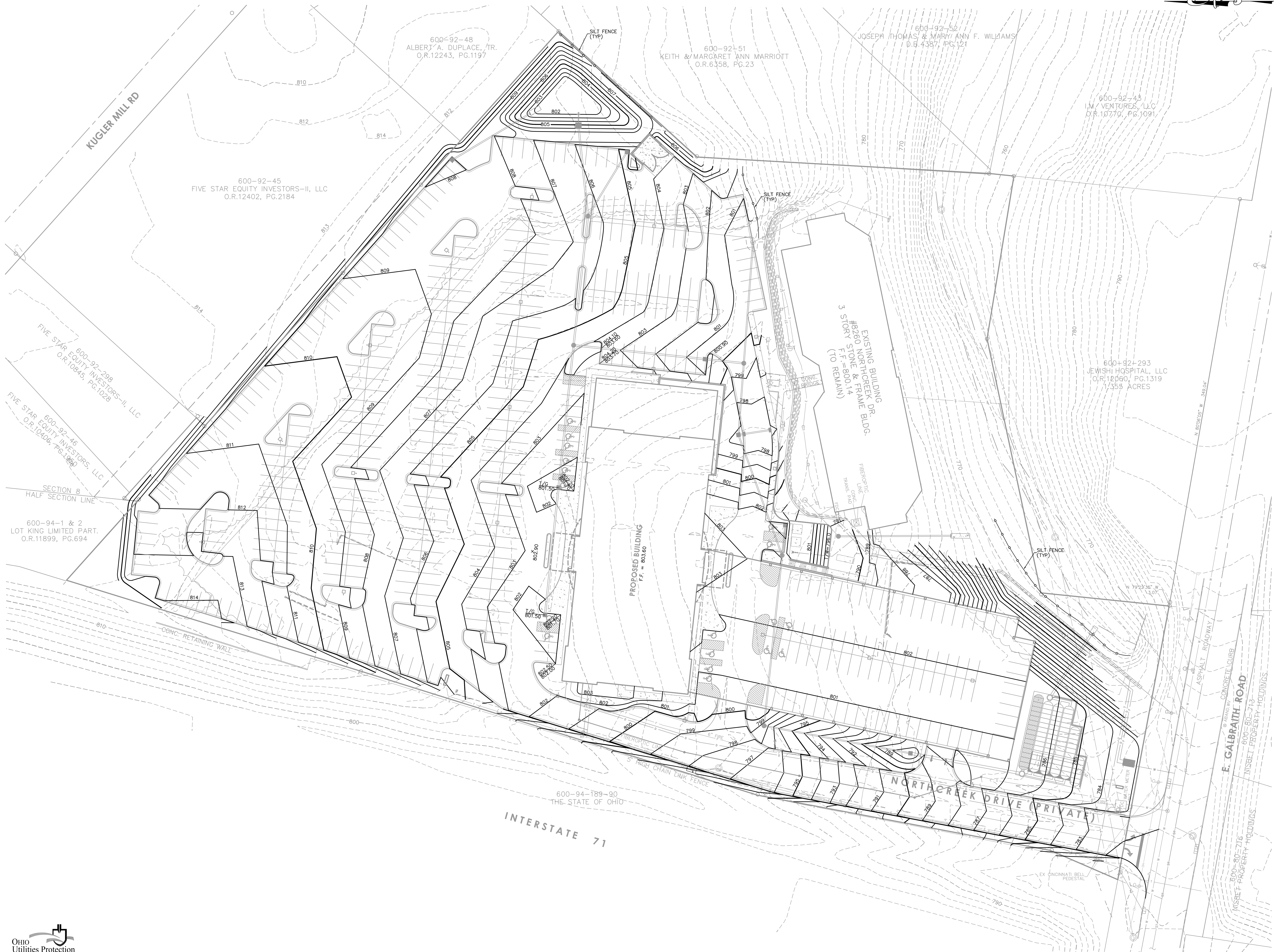
Drawn By BC Project Mgr. DS
Drawing File 08499104-IMP-2014
X-Reference Files

Date 03/24/14
No. Revision/Issue By Date
ZONING SUBMITTAL 03/24/14

**PUD MAJOR MODIFICATION
SCOTT STREET PARTNERS-II
OFFICE BUILDING**

8240 NORTHCREEK DRIVE
SECTION 8, TOWN 4, ENTIRE RANGE 1
SYCAMORE TOWNSHIP, HAMILTON COUNTY, OHIO

Sheet Title
GRADING PLAN
Project No. 08499.10
Scale AS NOTED
Sheet No. C200
File No. 08499.10



