

NO.	DOOR SIZE	MATL.	TYPE	FRAME	HARDWARE	FINISH
101A	EXISTING	EXIST.	EXIST.	EXIST.	EXISTING	A
101B	EXISTING	EXIST.	EXIST.	EXIST.	EXISTING	A
102A	EXISTING	EXIST.	EXIST.	EXIST.	EXISTING	A
102B	EXISTING	EXIST.	EXIST.	EXIST.	EXISTING	A
103	3'-0" x 7'-0" x 1 3/4"	SCID	A	I	PRL, F5	
104	3'-0" x 7'-0" x 1 3/4"	SCID	A	I	SL, F5	

**DOOR SCHEDULE LEGEND**

- EXIST - EXISTING
- F5 - FLOOR STOP, HALF DOME TYPE, IVES 2026, OR EQUAL
- HMF - HOLLOW METAL DOOR FRAME - 16 GA, KNOCKDOWN TYPE
- PRL - PRIVACY LOCKSET WITH HANDICAPPED ACCESSIBLE LEVER HANDLE - MATCH BUILDING'S EXISTING HARDWARE MANUFACTURER, TYPE, AND KEYING.
- SL - STOREROOM LOCKSET, CYLINDRICAL TYPE WITH HANDICAPPED ACCESSIBLE LEVER HANDLE, MATCH EXISTING BUILDING STANDARD, MANUFACTURER, AND KEYING SYSTEM.
- SCID - SOLID CORE WOOD DOOR WITH STAIN GRADE BIRCH VENEER FACES AND EDGES

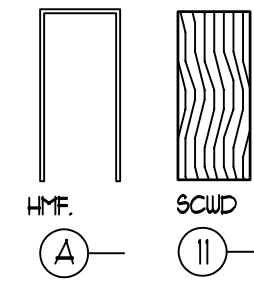
**NOTES:**

1. PROVIDE BUTTS, SILENCERS, AND OTHER ADDITIONAL HARDWARE AS NECESSARY FOR A COMPLETE AND PROPER INSTALLATION. REPLACE ALL EXISTING SILENCERS IN RELOCATED FRAMES.

2. ALL HARDWARE SHALL MATCH EXISTING BUILDING STANDARD UNLESS NOTED OTHERWISE.

**REMARKS:**

A. VERIFY DOOR HARDWARE IS READILY OPENABLE FROM THE EGRESSE SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.



**9 DOOR AND FRAME TYPES**  
SCALE: 1/8" = 1'-0"

NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CLG. HT.	REMARKS
				N	E	S	W			
101	SHOWROOM - SOUTH	LF	B-1	GP-1	ES	GP-1	ES	GP-1	E5	EX
102	SHOWROOM - NORTH	LF	B-1	GP-1	ES	GP-1	ES	GP-1	E5	EX
103	JANITOR CLOSET	LF	B-1	GP-1	GP-1	GP-1	GP-1	AT-1	8'-0"	
104	UNISEX	LF	B-1	GP-1	GP-1	GP-1	GP-1	AT-1	8'-0"	

**ROOM FINISH SCHEDULE LEGEND**

- AT-1 - ACOUSTICAL CEILING TILE, 2' x 4' x 5/8" WHITE LAY-IN WITH SQUARE EDGE PANELS.
- B-1 - RUBBER WALL BASE, 4" COVE TYPE, MANUFACTURER AND COLOR TO BE SELECTED.
- ES - EXTERIOR GLAZING
- E5 - EXPOSED STRUCTURE AND DECK, PAINT DRYFALL BLACK
- EX - EXISTING TO REMAIN
- GP-1 - PAINT GYPSUM WALL BOARD, ONE COAT WHITE LATEX PRIMER (NEW WALLS ONLY), AND TWO FINISH COATS EGG SHELL LATEX, MANUFACTURER AND COLOR TO BE SELECTED
- LF - FLOORING, TYPE, MANUFACTURER, STYLE AND, COLOR TO BE SELECTED

**NOTES:**

- INSTALL ALL FINISHES PER MANUFACTURER'S INSTRUCTIONS.
- CLEAN ALL EXISTING WALL FINISHES TO REMAIN.
- FINISH ALL WOOD DOORS IN TENANT SUITE WITH ONE COAT STAIN, ONE COAT SEALER, AND TWO COATS SATIN POLYURETHANE.

