

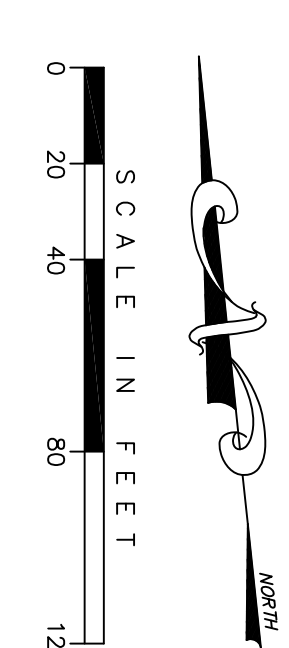
OWNER
 HILLS LAND & DEVELOPMENT COMPANY
 4901 HUNT ROAD
 CINCINNATI, OHIO 45242
 (513) 984-0300

APPLICANT
 GUTTMAN PROPERTIES
 9545 KENWOOD ROAD, SUITE 402
 CINCINNATI, OHIO 45242
 CONTACT: CHRIS OPPERK LONGWELL
 (513) 472-11400

- INDEX OF SHEETS**
- C100 ZONING PLAN
 - C201 EXISTING FEATURES PLAN & SIGNAGE
 - C301 PROPOSED PARKING PLAN & SIGNAGE
 - C501 PRELIMINARY GRADING PLAN
 - L100 PROPOSED PLANTING PLAN
 - P100 PROPOSED PLANTING PLAN (BY OTHERS)
 - A100 ARCHITECTURAL SITE PLAN (BY OTHERS)
 - A201 FLOOR PLANS (BY OTHERS)
 - A301 OVERALL ELEVATIONS (BY OTHERS)
 - A401 BUILDING SECTIONS (BY OTHERS)

GENERAL NOTES

- BOUNDARY PER DEEDS & SURVEYS OF RECORD
- EXISTING ZONING: B - SINGLE FAMILY
- PROPOSED ZONE: OO - OFFICE DISTRICT
- GROSS AREA OF PROPOSED REZONE: 2.7509 ACRES
- AREA IN RIGHT-OF-WAY: 0.2227 ACRES
- NET AREA OF PROPOSED REZONE: 2.5282 ACRES
- RIGHTS-OF-WAY SHOWN ARE TO BE PUBLIC.
- PROPOSED LAND USE: OFFICE & OFFICE MEDICAL BUILDINGS



PROPOSED ZONE CHANGE
8300
KENWOOD
 SECTION 8, TOWN 4, ENTIRE RANGE 1
 SYCAMORE TOWNSHIP
 HAMILTON COUNTY, OHIO

Sheet Title	ZONING PLAT
Project No.	05457.02
Scale	1"=40'
Sheet No.	C100
File No.	05-457



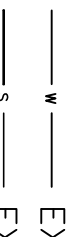

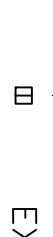



McGill Smith Purshon, Inc.
 3700 Park 42 Drive • Suite 1908
 Cincinnati, Ohio 45241 • 2097
 Tel 513.759.0004 • Fax 513.583.7099
 www.mcgillsmithpurshon.com
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 Landscape Architects • Planners

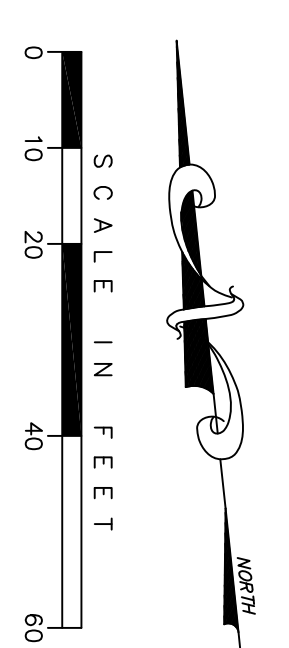
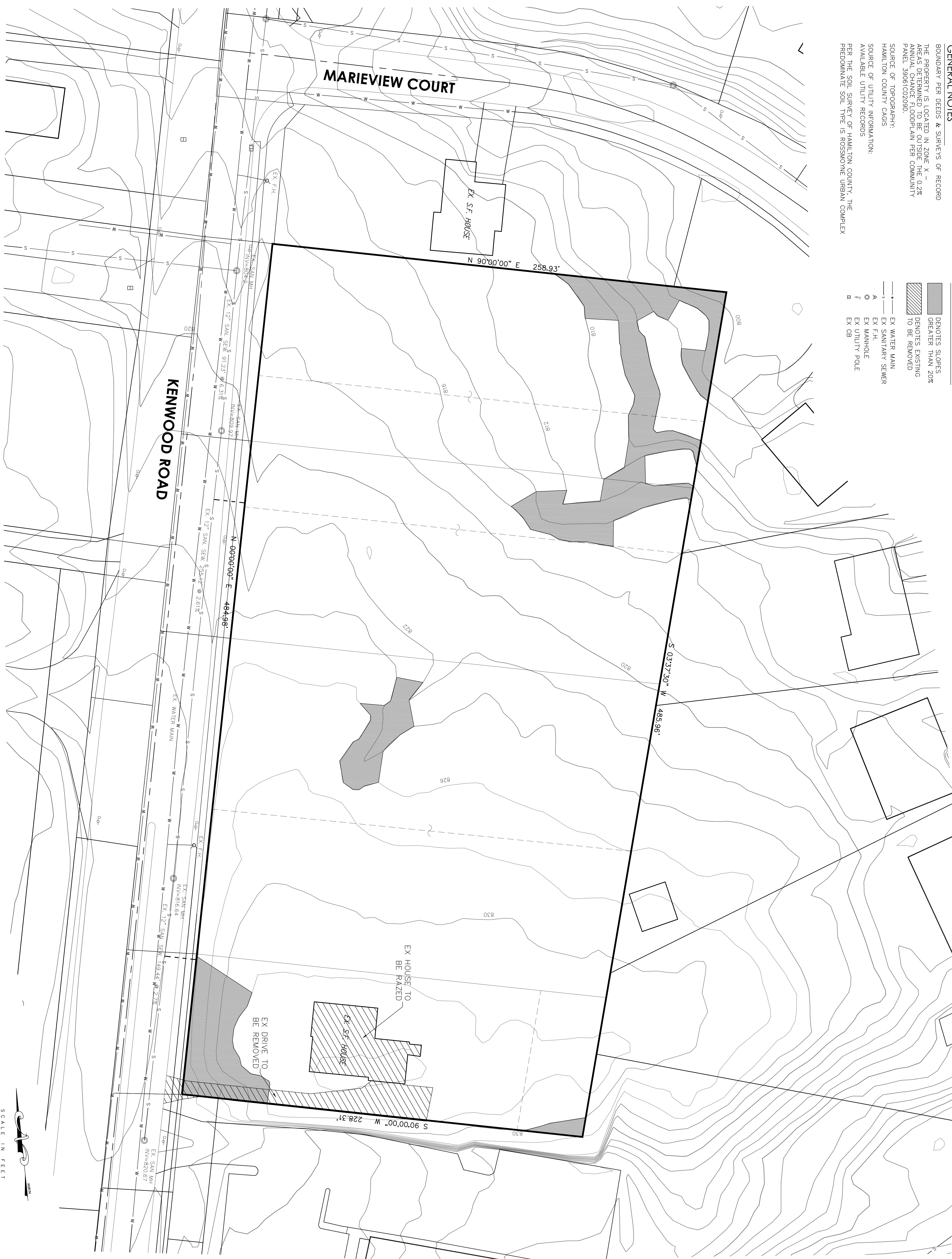
Drawn by: AID Project Mgr: D.S.
 Drawing No: 05457004-BAS-00
 Reference: 05457004-BAS-00
 Date: 09/28/16
 No. Revisions/Issue: By: Date

GENERAL NOTES

BOUNDARY PER DEEDS & SURVEYS OF RECORD
 THE PROPERTY IS LOCATED IN ZONE X -
 AREAS DETERMINED TO BE OUTSIDE THE 0.2%
 ANNUAL CHANCE FLOODPLAIN PER COMMUNITY
 PANEL 3906100209D.
 SOURCE OF TOPOGRAPHY:
 HAMILTON COUNTY OGIS
 SOURCE OF UTILITY INFORMATION:
 AVAILABLE UTILITY RECORDS
 PER THE SOIL SURVEY OF HAMILTON COUNTY, THE
 PREDOMINANT SOIL TYPE IS ROSSMORNE URBAN COMPLEX

LEGEND

-  DENOTES SLOPES GREATER THAN 20%
-  DENOTES EXISTING TO BE REMOVED
-  EX WATER MAIN
-  EX SANITARY SEWER
-  EX F.H.
-  EX MANHOLE
-  EX UTILITY POLE
-  EX CB

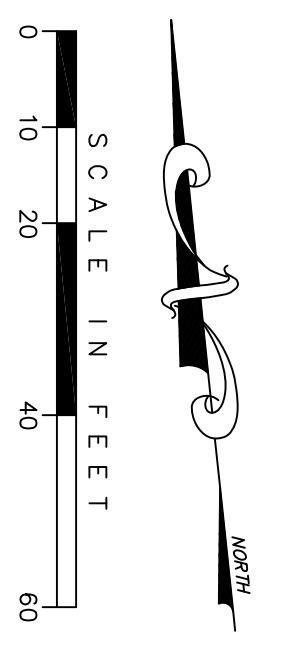


PROPOSED ZONE CHANGE
8300
KENWOOD
 SECTION 8, TOWN 4, ENTIRE RANGE 1
 SYCAMORE TOWNSHIP
 HAMILTON COUNTY, OHIO

Sheet Title	EXISTING FEATURES PLAN
Project No.	05457.02
Scale	1"=20'
Sheet No.	C201
File No.	05-457

MS&P
McGill Smith Punsion, Inc.
 3700 Peck 42 Drive • Suite 1708
 Cincinnati, Ohio 45241-2097
 Tel 513.759.0004 • Fax 513.563.7099
 www.mcgp.com
 Engineers • Architects • Surveyors
 Landscape Architects • Planners