SCALE IN FEET
0 15 30 60 90

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**PUD MAJOR MODIFICATION
SCOTT STREET PARTNERS-II
OFFICE BUILDING**

8240 NORTHCREEK DRIVE
SECTION 8, TOWN 4, ENTIRE RANGE 1
SYCAMORE TOWNSHIP, HAMILTON COUNTY, OHIO

CALCULATION SUMMARY										
AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
New Area	1032.13x622.22ft	New Grid / H-H	TS35	20.00	<>	0.56	7.27	0.00	N/A	N/A

NORCROSS (03/24/04) LUMINAIRE SCHEDULE							
NO	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALAST	LF	QTY
PI-3	b	SPALLING LIGHT 18" sq LED (1) 7' 01"-94.5'-5.4'-3C	(1)	19006	18" steel center lose	1.00	2
PI-4	b	SPALLING LIGHT 18" sq LED (1) 7' 01"-94.5'-5.4'-3C	(1)	19902	18" steel center lose	1.00	4
PIR	b	SPALLING LIGHT 18" sq LED (1) 7' 01"-94.5'-5.4'-3C	(1)	12842	18" steel center lose	1.00	5
P5	b	HUBBELL OUTDOOR 18" sq LED (1) 7' 01"-94.5'-5.4'-3C	(1)	18956	18" steel center lose	1.00	12

AREA SUMMARY SCHEDULE					
AREA NAME	I/O	DIMENSIONS	LUNS / <ASMS>	WATTS / SQ FT	QTY
New Area	OUT	1032.13x622.28ft	CP1->(2) CP1-<(4) CP1R >(5) CP5 >(12)	0.01	1



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Sheet Title

LIGHTING PLAN (BY OTHERS)