**PROJECT DEFINITION**

TENANT NAME: NADEAU FURNITURE  
 PROJECT DESCRIPTION: INTERIOR RENOVATION FOR TENANT SPACE  
 LOCATION: 7400 KENWOOD ROAD, CINCINNATI, OHIO 45236  
 PROJECT NUMBER: 215094  
 PRIMARY USE CLASS: TENANT: M - MERCANTILE  
 CONSTRUCTION TYPE: III-B NON-COMBUSTIBLE, UNPROTECTED  
 BUILDING HEIGHT: EXISTING  
 BUILDING AREA: EXISTING (NO CHANGE)  
 TENANT AREA: 4806 SF  
 ALLOWABLE AREA: M-MERCANTILE = 12,500 SF  
 NUMBER OF OCCUPANTS: 4806 SF / 30 SF = 160 OCCUPANTS (MERCANTILE OCC.)  
 SPRINKLERED: NOT SPRINKLERED  
 BUILDING CODE: OHIO BUILDING CODE, 2011 EDITION / ANSI 117.1-2009

**DRAWING INDEX**

**ARCHITECTURAL**

- A-1 GENERAL NOTES, PROJECT DEFINITION, PLANS & SCHEDULE
- A-2 EXTERIOR ELEVATIONS

**GENERAL NOTES**

- GENERAL:**
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, TOOLS, AND SERVICES TO PERFORM THE WORK.
  - THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
  - THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS. ALL PERMITS SHALL BE IN THE OWNER'S NAME.
  - THE CONTRACTOR SHALL ALLOW WORK BY OTHERS AND COORDINATE WORK AS NECESSARY WITH WORK BY OTHERS.
  - ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONSULT ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE FOUND IN EXISTING CONDITIONS.
  - THE CONTRACTOR SHALL STORE AND PROTECT ALL MATERIALS AS RECOMMENDED BY MANUFACTURER.
  - FINAL CLEAN UP SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

**DRAWINGS:**

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE FROM FACE OF STUDS OR MASONRY AT NEW CONSTRUCTION AND TO FINISHED FACE OF EXISTING CONSTRUCTION UNLESS INDICATED OTHERWISE.
- CONTACT THE ARCHITECT IMMEDIATELY IF THE DRAWINGS CONTAIN INSUFFICIENT OR CONFLICTING INFORMATION. DEVIATION FROM THESE DRAWINGS WITHOUT ARCHITECT APPROVAL SHALL NOT BE THE RESPONSIBILITY OF THE ARCHITECT.
- THE CONTRACTOR SHALL EXAMINE DRAWINGS OF WORK TO BE PERFORMED BY OTHERS FOR PURPOSES OF COORDINATING WORK WITH WORK BY OTHERS.

**DEMOLITION:**

- REMOVE EXISTING PARTITIONS FINISHES FROM PROPOSED TENANT SUITE AS NECESSARY FOR NEW CONSTRUCTION. DISPOSE OF ALL SUCH MATERIAL PROPERLY.
- REMOVE ALL UNNECESSARY ELECTRICAL WIRING BACK TO PANEL. COORDINATE REMOVAL OF DEBRIS WITH OWNER PRIOR TO DEMOLITION.
- REMOVE AND STORE MATERIALS IN GOOD CONDITION FOR REUSE. TURN OVER EXCESS OF SUCH MATERIALS TO BUILDING OWNER FOR FUTURE USE.
- CONSULT BUILDING OWNER IF UNSURE AS TO DISPOSAL OF ANY MATERIALS TO BE DEMOLISHED OR REMOVED.

**CONSTRUCTION AND SAFETY:**

- CONTRACTOR SHALL BRACE CONSTRUCTION AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY CONTRACTOR.
- THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. WHEN ON SITE, THE ARCHITECT IS RESPONSIBLE FOR HIS OWN SAFETY BUT HAS NO RESPONSIBILITY FOR THE SAFETY OF THE CONTRACTOR'S PERSONNEL OR SAFETY CONDITIONS.

**PARTITION CONSTRUCTION:**

- PROVIDE AND INSTALL FRAMING MATERIALS IN SIZES AND GAUGES AS INDICATED ON DRAWINGS.
- ALL FRAMING SHALL BE BY DIETRICH INDUSTRIES OR EQUAL.
- ALL METAL STUDS AND TRACK TO BE GALVANIZED PER ASTM 515.
- FASTENING OF COMPONENTS SHALL BE WITH SELF-TAPPING SCREWS.
- GYPSUM BOARD SHALL BE PROVIDED IN THICKNESS AS INDICATED ON DRAWINGS WITH TAPERED EDGES. APPLY BOARD VERTICALLY WITH SCREWS AT 8" O.C. AT EDGES AND 12" IN FIELD OF SHEETS. DO NOT BUTT TAPERED AND REGULAR EDGES. USE GALVANIZED METAL CORNER AND EDGE BEADS UNLESS NOTED OTHERWISE.
- ALL CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED. PROVIDE BLOCKING IN PARTITIONS TO RECEIVE CABINETS, ACCESSORIES OR SHELVING AS NECESSARY FOR PROPER ATTACHMENT.
- REPAIR ALL EXISTING PARTITIONS AS REQUIRED FOR PROPER FINISH. PATCH ALL DENTS, HOLES, ETC. REMOVE PICTURE HANGERS, FASTENERS, ETC. WHEN WALL COVERING IS REMOVED, SKIM COAT AND SAND FOR SMOOTH FINISH AS REQUIRED.