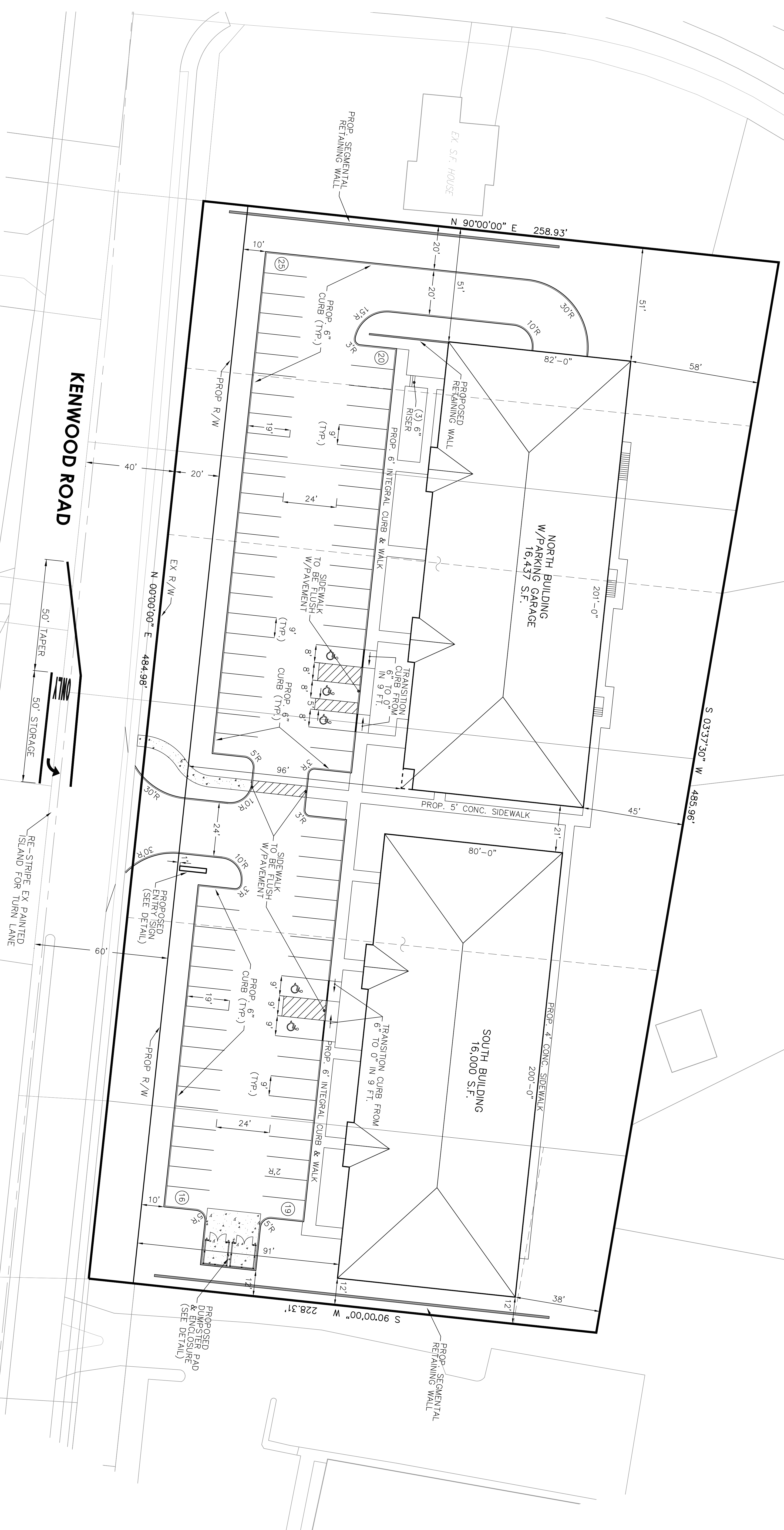
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Drawing File	05457004-BA5-00		
Reference	05457004-BA5-00		
Date	09/28/16		
No. Revisions/Issue			



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Drawn By	AJD	Project Mgr.	DAS
Drawing File	05457004-BA5-00	Reference	05457024-ZCH-00
Date	09/28/16	By	Done
No. Revisions/Issue			

PROPOSED ZONE CHANGE
8300
KENWOOD
 SECTION 8, TOWN 4, ENTIRE RANGE 1
 SYCAMORE TOWNSHIP
 HAMILTON COUNTY, OHIO

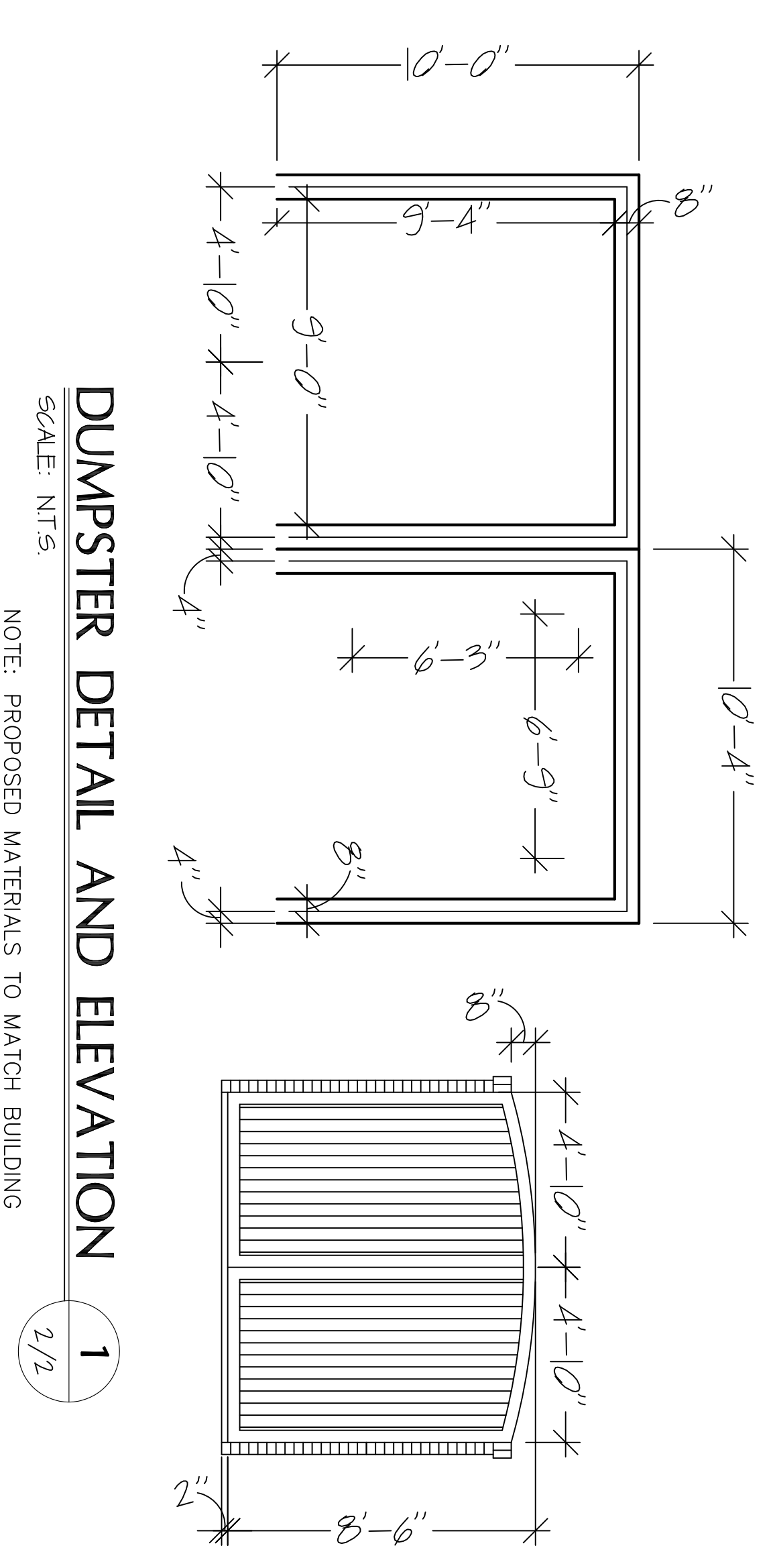
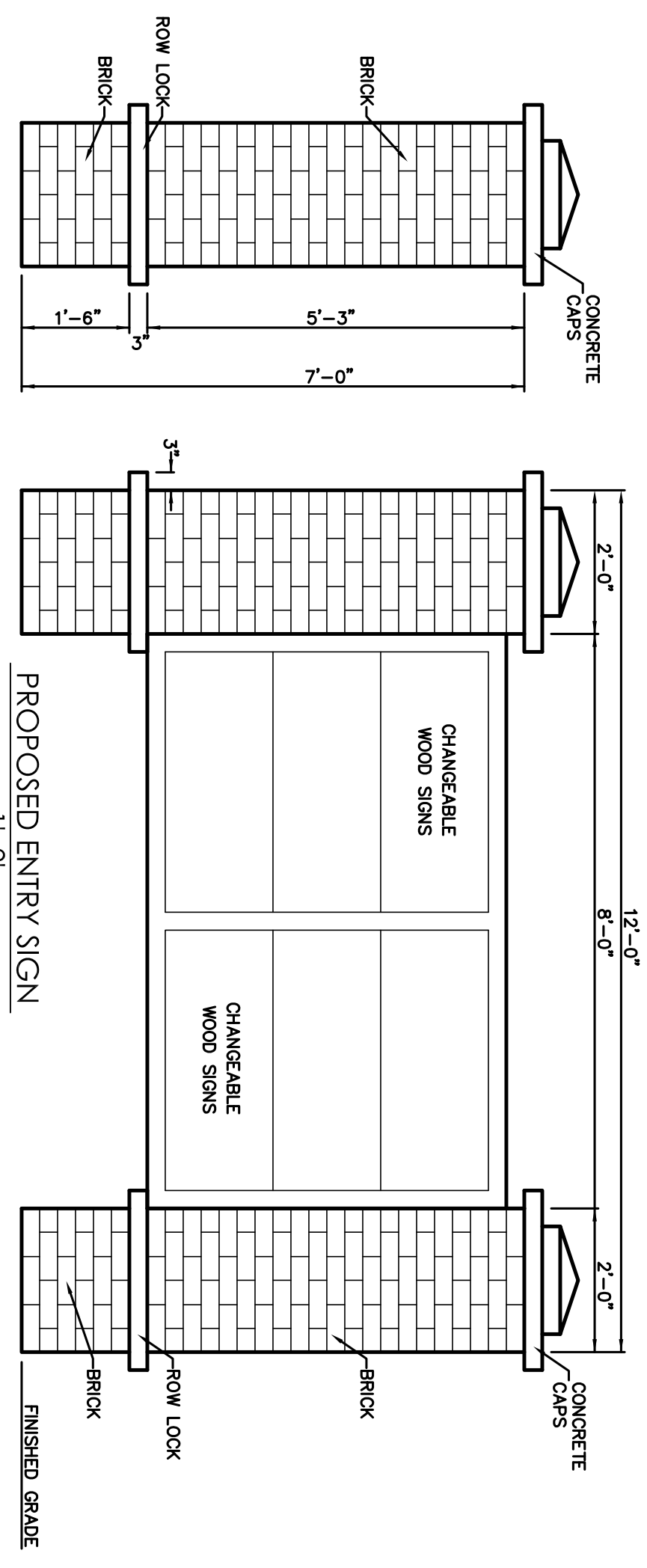


