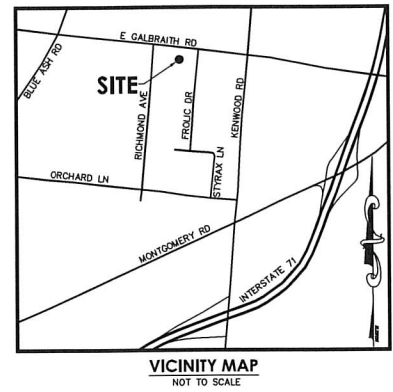
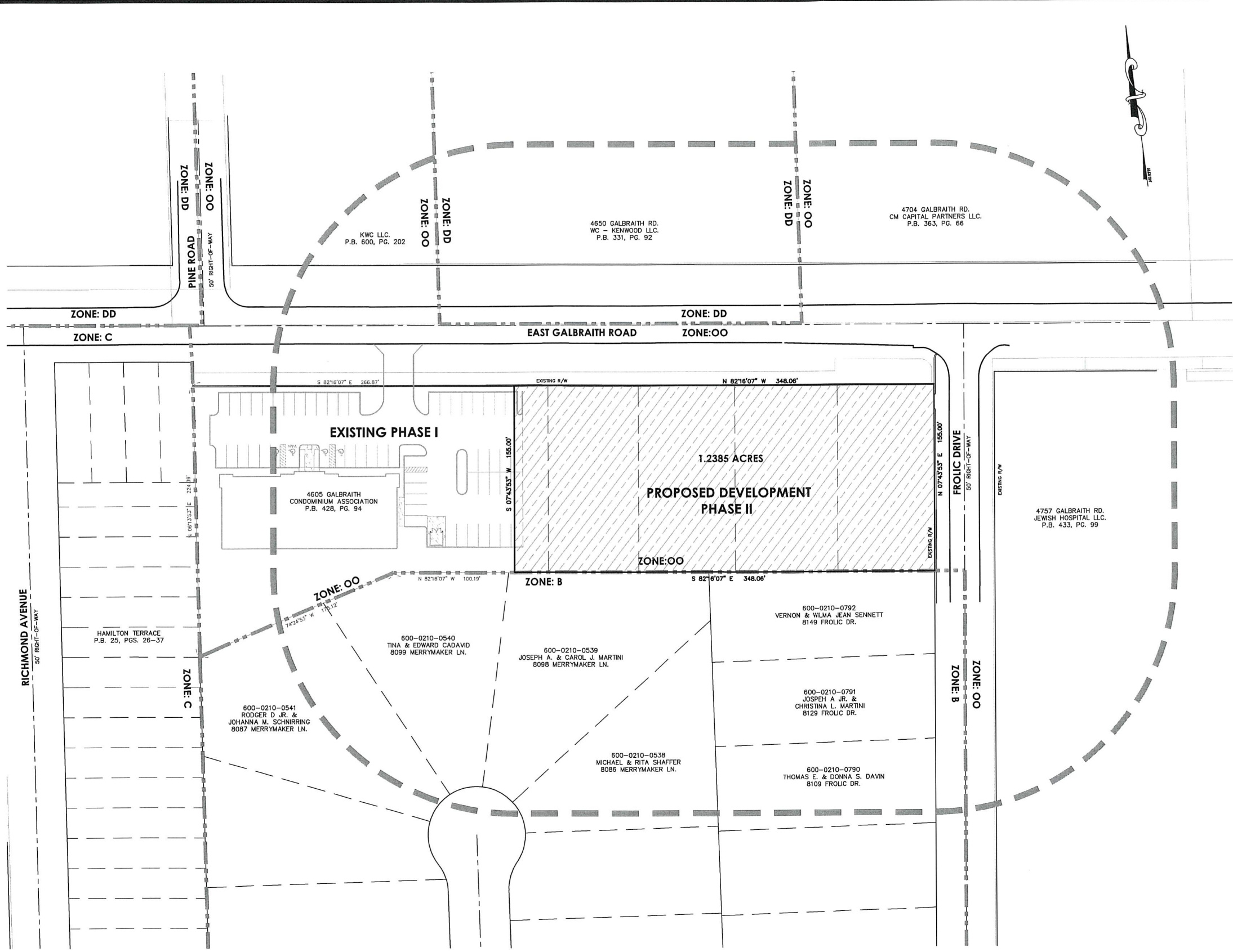