**HVAC SYSTEMS**

- THE HVAC CONTRACTOR SHALL DESIGN AND MODIFY THE EXISTING HVAC SYSTEMS IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- THE HVAC CONTRACTOR SHALL PROVIDE ANY AND ALL DRAWINGS AND CALCULATIONS NECESSARY TO OBTAIN MECHANICAL PERMITS. DRAWINGS SHALL BE PREPARED AND STAMPED BY AN ENGINEER LICENSED IN OHIO.
- THE HVAC CONTRACTOR MUST SUBMIT SYSTEM DESIGN DRAWINGS AND INFORMATION TO OWNER FOR APPROVAL. OWNER APPROVAL MUST BE OBTAINED IN WRITING PRIOR TO ORDERING OF EQUIPMENT.
- ALL THERMOSTATS TO MATCH EXISTING TYPE AND BE MOUNTED AT 54" AFF.
- COORDINATE LAYOUT OF DIFFUSERS AND RETURNS WITH REFLECTED CEILING PLAN.
- REUSE EXISTING DIFFUSERS AND RETURN GRILLS WHENEVER POSSIBLE. CLEAN ALL EXISTING FIXTURES AND REPAIR EXISTING MATERIALS AS NECESSARY IN AREA OF WORK.

**ELECTRICAL SYSTEMS:**

- ELECTRICAL CONTRACTOR SHALL DESIGN AND MODIFY EXISTING ELECTRICAL SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ANY AND ALL DRAWINGS OR CALCULATIONS NECESSARY TO OBTAIN ELECTRICAL PERMITS. DRAWINGS SHALL BE PREPARED AND STAMPED BY AN ENGINEER LICENSED IN OHIO.
- ELECTRICAL CONTRACTOR MUST SUBMIT ELECTRICAL SYSTEM DESIGN DRAWINGS AND CALCULATIONS TO OWNER FOR APPROVAL. OWNER APPROVAL MUST BE OBTAINED BEFORE BEGINNING WORK.
- ELECTRICAL SYSTEM SHALL INCLUDE LIGHTING AND POWER DISTRIBUTION AS ON DRAWINGS AND ADDITIONAL WORK AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. COORDINATE ELECTRICAL REQUIREMENTS NECESSARY FOR CARD READERS AND / OR MODULAR FURNITURE WITH TENANT. COORDINATE ELECTRICAL NECESSARY FOR WATER HEATER WITH PLUMBING CONTRACTOR.
- ALL OUTLETS TO BE MOUNTED AT 18" AFF, SWITCHES AT 48" AFF, DEVICES AND COVERS. PROVIDE JUNCTION BOX AND PULL CORDS ONLY AT TELEPHONE AND DATA OUTLETS. PHONE AND DATA WIRING SHALL BE BY TENANT.

**FIRE EXTINGUISHERS:**

- TENANT TO PROVIDE 10 lb. ABC TYPE FIRE EXTINGUISHER, WALL MOUNTED IN LOCATIONS SHOWN ON FLOOR PLAN. EXTINGUISHERS MUST MEET ALL LOCAL FIRE DEPARTMENT REQUIREMENTS. MOUNTING HEIGHT SHALL BE AT 48" AFF.

**FINISH REQUIREMENTS**

- INSTALL ALL FINISHES PER MANUFACTURER'S INSTRUCTIONS.
- ALL FINISHES ARE TO MEET THE FOLLOWING MATERIAL CLASSIFICATION REQUIREMENTS:

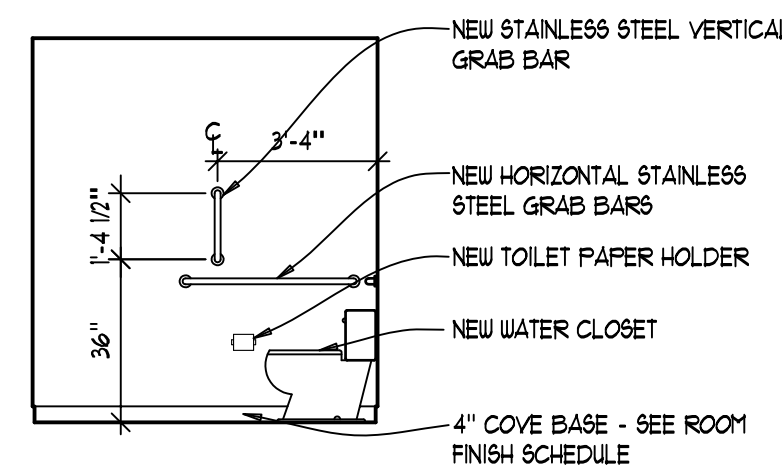
FLOORS	CLASS II - DOC FF-1 (FILL TEST)		
	EXIT ENCLOSURES AND EXIT PASSAGEWAYS	CORRIDORS	ROOMS OR ENCLOSED SPACES
WALLS AND CEILING (NON-SPRINKLERED)	CLASS A	CLASS B	CLASS C