GENERAL NOTES
 ALL DIMENSIONS SHOWN TO FACE OF CURB, UNLESS OTHERWISE SPECIFIED.
 RIGHTS-OF-WAY SHOWN ARE TO BE PUBLIC.
 PROPOSED LAND USE: OFFICE/MEDICAL OFFICE & CLINIC

SITE DATA
 GROSS AREA OF PROPOSED REZONE: 2.7509 ACRES
 AREA IN RIGHT-OF-WAY: 0.2227 ACRES
 NET AREA OF PROPOSED REZONE: 2.5282 ACRES
 PROPOSED IMPERVIOUS SURFACE AREA: 1.5293 ACRES
 IMPERVIOUS SURFACE RATIO: 60.5%

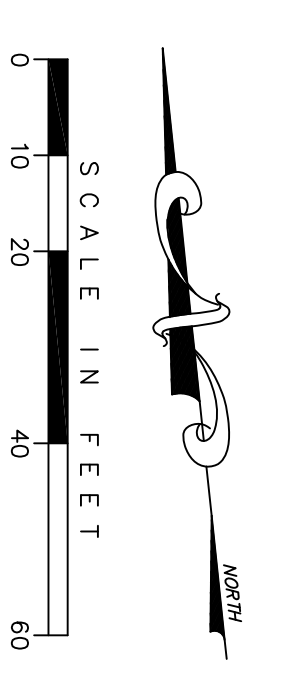
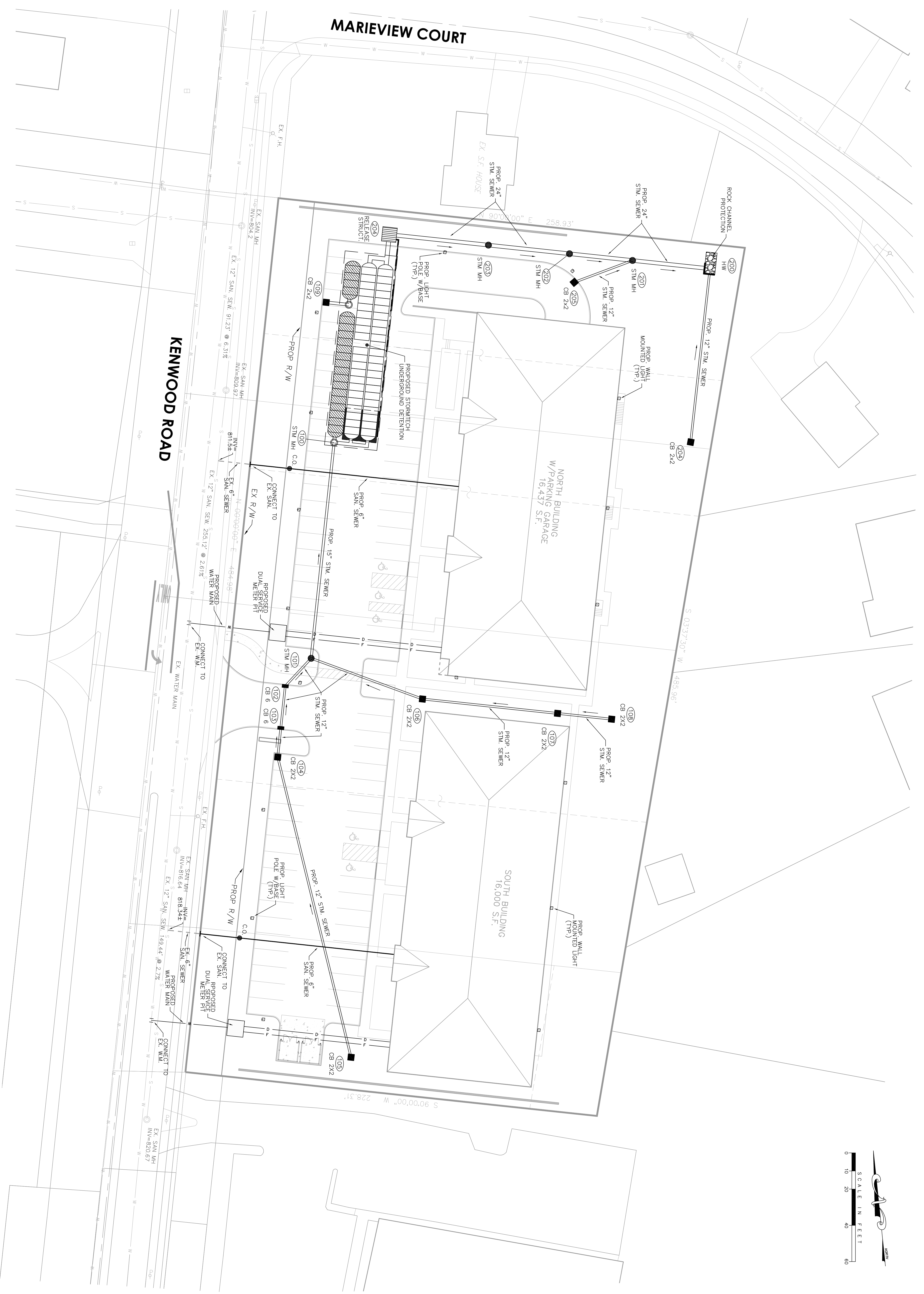
PARKING DATA

GROSS FLOOR AREA:	BUILDING 1	BUILDING 2
16,437 S.F.	16,000 S.F.	12,800 S.F.
NET FLOOR AREA:	13,150 S.F.	
PARKING SPACES REQUIRED:	67	65
(6 PER FIRST 1,000 S.F., THEN 1 / 200 S.F.)		
TOTAL PARKING SPACES PROVIDED:	132	
ON GRADE PARKING PROVIDED:	80	
HANDICAP PARKING (ON GRADE)	5 (4 VAN ACCESSIBLE)	
GARAGE PARKING PROVIDED:	59	
HANDICAP PARKING (GARAGE)	3 (3 VAN ACCESSIBLE)	
TOTAL PARKING SPACES PROVIDED:	139	
TYPICAL PARKING:	9'w x 19'l	



DUMPSTER DETAIL AND ELEVATION
 SCALE: NT=5
 NOTE: PROPOSED MATERIALS TO MATCH BUILDING CONSTRUCTION IN COLOR AND MATERIAL TYPE.

Sheet Title	PROPOSED PARKING PLAN & SIGNAGE
Project No.	0545702
Scale	1"=20'
Sheet No.	C301
File No.	05-457



GENERAL NOTES

WATER TO BE PROVIDED BY CINCINNATI WATER WORKS.
 SANITARY SEWER TO BE PROVIDED BY THE
 METROPOLITAN SEWER DISTRICT.



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 Cincinnati, OH 45213-6439
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 Fax: 513.962.7099
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 Landscape Architects • Planners

Drawn By	AJD	Project Mgr./DAS
Drawing File	05457024-ZCH-00	
X-Reference	05457004-BAAS-00	
Date	09/29/16	
No. Revision/Issue	By	Date

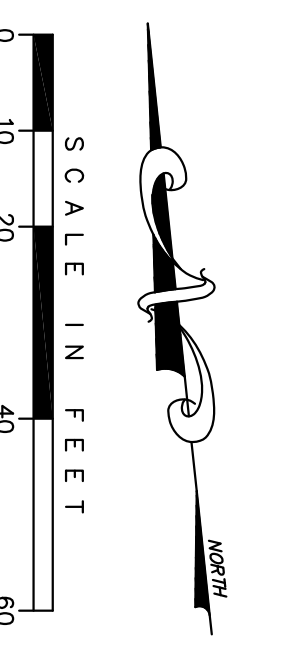
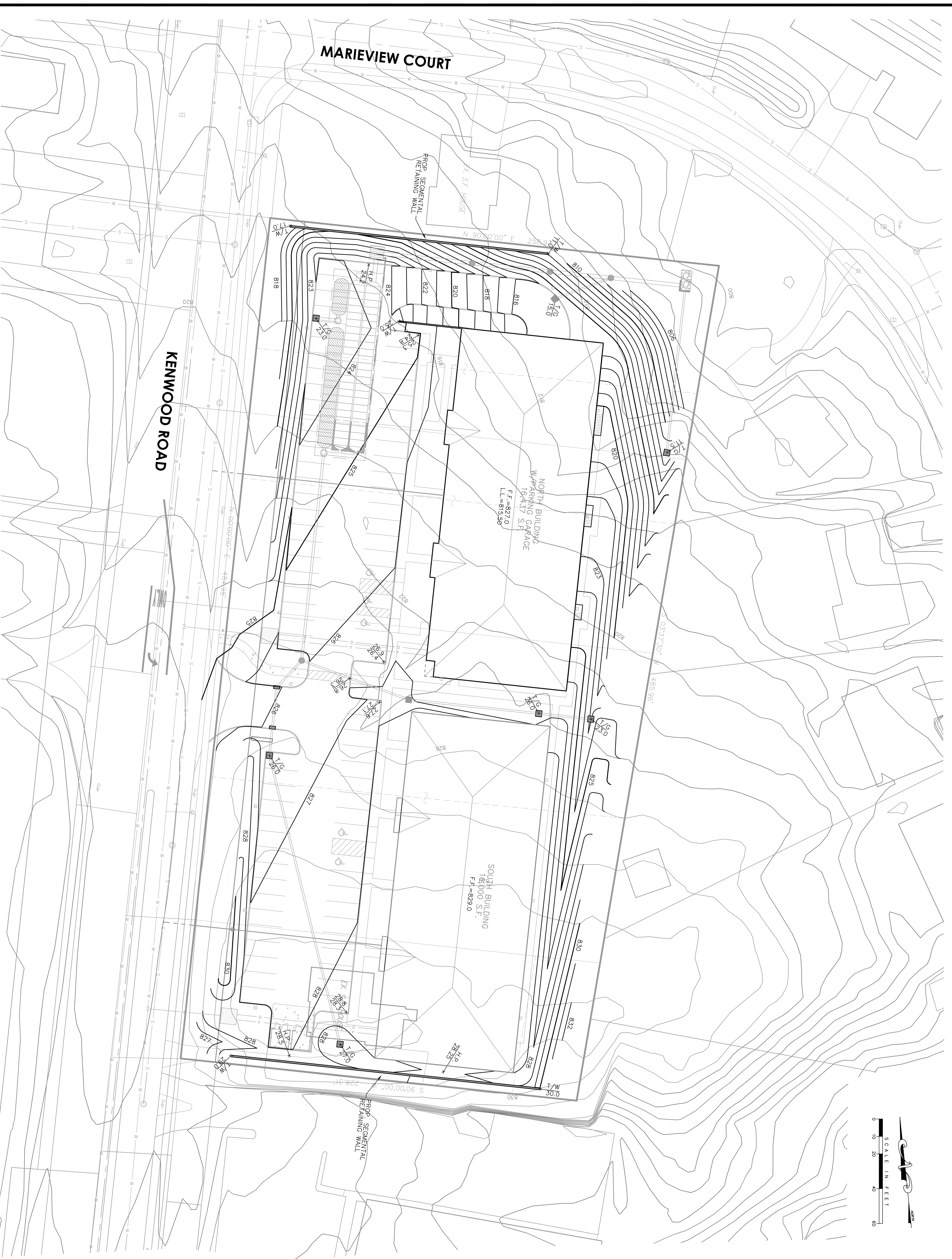
PROPOSED ZONE CHANGE
8300
KENWOOD
 SECTION 8, TOWN 4, ENTIRE RANGE 1
 SYCAMORE TOWNSHIP
 HAMILTON COUNTY, OHIO