Project No. 22-122-1-1

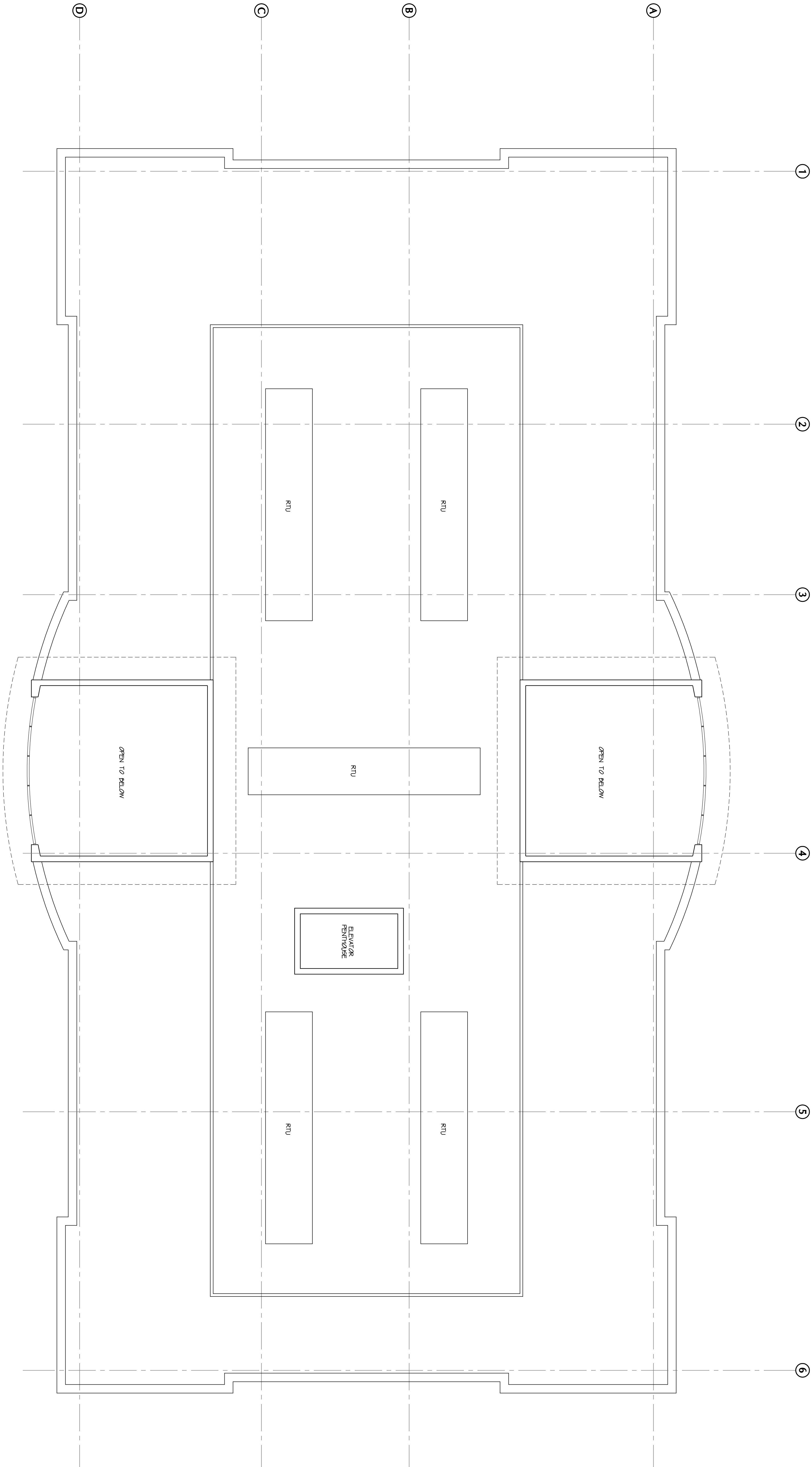
Scale AS NOTED

Sheet No. _____

File No. 08499.10

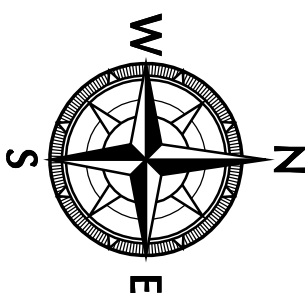
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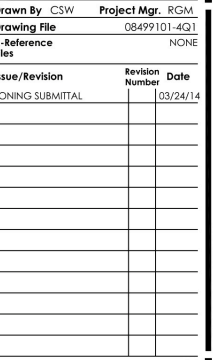
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CLERESTORY PLAN

1/8" = 1'-0"





SCALE: 1/8" = 1'-0"