CLASS A: FLAME SPREAD = 0-75 / SMOKE-DEVELOPED 0-450  
 CLASS B: FLAME SPREAD = 26-75 / SMOKE-DEVELOPED 0-450  
 CLASS C: FLAME SPREAD = 76-200 / SMOKE-DEVELOPED 0-450

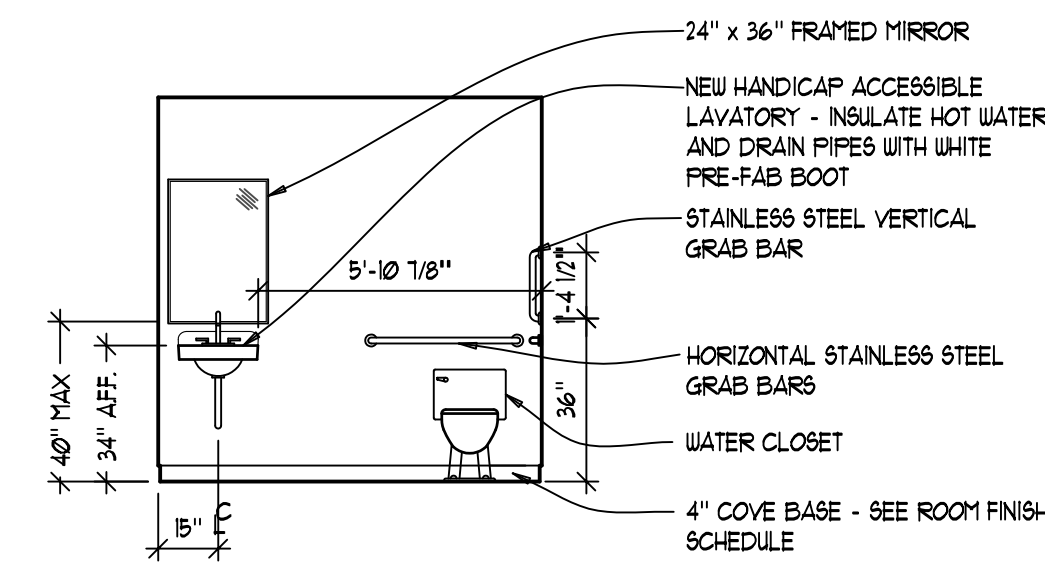


**1 VICINITY MAP**  
NOT TO SCALE

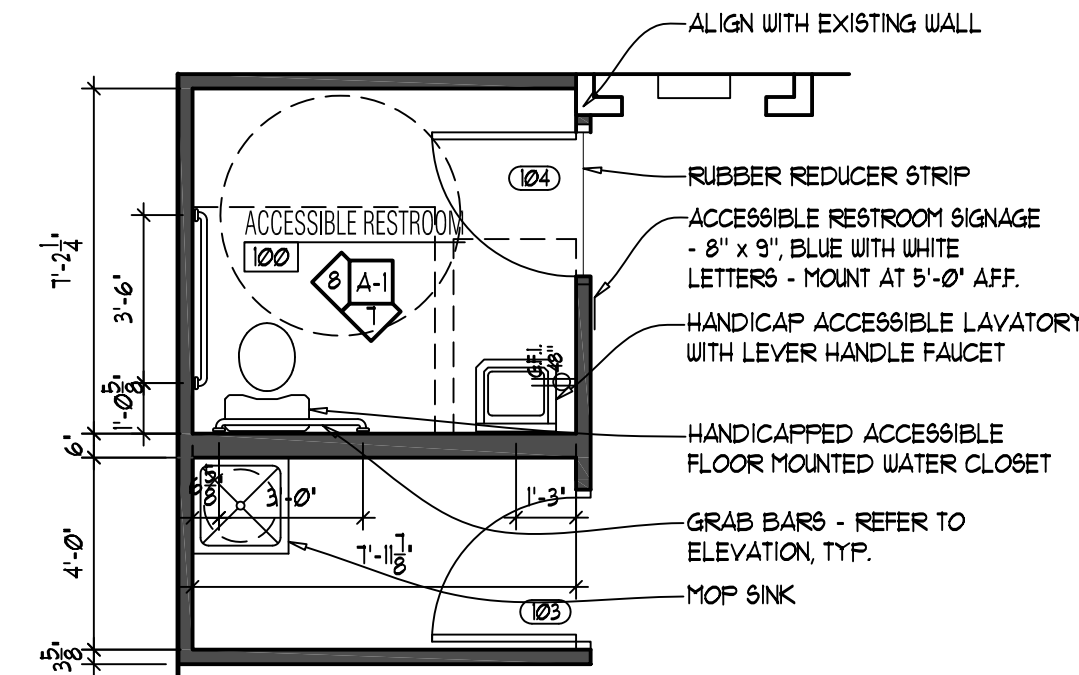
**8 RESTROOM ELEVATION**  
SCALE: 1 1/2" = 1'-0"