Sheet Title

PROPOSED FEATURES
 & UTILITIES PLAN

Project No. 05457.02
 Scale 1"=20'
 Sheet No. C401

File No. 05-457



MSP

McGill Smith Punshon, Inc.
 3700 Park 42 Drive • Suite 1908
 Cincinnati, Ohio 45241-2877
 Tel 513.257.7000 • Fax 513.585.7099
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Drawn by: AJD Project Mgr. DAS
 Drawing file: 05457024-ZCH-00
 X-Reference: 05457004-8A5-00
 Files: 05457004-8A5-00
 Date: 09/28/16
 No. Revision/Issue: By Date

No.	Revision/Issue	By	Date

PROPOSED ZONE CHANGE
8300
KENWOOD
 SECTION 8, TOWN 4, ENTIRE RANGE 1
 SYCAMORE TOWNSHIP
 HAMILTON COUNTY, OHIO

Sheet Title
 PRELIMINARY GRADING PLAN
 Project No. 05457.02
 Scale 1"=20'
 Sheet No. C501
 File No. 05-457

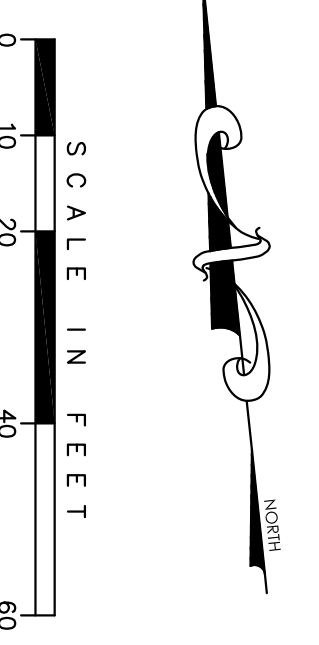


LANDSCAPE PLAN

SCALE: 1"=30'

PLANT LEGEND

	CANOPY TREE		SHRUBS
	EVERGREEN TREE		GROUND COVER / PERENNIALS
	UNDERSTORY TREE		



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 3700 Park 42 Drive Suite 1908
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Drawn By	BMG	Project Mgr.	DAS
CAD File	05457026-PLA		
X-Ref File	05457004-30100		
	05457004-30100		
Issue/Revision	Number	Revision Date	
ISSUE		09/29/16	

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PROPOSED ZONE CHANGE
8300
KENWOOD
 SECTION 8, TOWN 4, ENTIRE RANGE 1
 SYCAMORE TOWNSHIP
 HAMILTON COUNTY, OHIO

Sheet Title

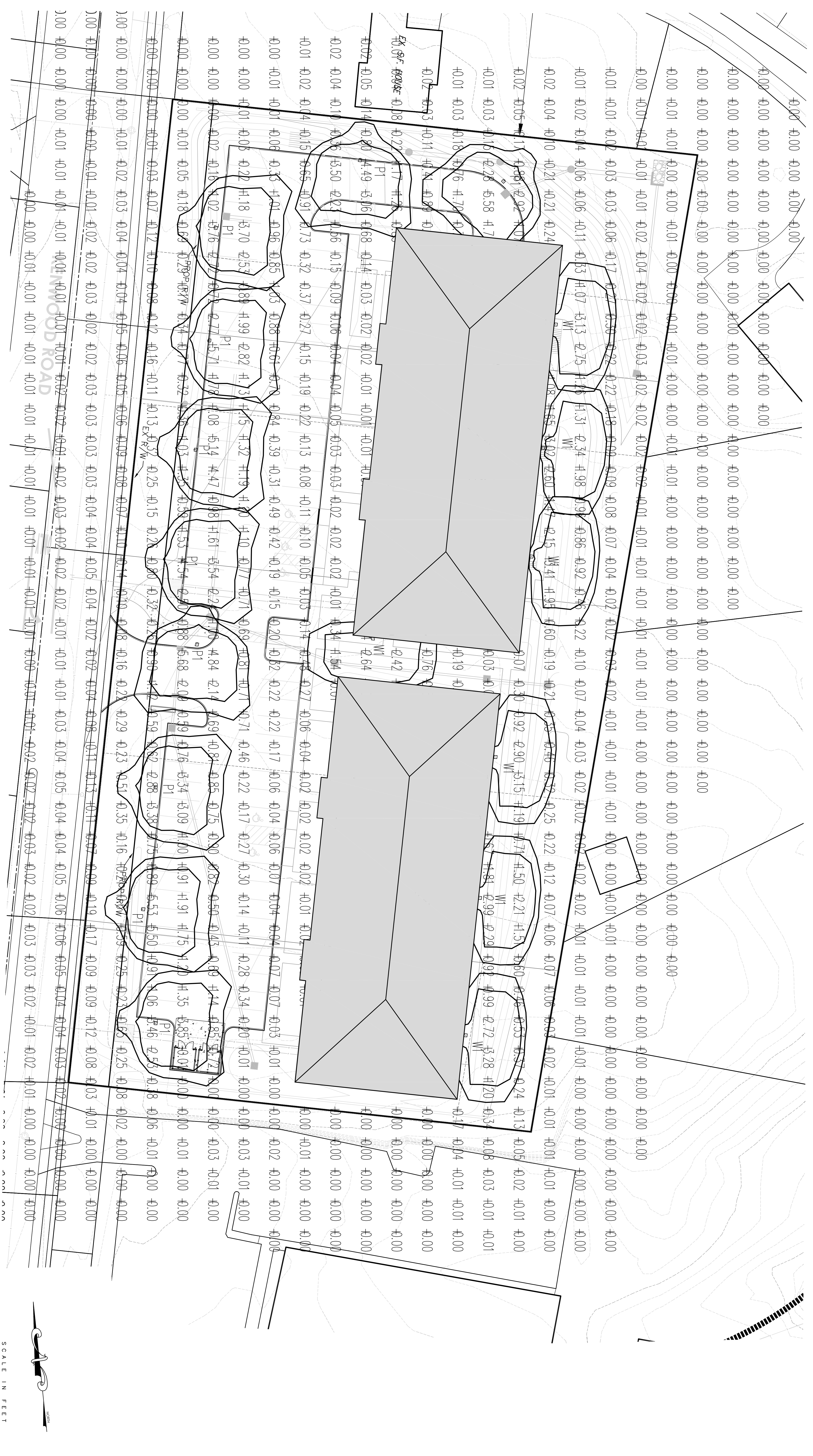
PROPOSED
 PLANTING PLAN

Project No. 05457.02

Scale 1" = 20'

Sheet No. **L100**

File No. 05-457



DXF file created by LitePro 2.037 on 9/23/2016 11:50:41 AM

CALCULATION SUMMARY					
AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPAC	GROUP
New Area	561.38x657.09ft	15x15 / H-H	796	15.00	<+>
			AVE	MAX	MIN
			0.39	5.71	0.00
				MAX/MIN	AVE/MIN
				N/A	N/A

Kenwood Road Professional Office (9-20-16) LUMINAIRE SCHEDULE							
TYPE	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LF	QTY
P1	⬢	Hubble Outdoor 1 LV (1) 4" ASI-8I-4K-210-4 OR EQUIVALENT	(1)	7650	9.5 Pole 2.5' boss	0.91	10
WI	⬢	Hubble Outdoor WM 12 (1) 4" LNC2-18LU-4K-3 OR EQUIVALENT	(1) NWS129C R70	4188		0.91	7

AREA SUMMARY SCHEDULE					
AREA NAME	V/O	DIMENSIONS	LUMENS / <ASMS>	WATTS / SQ FT	QTY
New Area	OUT	561.38x657.09ft	<P1 > (10) <WI > (7)	0.00	1

PROPOSED
PHOTOMETRIC PLAN

Project No. 05457.02

Scale 1" = 20'