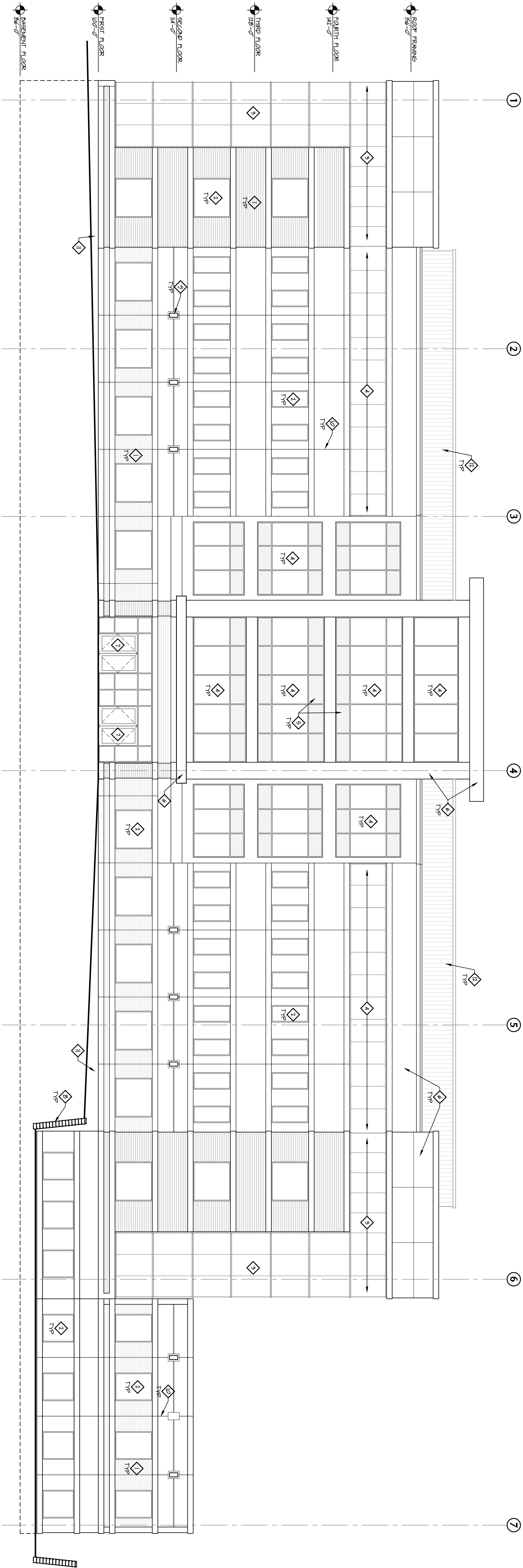


SCALE: $1/8" = 1'-0"$

- ① PRECAST CONCRETE PANELS WITH THIN BRICK VENEER
- ② FRONT GLAZED ALUMINUM STOREFRONT WINDOWS
- ③ STRUCTURAL SILICONE GLAZED ALUMINUM WINDOW SYSTEM
- ④ FRONT GLAZED ALUMINUM WINDOW WALL SYSTEM
- ⑤ SHAPED PORTION REPRESENTS SPANDREL PANELS
- ⑥ ALUMINUM COMPOSITE PANELS ON METAL FRAMING
- ⑦ ALUMINUM STOREFRONT ENTRANCE SYSTEM
- ⑧ SEGMENTED RETAINING WALL SYSTEM
- ⑨ LIGHT FIXTURE
- ⑩ JOINT BETWEEN PRECAST CONCRETE PANELS
- ⑪ EXPOSED CONCRETE FOUNDATION
- ⑫ HVAC SCREEN WALL - SEE CLERESTORY PLAN

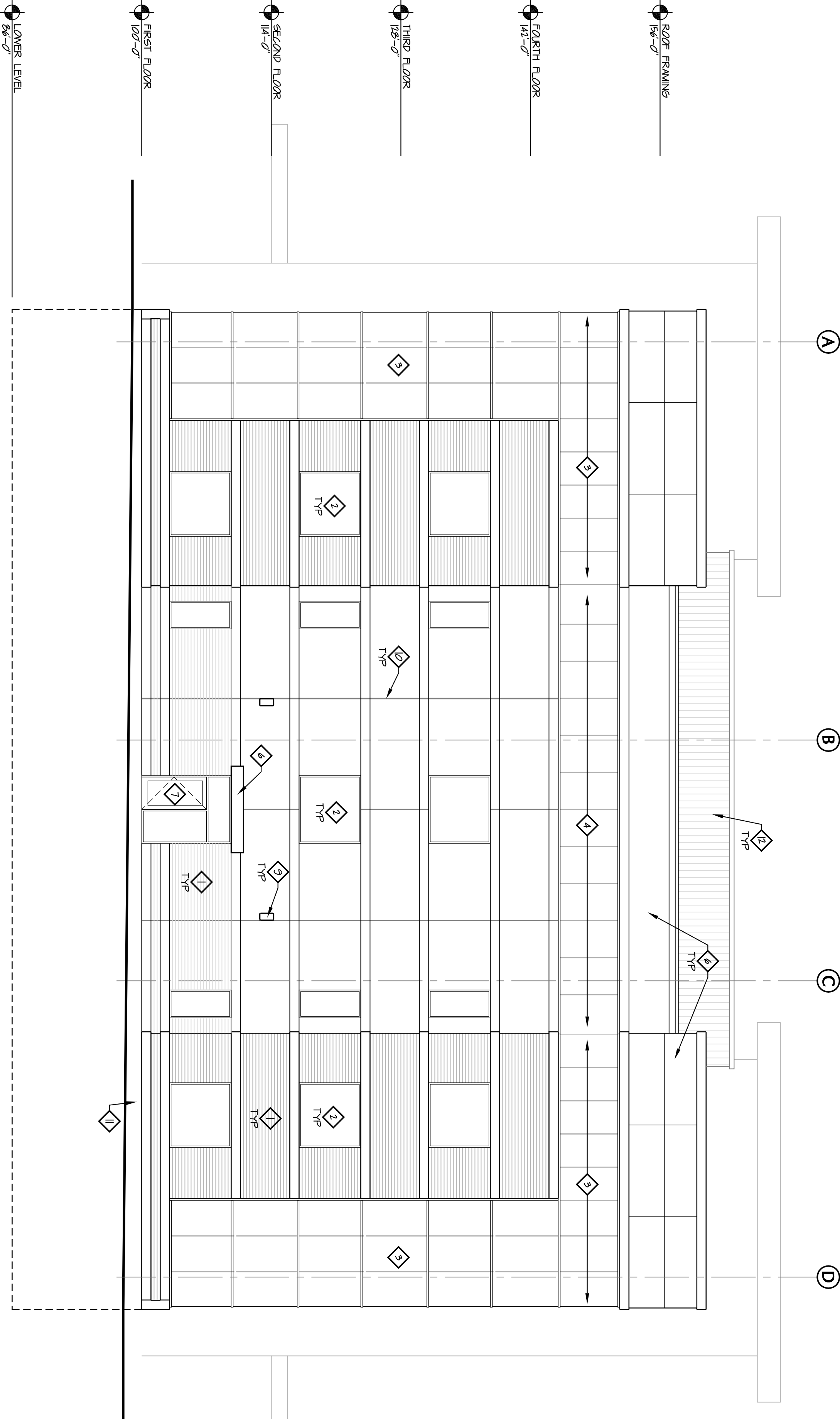
SCOTT STREET PARTNERS
NEW OFFICE BUILDING
8240 NORTHCREEK DRIVE - SYCAMORE TOWNSHIP
CINCINNATI, OHIO 45236