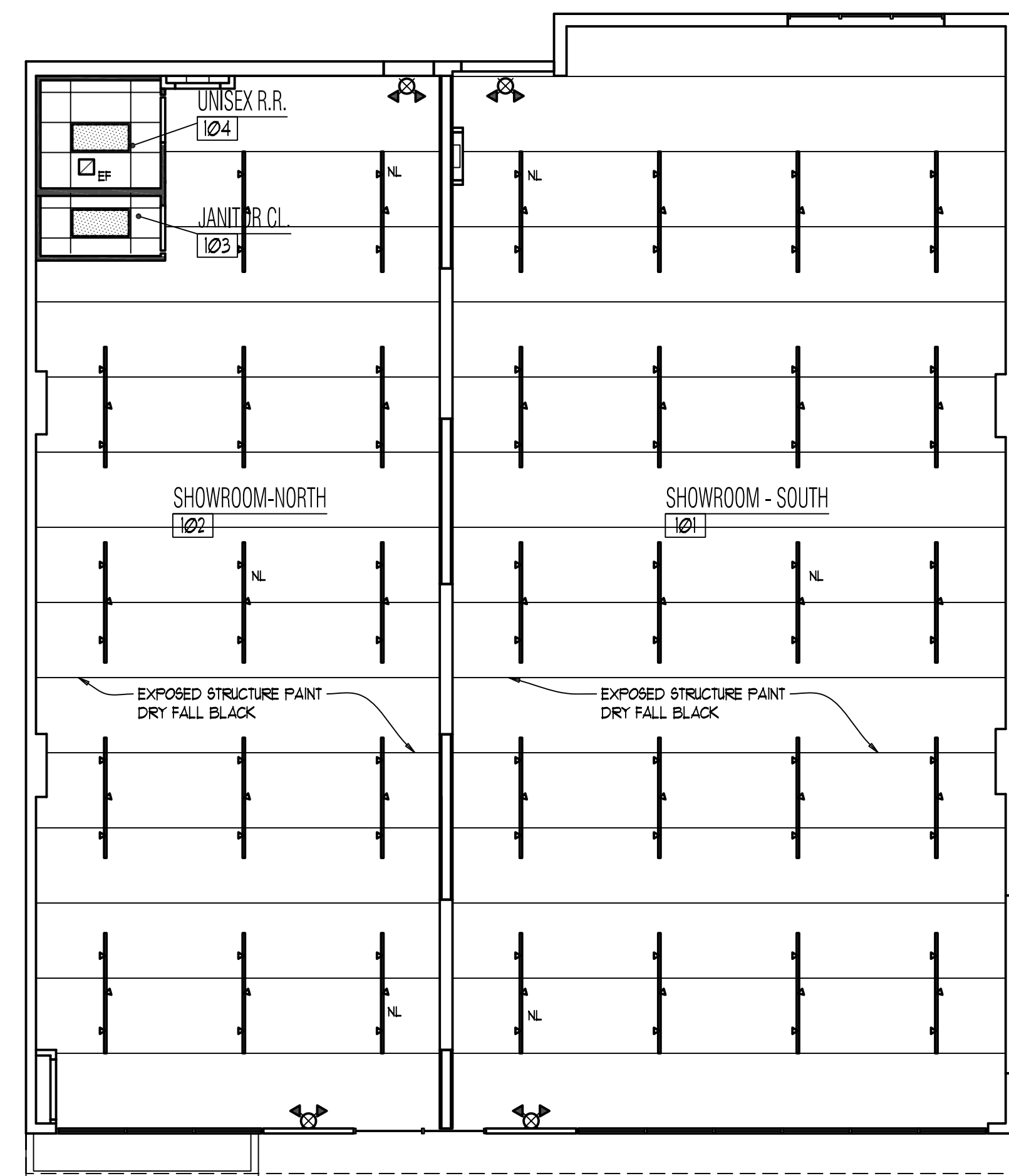
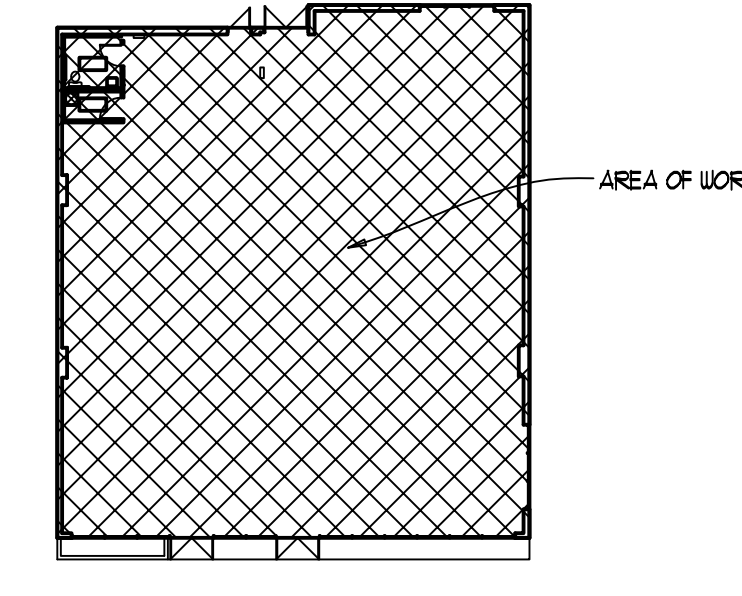
**7 RESTROOM ELEVATION**  
SCALE: 1 1/2" = 1'-0"