Sheet No. **P100**

File No. 05-457

PROPOSED ZONE CHANGE

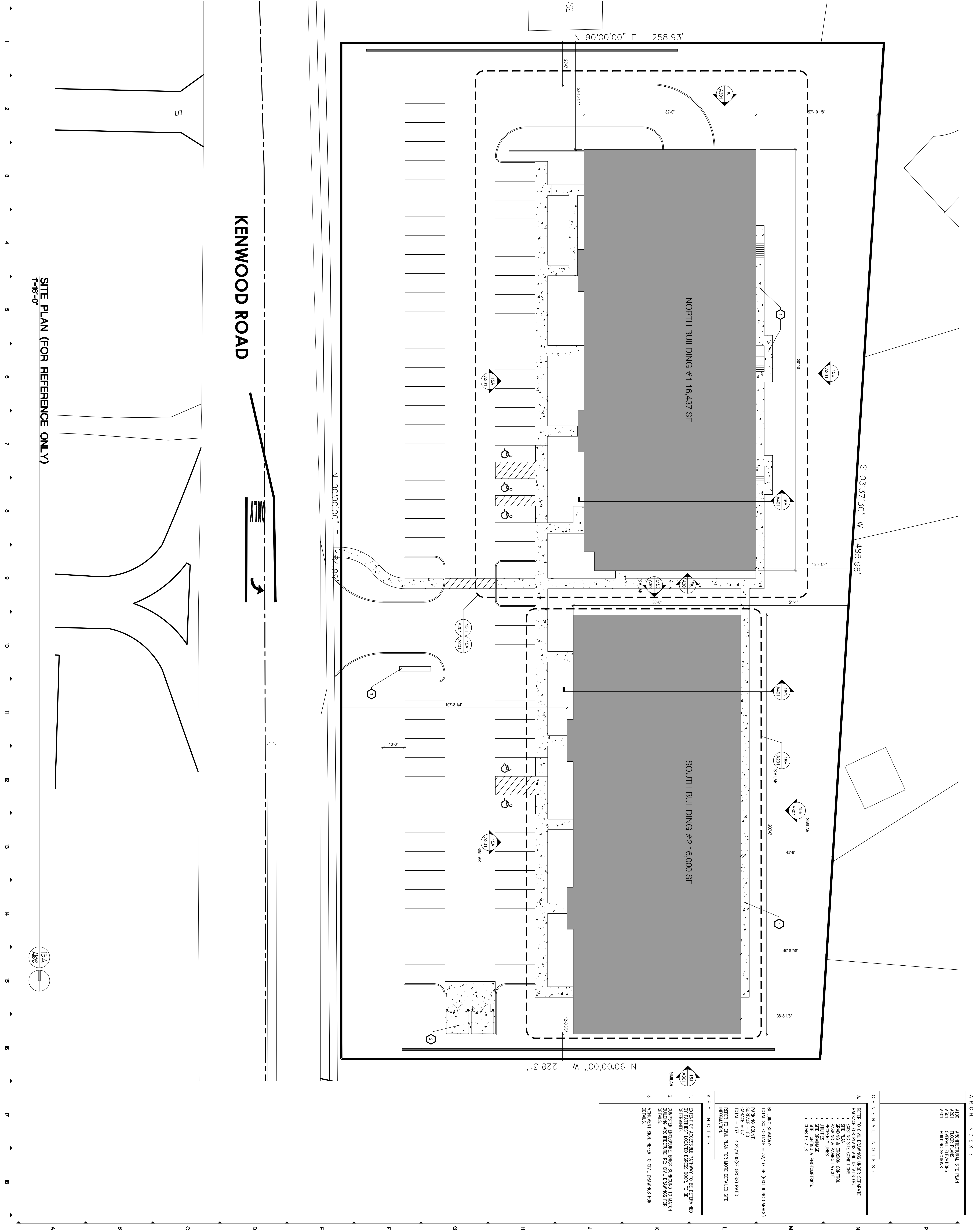
8300

KENWOOD

SECTION 8, TOWN 4, ENTIRE RANGE 1
SYCAMORE TOWNSHIP
HAMILTON COUNTY, OHIO

McGill Smith Punshon, Inc.
3700 Park 42 Drive Suite 1908
Cincinnati, Ohio 45241-2097
Tel. 513-751-0004 • Fax 513-563-7099
Engineers • Architects • Surveyors
Planners • Landscape Architects

Drawn By: SMC Project Mgr.: DAS
CAD File: 05457026-PLA
X-Ref File: 05457024-31300
Issue/Revision: Revision Number Date
SHEET LAYOUT: 09/13/16



SITE PLAN (FOR REFERENCE ONLY)
1"=16'-0"

KENWOOD ROAD

NORTH BUILDING #1 16,437 SF

SOUTH BUILDING #2 16,000 SF

S 03°37'30" W 485.96'

N 90°00'00" W 228.31'

N 00°00'00" E 484.99'

N 90°00'00" E 258.93'

- GENERAL NOTES:**
1. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 2. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 3. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 4. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 5. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 6. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 7. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 8. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 9. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 10. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 11. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 12. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 13. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 14. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 15. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 16. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 17. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 18. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 19. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 20. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.

- KEY NOTES:**
1. EXTENT OF ACCESSIBLE PATHWAY TO BE DETERMINED BY ARCHITECT.
 2. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.
 3. REFER TO CIVIL DRAWINGS UNDER SEPARATE PROJECT FOR EXISTING SITE CONDITIONS.

ARCH. INDEX:

A100	ARCHITECTURAL SITE PLAN
A200	CONSTRUCTION DETAILS
A300	MECHANICAL
A400	ELECTRICAL
A500	PLUMBING
A600	PAVING
A700	LANDSCAPE
A800	TRAILING
A900	CONCRETE
A1000	IRONWORK

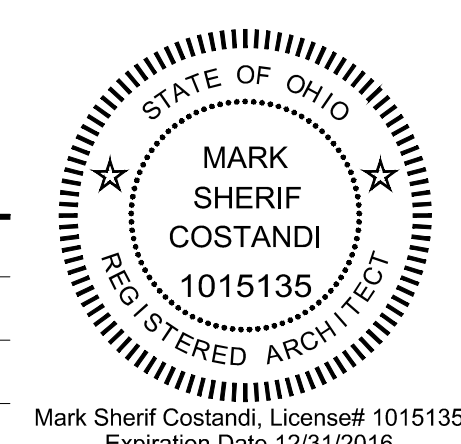
costandi studio
ARCHITECTURAL FIRM

8300 KENWOOD

OWNER: 858/723400
COSTANDI STUDIO, LLC
2272 State Street
Cincinnati, OH 45202

Architect: 613/377410
MARK SHERIF COSTANDI
1015135
CINCINNATI, OH 45202

DATE: 09/28/2016



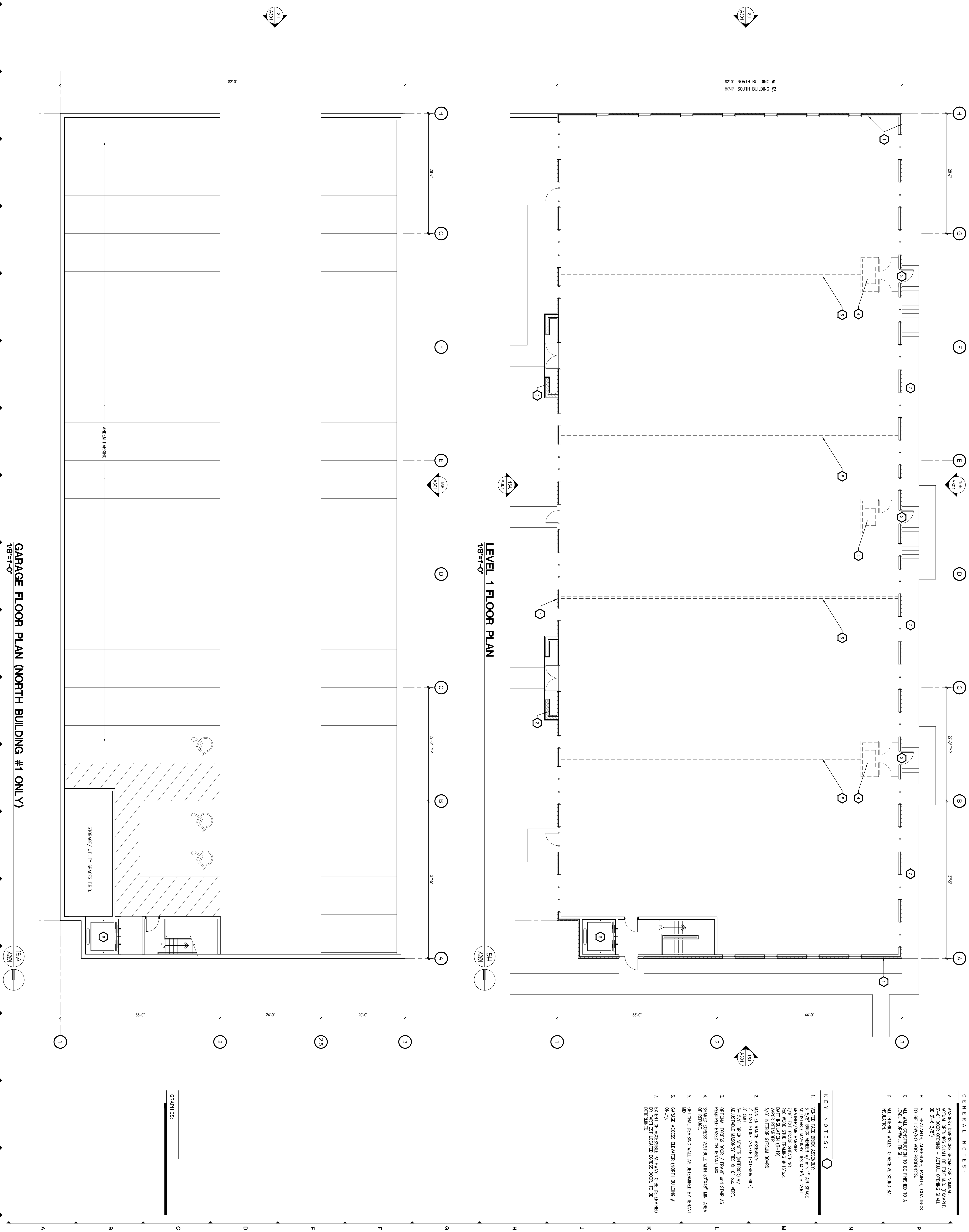
KENWOOD OFFICES
Address: 8248-8306 Kenwood Road
Cincinnati, Ohio

Project Number: 2016011000

ARCHITECTURAL SITE PLAN

Scale: As Noted	Revision: Addendum No. 1, 2015.29
Drawn: msc	Checked: [Signature]
Project: 2016011000	Date: 2016.9.27

A100



- GENERAL NOTES:**
- A. MASONRY DIMENSIONS SHOWN ARE NOMINAL. ACTUAL OPENINGS SHALL BE TRUE M.O. (EXAMPLE: BE 5'-0 1/2" OPENING - ACTUAL OPENING SHALL BE 5'-0 1/4")
 - B. ALL SEALANTS, ADHESIVES, PAINTS, COATINGS TO BE LOW/VOC PRODUCTS.
 - C. ALL WALL CONSTRUCTION TO BE FINISHED TO A LEVEL 4 BRANFLY FINISH.
 - D. ALL INTERIOR WALLS TO RECEIVE SOUND BATT INSULATION.