Project Title	
BUILDING ELEVATIONS	
Project No.	08499.10
Scale	AS NOTED
Sheet No.	A201
File No.	08499



SOUTH ELEVATION

SCALE 1/8" = 1'-0"



WEST ELEVATION

SCALE 1/8" = 1'-0"

DRAWING NOTES

- 1 PRECAST CONCRETE PANELS WITH THIN BRICK VENEER
- 2 FRONT GLAZED ALUMINUM STOREFRONT WINDOWS
- 3 STRUCTURAL SILICONE GLAZED ALUMINUM WINDOW SYSTEM
- 4 FRONT GLAZED ALUMINUM WINDOW WALL SYSTEM
- 5 SHAPED PORTION REPRESENTS SPANDREL PANELS
- 6 ALUMINUM COMPOSITE PANELS ON METAL FRAMING
- 7 ALUMINUM STOREFRONT ENTRANCE SYSTEM
- 8 SEGMENTED RETAINING WALL SYSTEM
- 9 LIGHT FIXTURE
- 10 JOINT BETWEEN PRECAST CONCRETE PANELS
- 11 DEPOSED CONCRETE FOUNDATION
- 12 HVAC SCREEN WALL - SEE GALLERY PLAN

SCOTT STREET PARTNERS
NEW OFFICE BUILDING

8240 NORTHCREEK DRIVE - SYCAMORE TOWNSHIP
CINCINNATI, OHIO 45236



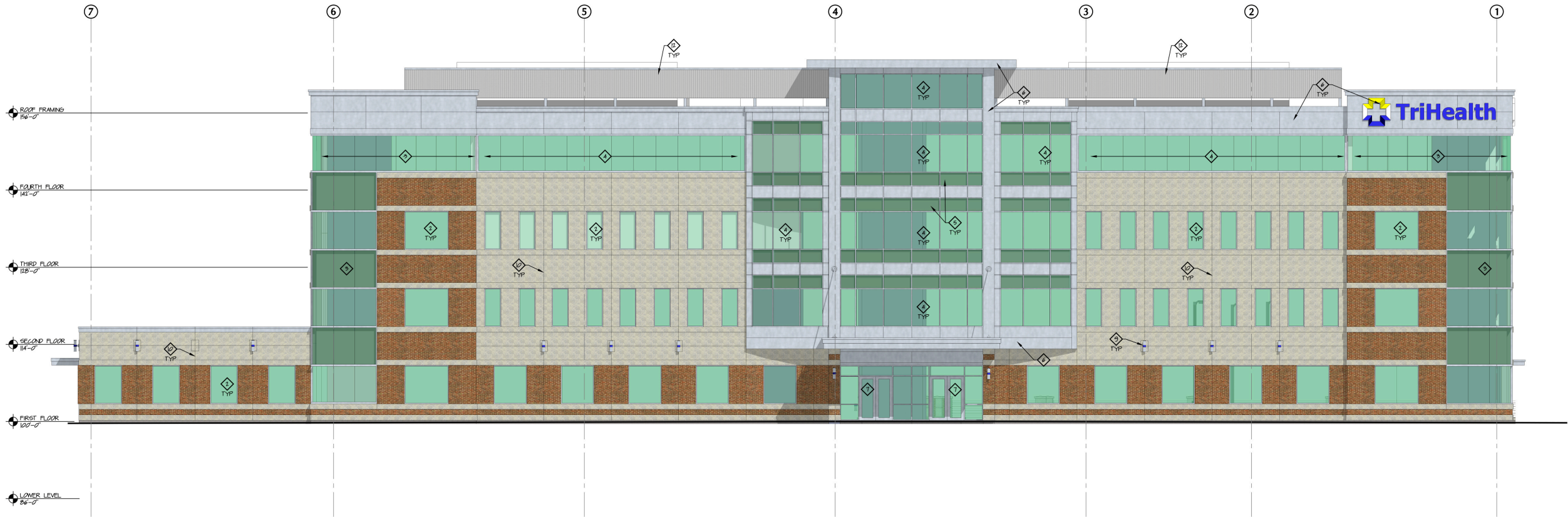
McGill Smith Punshon, Inc.
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Cincinnati, Ohio 45241-2097
Tel 513.759.0004 • Fax 513.563.7099
www.mcgillsmithpunshon.com
Engineers • Architects • Surveyors
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Drawn By: CSW	Project Mgr: RSM
Drawing File: 08499.10.A01	
X-Reference: NONE	
Issue/Revision: ZONING SUBMITTAL	Revision Number: 1
Revision Date: 03/24/14	