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APPLICANT
SMC KENWOOD, LLC.
4665 E GALBRAITH ROAD
Cincinnati, OH 45236
513-489-5544
Contact: Scott Pauken

SHEET INDEX

C001	ZONE MODIFICATION PLAT
C002	EXISTING FEATURES
C100	PROPOSED FEATURES
C200	GRADING PLAN
L101	PHASE 1 LANDSCAPE PLAN
L201	PLANT SCHEDULE, NOTES & DETAILS
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A1.0	GARAGE PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR & THIRD FLOOR PLAN
A1.3	ROOF PLAN
A2.1	EXTERIOR ELEVATION
A2.2	SOUTH ELEVATION

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Drawing File	08321024-PUD-00		
X-Reference Files	08321024-BAS-00 DEMO		
Date	01/17/17		
No. Revision/Issue			By Date

PUD MAJOR MODIFICATION
GALBRAITH
PROFESSIONAL CENTER
 SECTION 13, TOWN 4, ENTIRE RANGE 1
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Project No.	08321.02
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Sheet No.	C001
File No.	08-321



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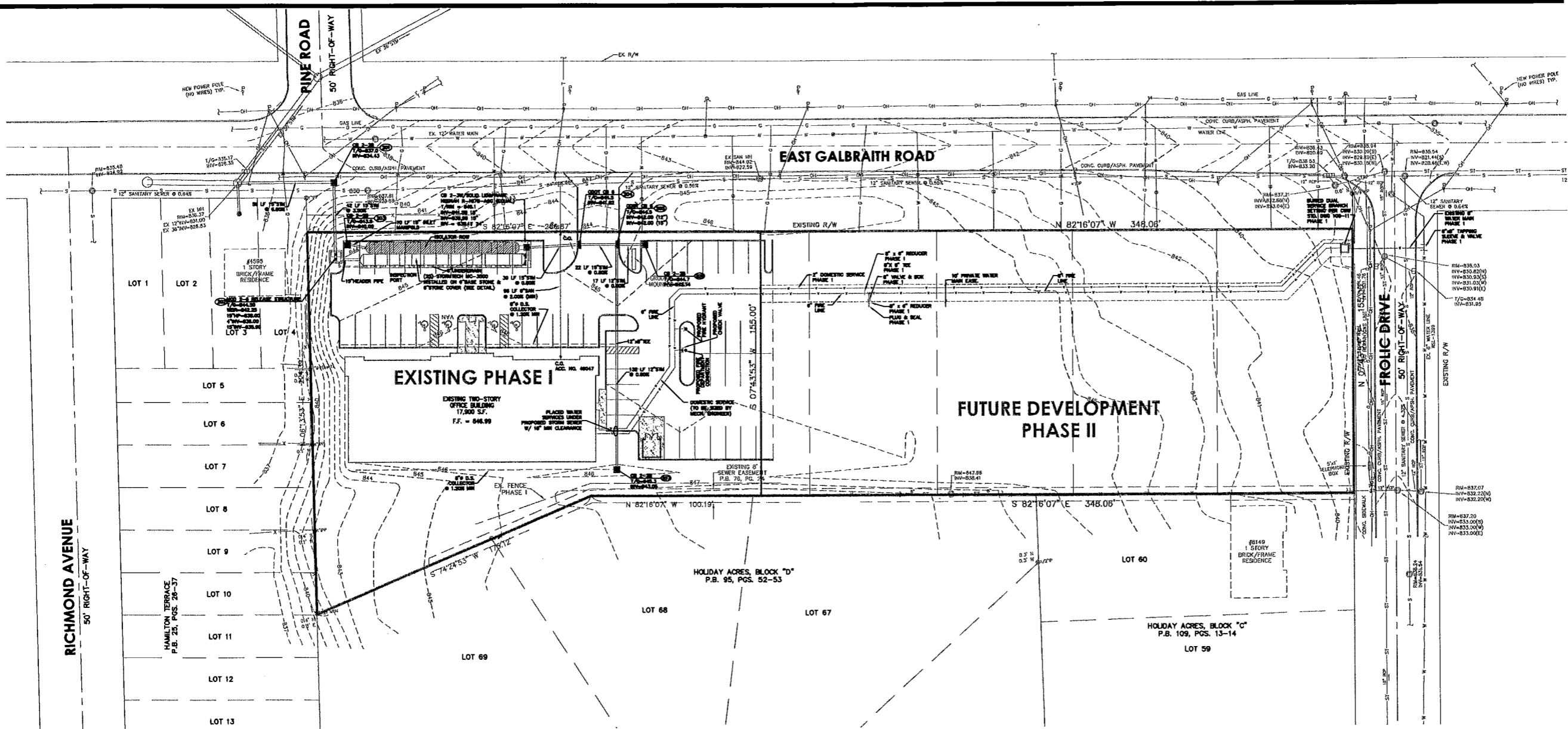
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Sheet Title