- KEY NOTES:**
- 1. VENTED FACE BRICK ASSEMBLY: 1" AIR SPACE, 3-5/8" BRICK VENEER w/ 7mm 1" AIR SPACE WEATHER/AIR BARRIER, 1/2" G.C. VERT. 7/8" EXT. GABE SHEATHING, 2x6 WOOD STUD RAILING @ 16" o.c., VAPOR RETARDER (R-19), 5/8" INTERIOR GYPSUM BOARD
 - 2. MAIN ENTRANCE ASSEMBLY: 2" CAST STONE VENEER (EXTERIOR SIDE), 6" CMU BRICK VENEER (INTERIOR) w/ 1" AIR SPACE WEATHER/AIR BARRIER, 1/2" G.C. VERT. 7/8" EXT. GABE SHEATHING, 2x6 WOOD STUD RAILING @ 16" o.c., VAPOR RETARDER (R-19)
 - 3. OPTIONAL EGRESS DOOR / FRAME AND STAIR AS REQUIRED BASED ON TENANT MIX.
 - 4. SHARED EGRESS VESTIBULE WITH 30"x48" MIN. AREA OF REFUGE.
 - 5. OPTIONAL DENNING WALL AS DETERMINED BY TENANT MIX.
 - 6. GARAGE ACCESS ELEVATOR (NORTH BUILDING #1 ONLY).
 - 7. EXTENT OF ACCESSIBLE PATHWAY TO BE DETERMINED BY FURNITURE LOCATED EGRESS DOOR, TO BE DETERMINED.

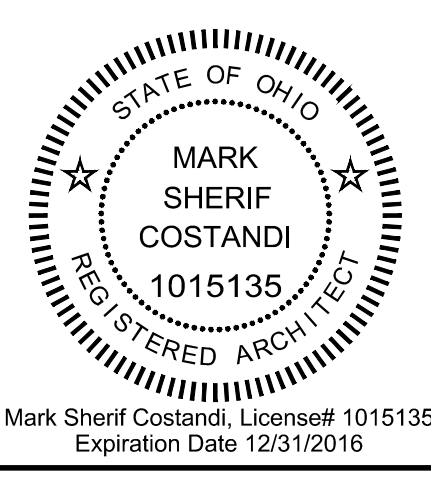
costandi studio
ARCHITECTURE INTERIOR DESIGN

8300 KENWOOD

OWNER:
8300 Kenwood, LLC
5000 Kenwood Blvd., Suite 400
Cincinnati, OH 45224
6537930004

Architecture:
653874740
2016011000

CM:
6537930004
2016011000



KENWOOD OFFICES
Address: 8248-8306 Kenwood Road
Cincinnati, Ohio


Project Number: 2016011000

Issued: 2016.9.27

FLOOR PLANS		No. Revision	No. Revision	No. Revision
Scale:	As Noted			
Drawn:	msc			
Released:				

A201

Mount Cylinder LD6LED4D 120V, 277V



APPLICATIONS:

- This fixture is designed for use in areas where a high quality, focused beam of light is required.
- 120V, 277V, 0-10V dimming, ambient, directional, and non-directional.
- 120V, 277V, 0-10V dimming, ambient, directional, and non-directional.
- 120V, 277V, 0-10V dimming, ambient, directional, and non-directional.

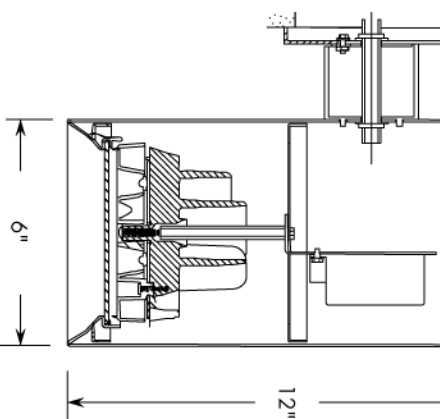
INSTALLATION:

- Mounting: 1/2" x 3/4" holes @ 12" on center.
- Cable: 1/4" x 1/8" holes @ 12" on center.
- Cable: 1/4" x 1/8" holes @ 12" on center.
- Cable: 1/4" x 1/8" holes @ 12" on center.

DETAILS:

- Mounting: 1/2" x 3/4" holes @ 12" on center.
- Cable: 1/4" x 1/8" holes @ 12" on center.
- Cable: 1/4" x 1/8" holes @ 12" on center.
- Cable: 1/4" x 1/8" holes @ 12" on center.

6" Direct LED Wall Mount Cylinder LD6LED4D 120V, 277V



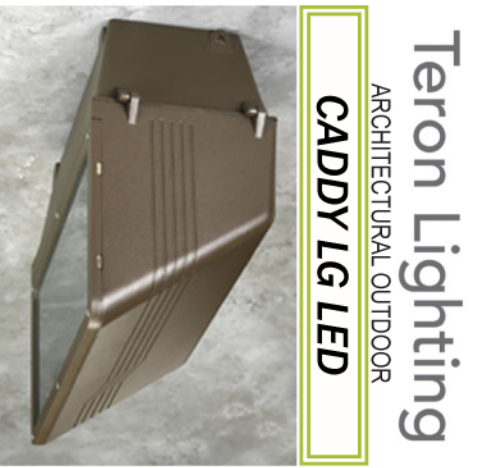
APPLICATIONS:

- This fixture is designed for use in areas where a high quality, focused beam of light is required.
- 120V, 277V, 0-10V dimming, ambient, directional, and non-directional.
- 120V, 277V, 0-10V dimming, ambient, directional, and non-directional.
- 120V, 277V, 0-10V dimming, ambient, directional, and non-directional.

INSTALLATION:

- Mounting: 1/2" x 3/4" holes @ 12" on center.
- Cable: 1/4" x 1/8" holes @ 12" on center.
- Cable: 1/4" x 1/8" holes @ 12" on center.
- Cable: 1/4" x 1/8" holes @ 12" on center.

Teron Lighting ARCHITECTURAL OUTDOOR CADDY LG LED




APPLICATIONS:

- This fixture is designed for use in areas where a high quality, focused beam of light is required.
- 120V, 277V, 0-10V dimming, ambient, directional, and non-directional.
- 120V, 277V, 0-10V dimming, ambient, directional, and non-directional.
- 120V, 277V, 0-10V dimming, ambient, directional, and non-directional.

INSTALLATION:

- Mounting: 1/2" x 3/4" holes @ 12" on center.
- Cable: 1/4" x 1/8" holes @ 12" on center.
- Cable: 1/4" x 1/8" holes @ 12" on center.
- Cable: 1/4" x 1/8" holes @ 12" on center.

D-Series LED Area Luminaire



Specifications:

Length	26"
Width	13"
Height	11"
Weight	15.5 lbs

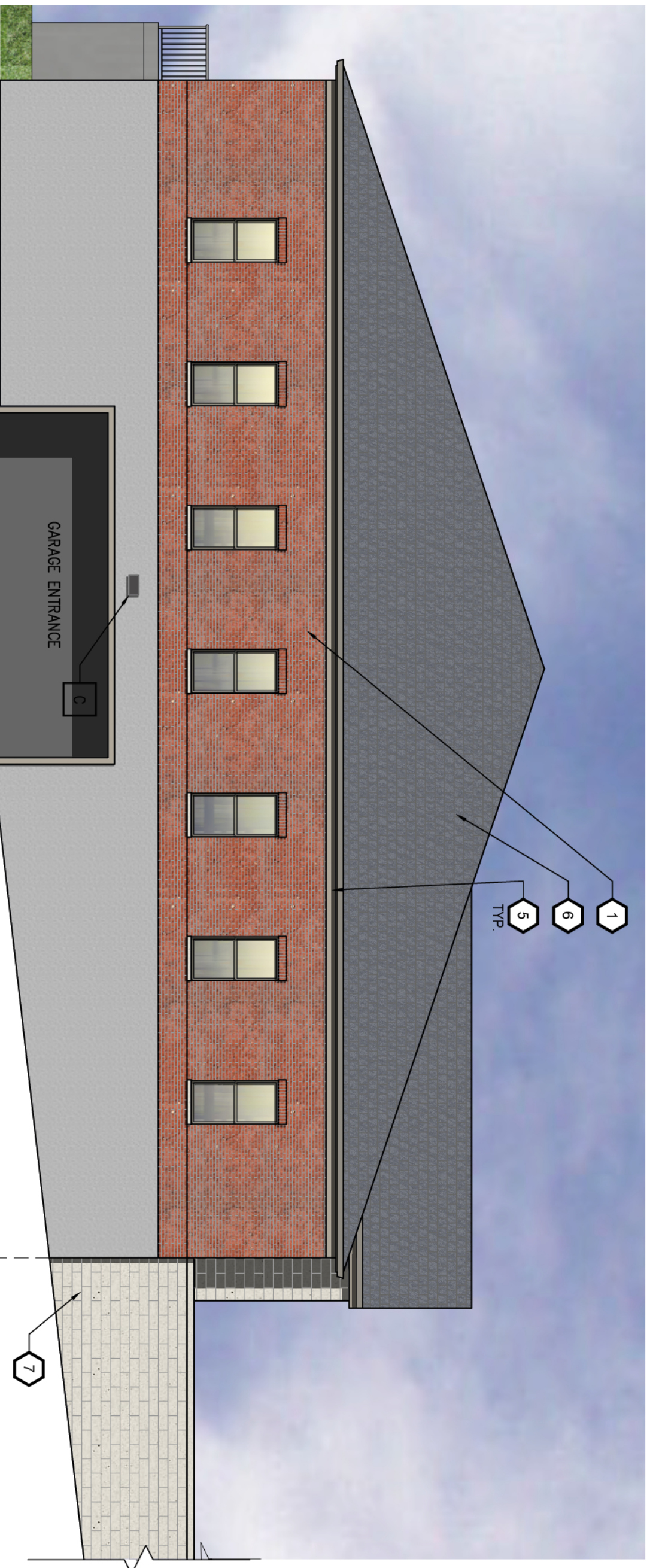
REFER TO SITE LIGHTING PLAN FOR LOCATIONS AND DETAILS