Sheet Title
BUILDING ELEVATIONS

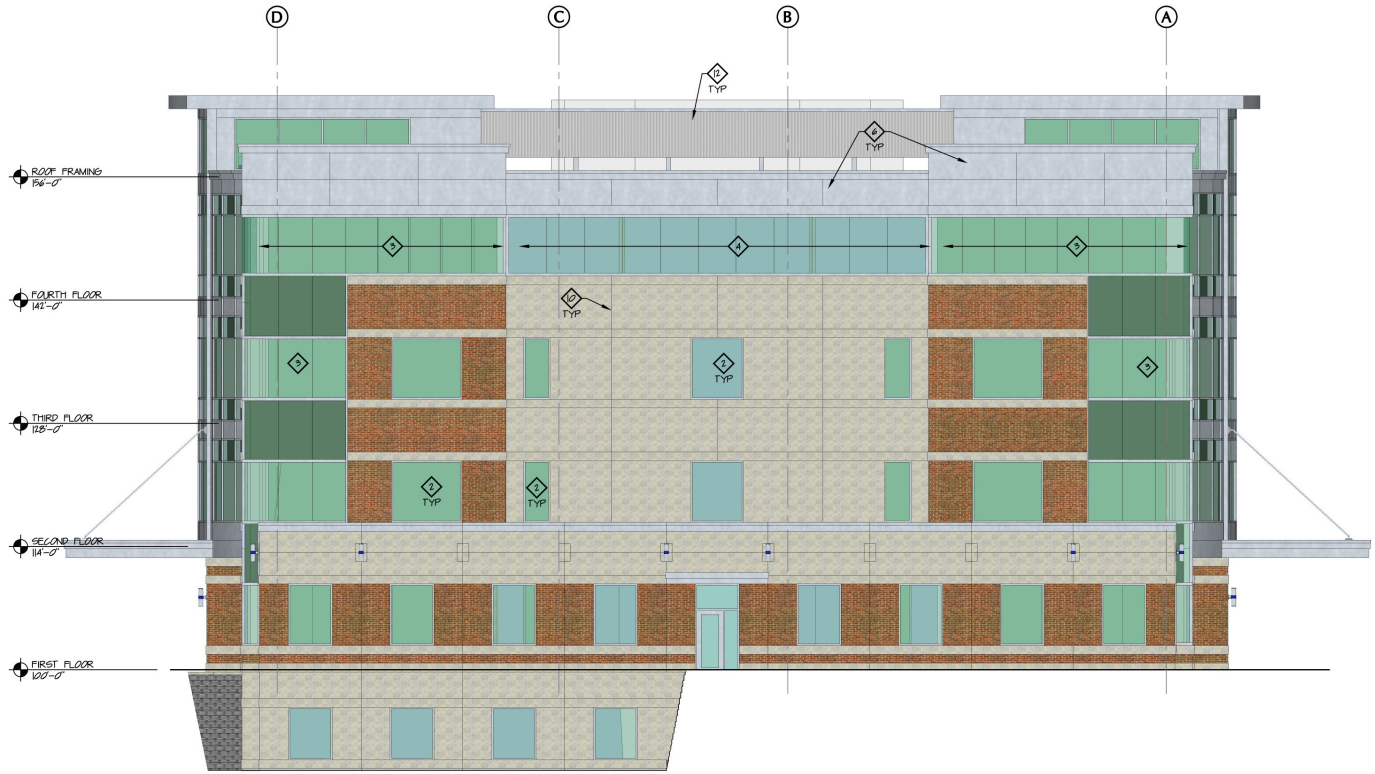
Project No.: 08499.10
Scale: AS NOTED
Sheet No.: A201
File No.: 08499