**6 RESTROOM PLAN**  
SCALE: 1/4" = 1'-0"



**2 KEY PLAN**  
NOT TO SCALE



**4 REFLECTED CEILING PLAN**  
SCALE: 1/8" = 1'-0"

**5 PARTITION TYPES**  
SCALE: 1 1/2" = 1'-0"

**REFLECTED CEILING PLAN LEGEND**

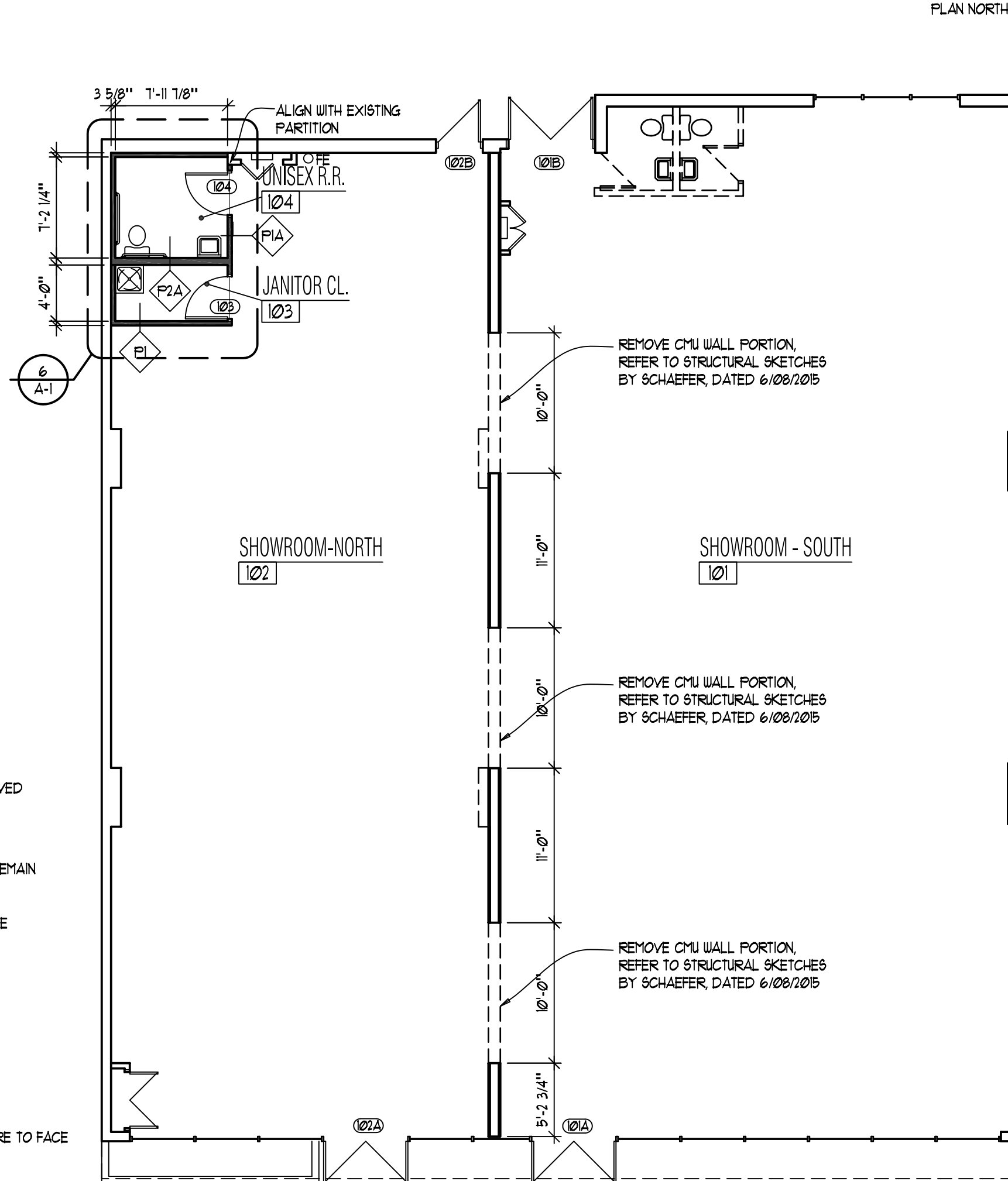
- 2' x 4' RECESSED FLUORESCENT FIXTURE WITH PRISMATIC LENS
- NL NIGHT LIGHT FIXTURE WITH BATTERY BACK-UP - VERIFY EXISTING IN FIELD, RELOCATE AS REQUIRED.
- EXIT SIGN AND EMERGENCY LIGHTS WITH BATTERY BACK-UP
- NEW TRACK LIGHTING FIXTURE WITH LED HEADS
- EXISTING CEILING MOUNTED EXHAUST FAN
- INDICATES CEILING HEIGHT