Lighting Fixture Schedule

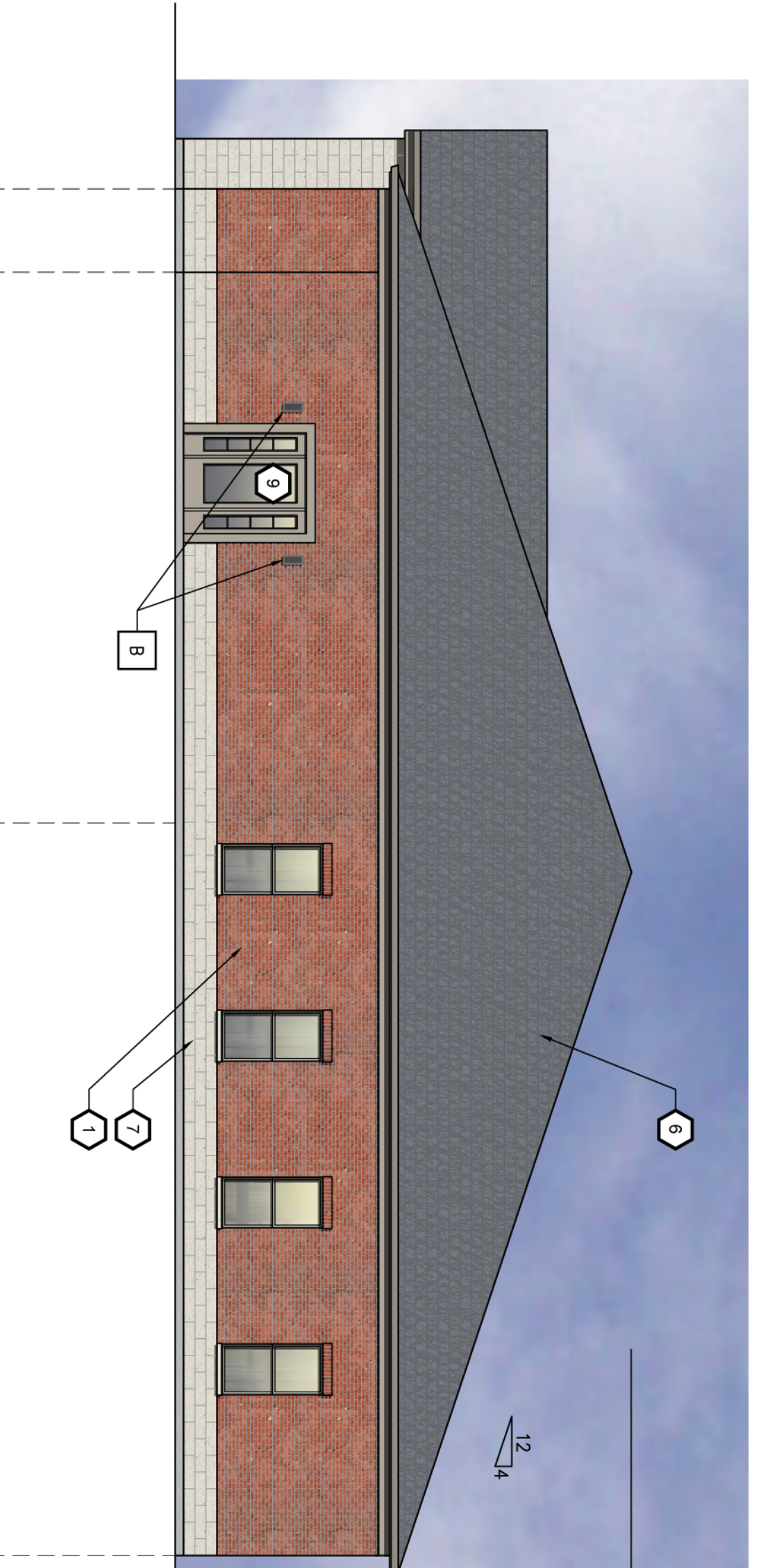
MFG. / TYPE	CATALOGUE #	ALTERNATE	VOLTS	LAMP CODE	MOUNT	DESCRIPTION / REMARKS
AI	Original Cast Lighting OR EQUIVALENT		240V	240V OR EQUIVALENT	W/R	Edison location. Decorative wall sconce. Color black
K2	Original Cast Lighting OR EQUIVALENT		240V	240V OR EQUIVALENT	W/R	Edison location. Decorative wall sconce. Color black
B	Peacock LED/6000 OR EQUIVALENT		120V	6000K OR EQUIVALENT	W	Edison location. Decorative wall sconce. Color black
C	Caddy LG OR EQUIVALENT		120V	4000K OR EQUIVALENT	W	Edison location. Decorative wall sconce. Color black
D	Universal Lighting / D-Series		120V	4000K OR EQUIVALENT	W	Edison location. Decorative wall sconce. Color black

NOTING: ABBREVIATIONS: C = CEILING, R = RECESSED, S = SURFACE, P = PENDANT, W = WALL, G = IN-GRILLE. AI = AS INDICATED, OR = CONCRETE BASE.

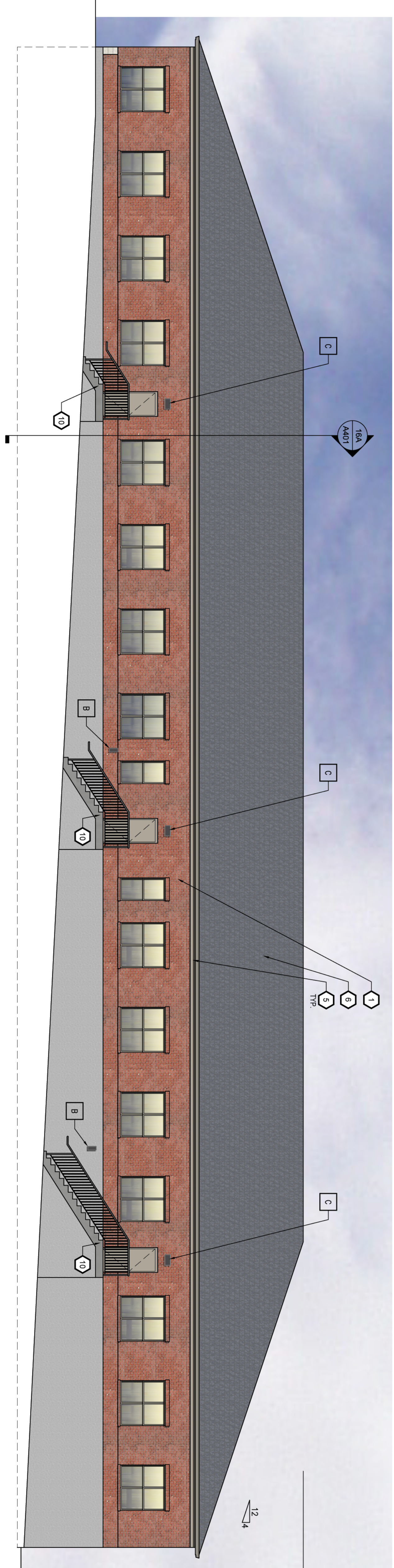
- #### GENERAL NOTES:
- ALL SEALANTS, ADHESIVES, PAINTS, COATINGS TO BE LOWVOC VOC PRODUCTS.
 - MAINTAIN CONTROL JOINTS AT OPENINGS AND 20" MAXIMUM DISTANCE AROUND CORNERS.
- #### KEY NOTES:
- BRICK VENEER, TP, [E1]
 - CAST STONE (ROCKCAST OR EQUIVALENT) VENEER ENTIREMENT [E2]
 - EXTERIOR LIGHTING, WALL SCONCES, RE LIGHTING SCHEDULE
 - CAST STONE (ROCKCAST OR EQUIVALENT) BECKONING
 - 1" ALUM CLAD TRIM
 - DIMENSIONAL FIBERGLASS SHINGLES
 - CAST STONE (ROCKCAST OR EQUIVALENT) BASE [E3]
 - START AS DIRECTED BY NUMBER OF TENANTS = APPROX. 100 SPT. BASED ON 200' FACADE AND LIGHTING FOR ZONING REQUIREMENTS.
 - GARAGE ACCESS
 - GARAGE DOOR AND STAIR FINAL QUANTITIES MAY BE REDUCED AS DETERMINED BY TENANT MIX.



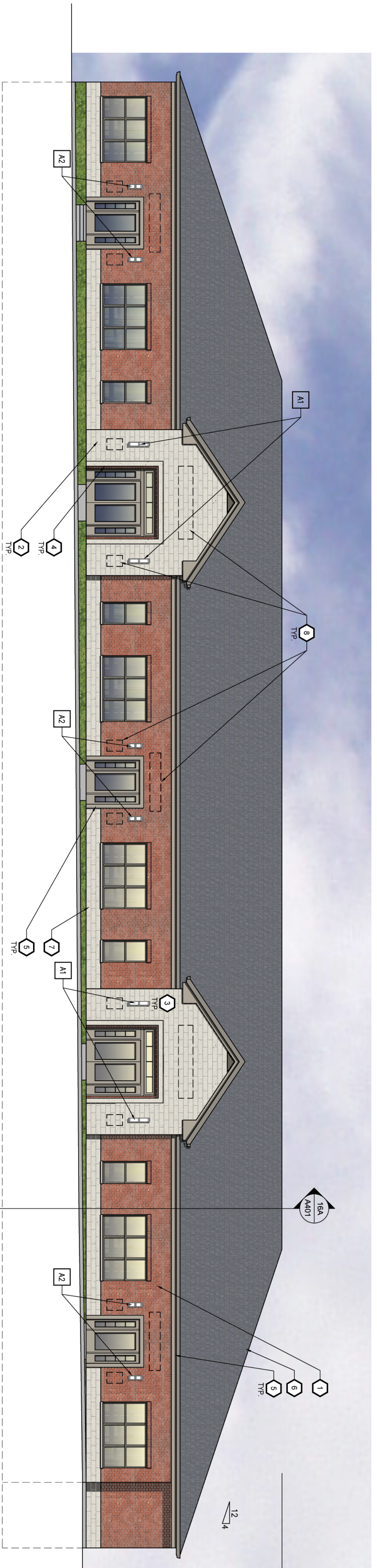
NORTH ELEVATION
1/8"=1'-0"



SOUTH ELEVATION
1/8"=1'-0"



EAST ELEVATION
1/8"=1'-0"




WEST ELEVATION
1/8"=1'-0"

Architectural drawing showing various levels and details for the building elevations, including roof lines, trusses, and garage truss levels.