Issue/Revision	Revision Number	Date
ZONING SUBMITTAL		03/24/14



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



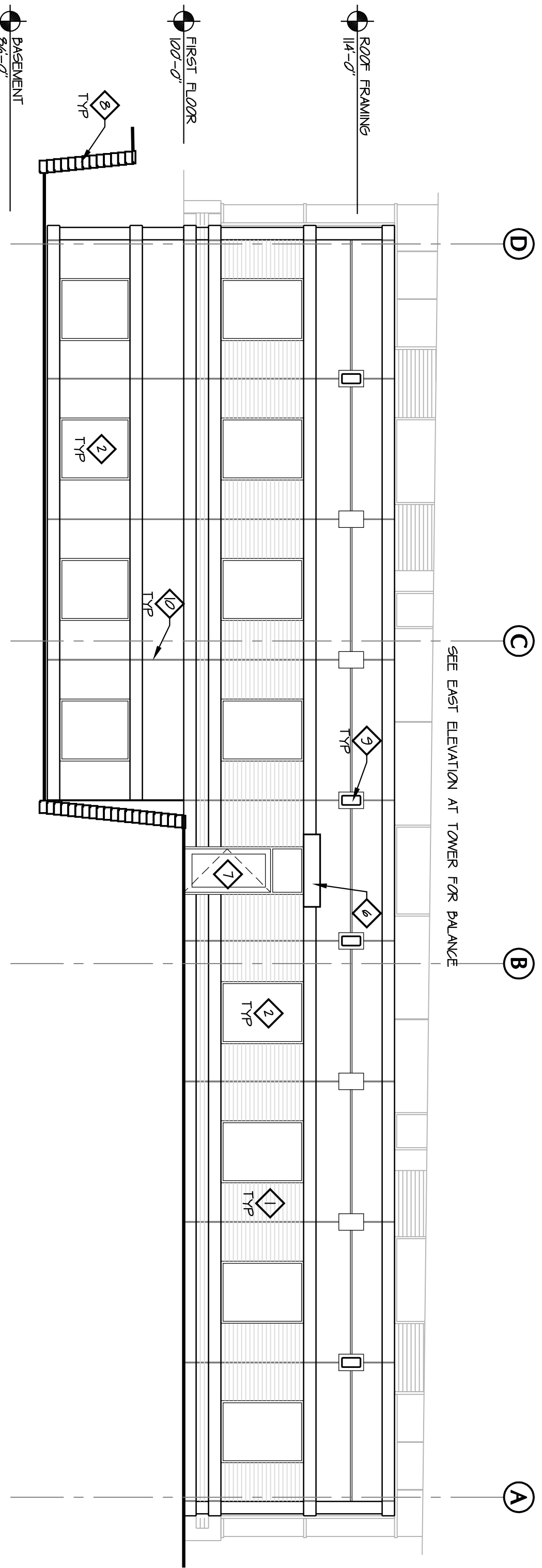
EAST ELEVATION AT TOWER

SCALE: 1/8" = 1'-0"

DRAWING NOTES

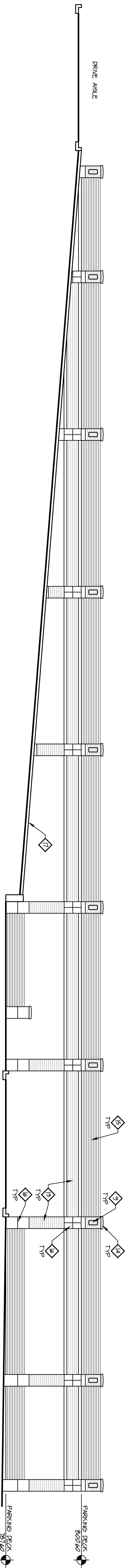
- 1 PRECAST CONCRETE PANELS WITH THIN BRICK VENEER
- 2 FRONT GLAZED ALUMINUM STOREFRONT WINDOWS
- 3 STRUCTURAL SILICONE GLAZED ALUMINUM WINDOW SYSTEM
- 4 FRONT GLAZED ALUMINUM WINDOW WALL SYSTEM
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SCOTT STREET PARTNERS
NEW OFFICE BUILDING
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CINCINNATI, OHIO 45236