**FLOOR PLAN LEGEND**

- EXISTING PARTITION
- EXISTING PARTITION TO BE REMOVED
- NEW PARTITION
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- DOOR NUMBER
- PARTITION TYPE
- INDICATES A FIRE EXTINGUISHER

- NOTE:** ELECTRICAL CONTRACTOR TO VERIFY EXISTING NIGHT LIGHT OR PROVIDE NIGHT LIGHT PER APPLICABLE CODE.
- ELECTRICAL AND MECHANICAL PLANS TO BE SUBMITTED SEPARATELY BY OTHERS.**
- GENERAL NOTES:**
- ALL DIMENSIONS AT NEW CONSTRUCTION ARE TO FACE OF METAL STUDS, UNLESS NOTED OTHERWISE.
  - ALL DIMENSIONS AT EXISTING CONSTRUCTION ARE TO FACE OF FINISH, UNLESS NOTED OTHERWISE.
  - VERIFY FINAL REQUIREMENTS WITH TENANT PRIOR TO INSTALLATION.

**3 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



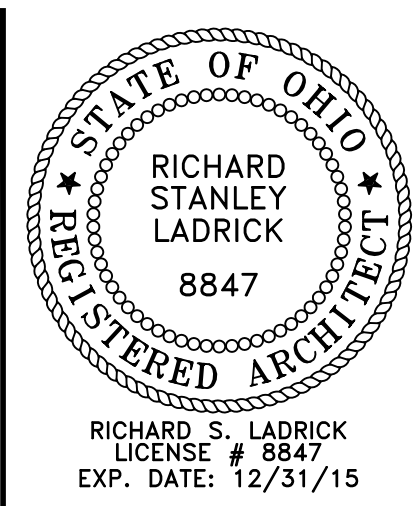
COMMERCIAL ARCHITECTURE  
 R S L

Major PUD Modification For:  
**Kenwood Plaza 2**

DRAWN BY: JPP  
 ISSUE DATE: 07/20/15  
 REVISIONS:

GENERAL NOTES  
 PROJECT DEFINITION  
 PLANS & SCHEDULE

**A-1**  
 PROJECT #: 215094



8927 Rossash Road  
 Cincinnati, OH 45236  
 513-891-9950 PHONE  
 513-891-9951 FAX  
 www.rslarch.com

7400 Kenwood Road  
 Cincinnati, OH 45236





RICHARD S. LADRICK  
 LICENSE # 8847  
 EXP. DATE: 12/31/15

R  
S  
L  
A  
R  
C  
H  
I  
T  
E  
C  
T  
U  
R  
E

8927 Rossash Road  
 Cincinnati, OH 45236  
 513-891-9950 PHONE  
 513-891-9951 FAX

www.rslarch.com

Major PUD Modification For:  
**Kenwood Plaza 2**

7400 Kenwood Road  
 Cincinnati, OH 45236

DRAWN BY: JPP/RSL

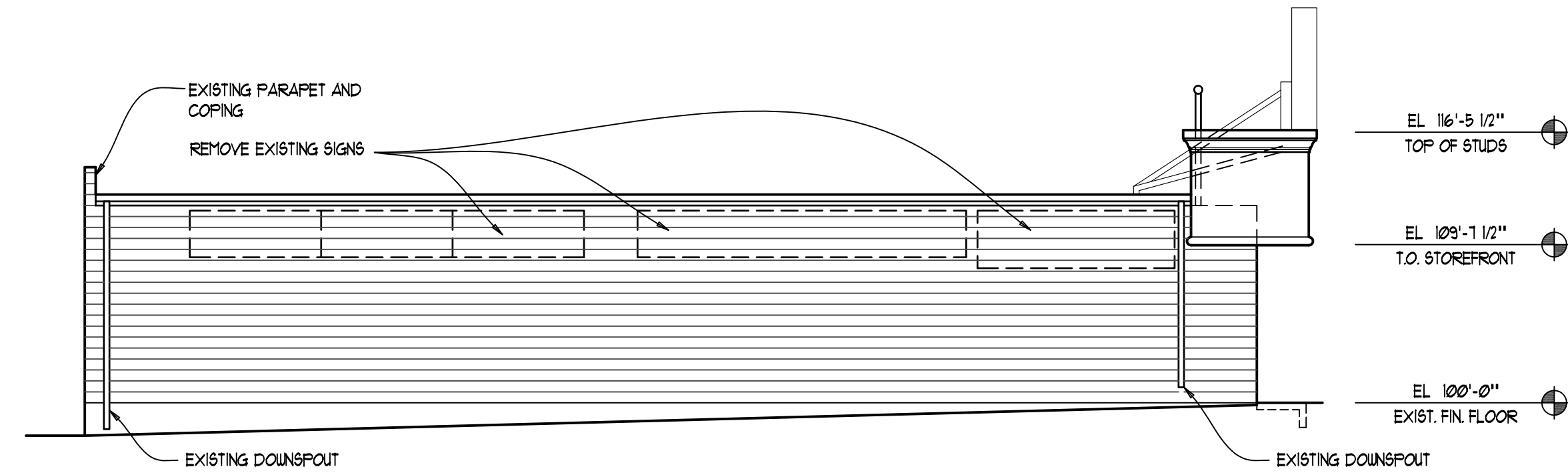
ISSUE DATE: 07/20/15

REVISIONS:

EXTERIOR ELEVATIONS

**A-2**

PROJECT #: 215094



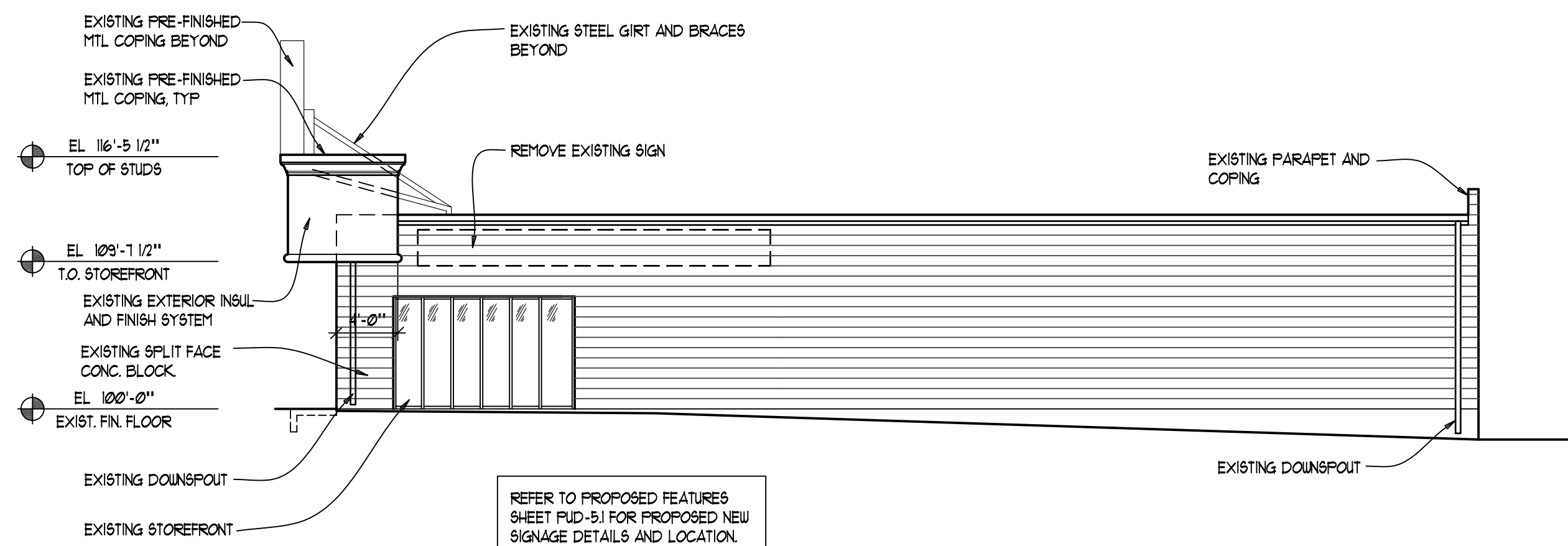
REFER TO PROPOSED FEATURES SHEET PUD-5J FOR PROPOSED NEW SIGNAGE DETAILS AND LOCATION.

**3** EXISTING / PROPOSED NORTH ELEV  
 SCALE: 1/8" = 1'-0"



REFER TO PROPOSED FEATURES SHEET PUD-5J FOR PROPOSED NEW SIGNAGE DETAILS AND LOCATION.

**2** EXISTING / PROPOSED WEST ELEV  
 SCALE: 1/8" = 1'-0"



REFER TO PROPOSED FEATURES SHEET PUD-5J FOR PROPOSED NEW SIGNAGE DETAILS AND LOCATION.

**1** EXISTING / PROPOSED SOUTH ELEV  
 SCALE: 1/8" = 1'-0"