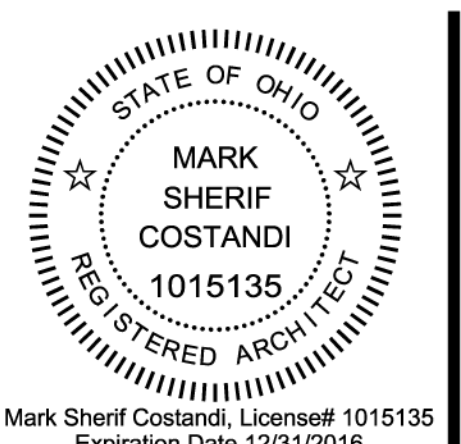
12'-4 1/2"	B/ TRUSS
28'-0"	ROOF LINE
12'-4 1/2"	B/ TRUSS
0'-0" (827.0)	Level 1 TRSLAB
-1'-6" (818.5)	GARAGE TRSLAB
12'-4 1/2"	B/ TRUSS
28'-0"	ROOF LINE
12'-4 1/2"	B/ TRUSS
0'-0" (827.0)	Level 1 TRSLAB
-1'-6" (818.5)	GARAGE TRSLAB

MATERIALS:

- BRICK**
 - [E1] BRICK MAIN FIELD
 - [E2] BRICK ACERTY/RICH FACE WINDOW SILL
- PRECAST**
 - [E1] PRE-CAST MAIN ENTRIES
 - [E2] PRE-CAST ROOF ROCKCAST OR EQUIVALENT
 - [E3] PRE-CAST WALL BASE/WATER TABLE
 - [E4] PRE-CAST ROOF ROCKCAST OR EQUIVALENT
- PAINT/COLOR**
 - [P 1] TRIM COLOR 1
 - [P 2] TRIM COLOR 2
- ROOF**
 - [R 1] ASPHALT DIMENSIONAL SHINGLES



Kenwood Offices
8248-8306 Kenwood Road
Cincinnati, Ohio



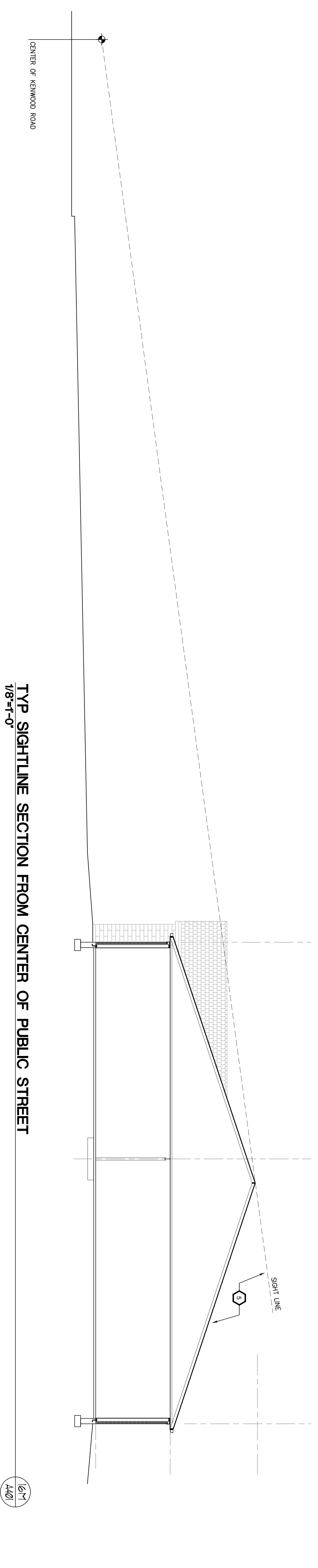
MARK SHERIF COSTANDI
1015135
REGISTERED ARCHITECT

Mark Sherif Costandi, License# 1015135
Expiration Date 12/31/2016

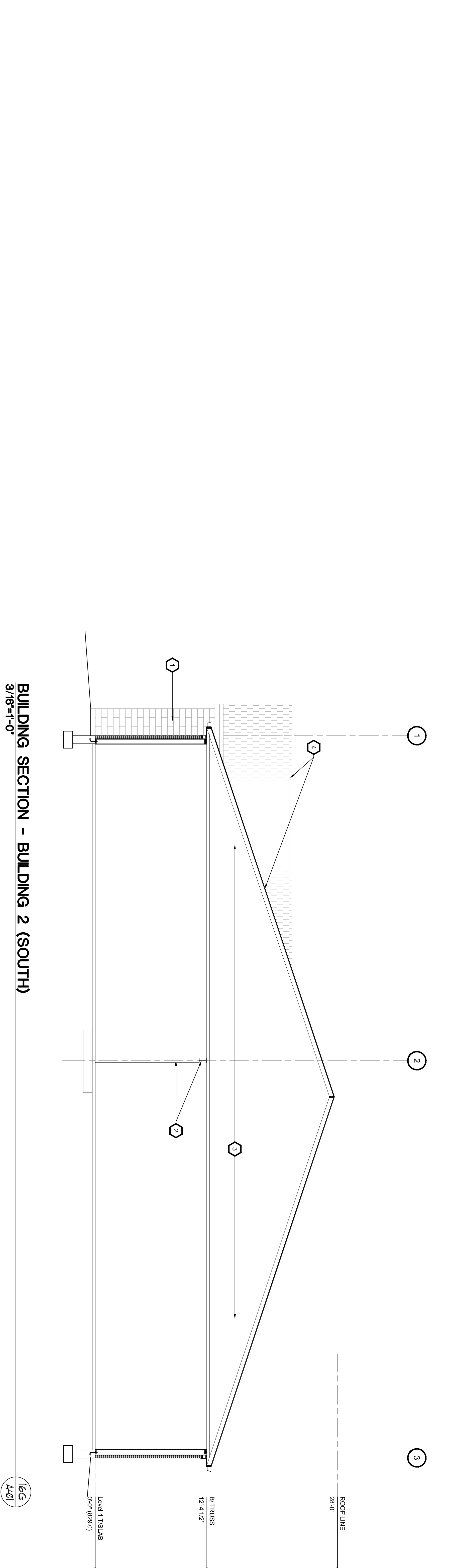
OVERALL ELEVATIONS

Scale	No. Revision	No. Revision	No. Revision
As Noted			
Drawn	msc		
Released			

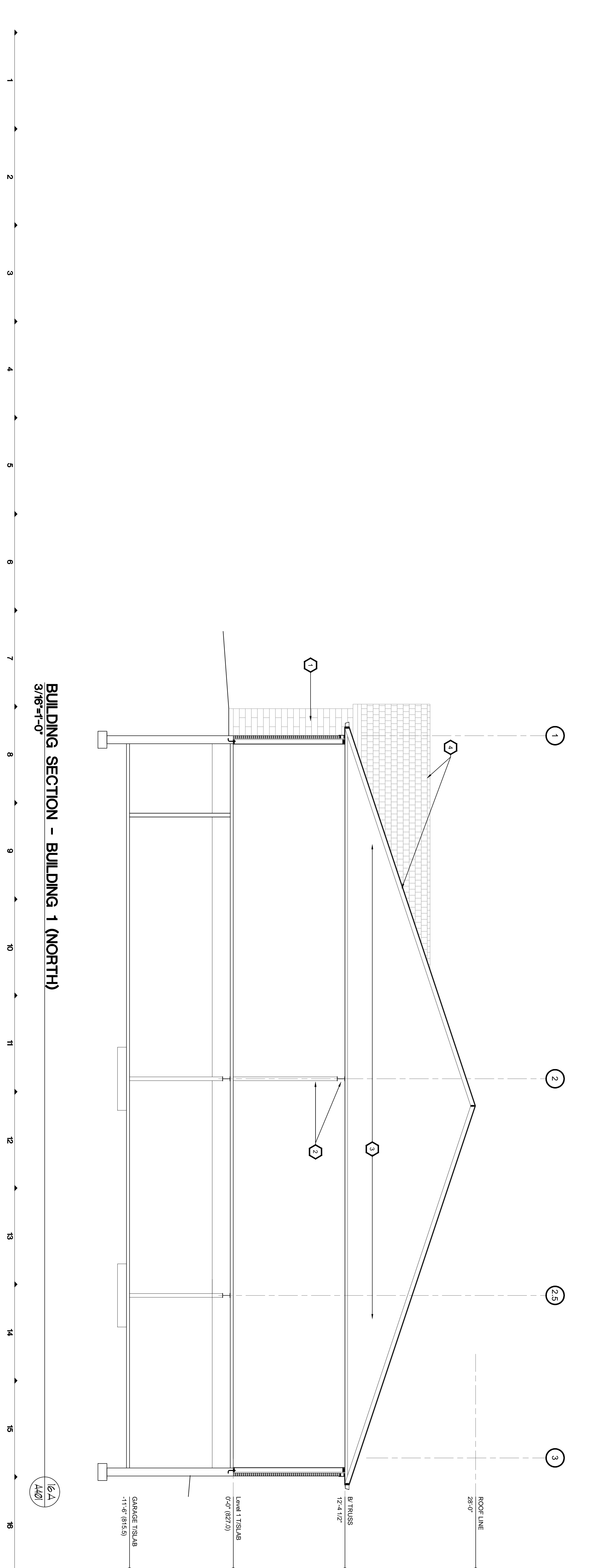
A301



- GENERAL NOTES:**
- ALL SEALANTS, ADHESIVES, PAINTS, COATINGS TO BE LEVINO 100 PRODUCTS.
 - ALL WALL CONSTRUCTION TO BE FINISHED TO A LEVEL 4 ORIGINAL FINISH.
 - MASSING DIMENSIONS SHOWN ARE NOMINAL. ALL OPENINGS SHALL BE MADE ACCORDING TO THE OPENING SCHEDULE (SEE 9'-6 3/8").
 - PROVIDE MEMBRANES 27' x 27' TYPICAL AT BASE OF ALL UNITS, ABOVE OPENINGS.
 - PROVIDE METAL SIMPSON JOIST HANGERS TO ATTACH ALL JOISTS TO BEAMS.
 - 1x ALUM. CLAD FINE TRIM THROUGHOUT.
- KEY NOTES:**
- MAIN ENTRY FEATURE BEYOND.
 - STEEL COLUMN AND BEAM.
 - PRE-ENGINEERED ROOF TRUSS, SIMPSON IZ2 STRIPS @ EX. TRUSS.
 - 30 YEAR DURESSONAL SINGLE ROOF ON 3/8" ICE GUARD MATERIAL FOR FIRST 3'-0" MIN.
 - EXHAUST FANS / AODS PIPING AND OTHER MISCELLANEOUS EQUIPMENT SHALL STAY BELOW SIGHT LINE.



- BUILDING SECTION - BUILDING 2 (SOUTH)**
3/16"=1'-0"



- BUILDING SECTION - BUILDING 1 (NORTH)**
3/16"=1'-0"

costandi studio
ARCHITECTURE INTERIOR DESIGN

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Cincinnati, Ohio

Project Number: 2016011.000

Mark Sherif Costandi, License# 1015135
Expiration Date 12/31/2016

BUILDING SECTION / WALL SECTIONS / DETAILS

Scale	No.	Revision	No.	Revision	No.	Revision
As Noted						
Drawn	msc					
Released						

2016.9.27

A401