EAST ELEVATION AT ONE STORY

SCALE: 1/8" = 1'-0"





Perspective View Looking North

Monument Sign at I-71
 With Department Identifications
 (Double Faced)

Scott Street Partners Office Building

Northcreek Drive
 Sycamore Township



Front Elevation

McGill Smith Punshon
 Project No. 08499.10



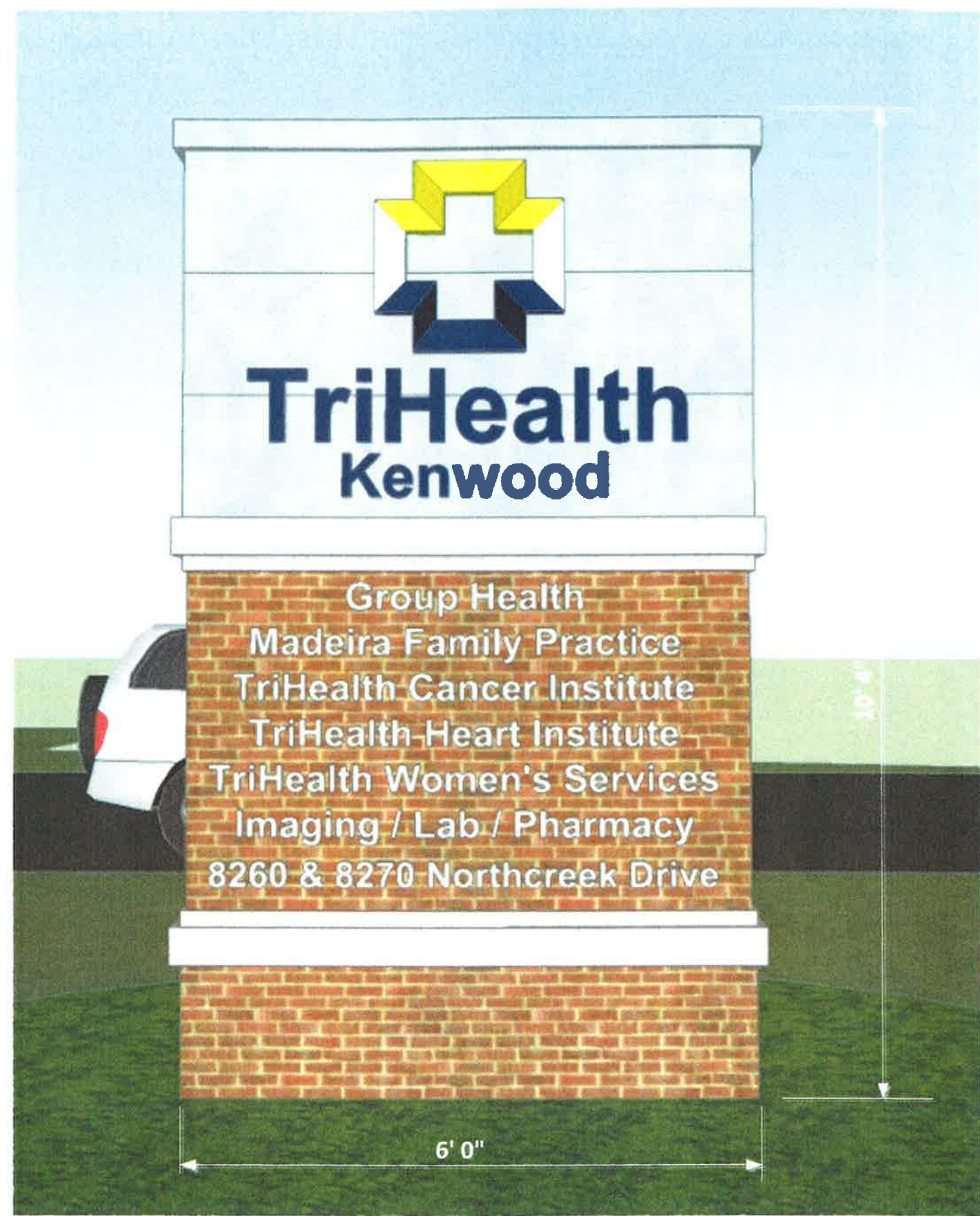
Perspective View Looking West

Ground Sign at Galbraith Road (Double Faced Sign)

Scott Street Partners Office Building

Northcreek Drive

Sycamore Township, Cincinnati, Ohio



Front Elevation

McGill Smith Punshon
Project No. 08499.10