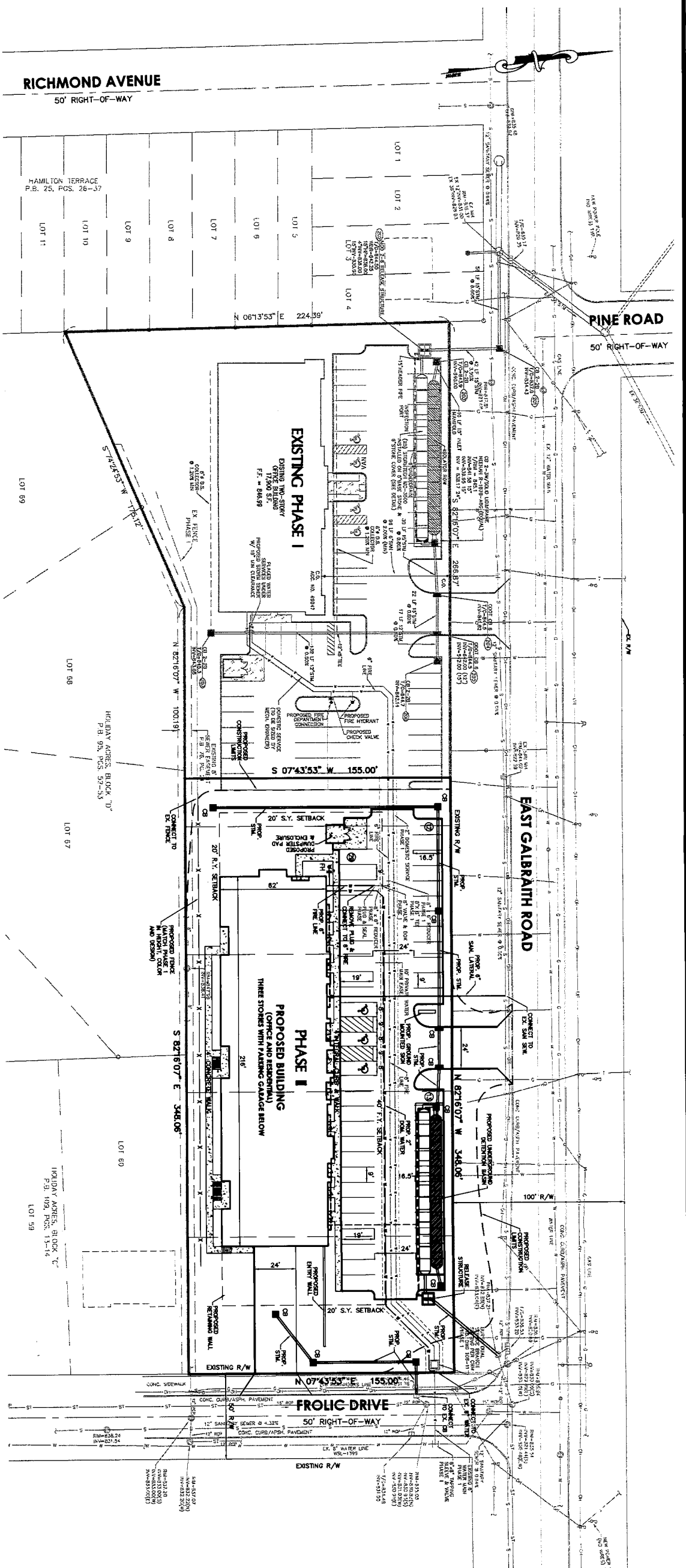
Project No.	08321.02
Scale	1"=30'
Sheet No.	C002
File No.	08-321



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OWNER
SAC KENWOOD LLC
4665 E. GALBRAITH ROAD
CHINCINNATI, OH 45236

APPLICANT
SAC KENWOOD LLC
4665 E. GALBRAITH ROAD
CHINCINNATI, OH 45236
CONTACT: SCOTT PAKKEN (513)488-5544

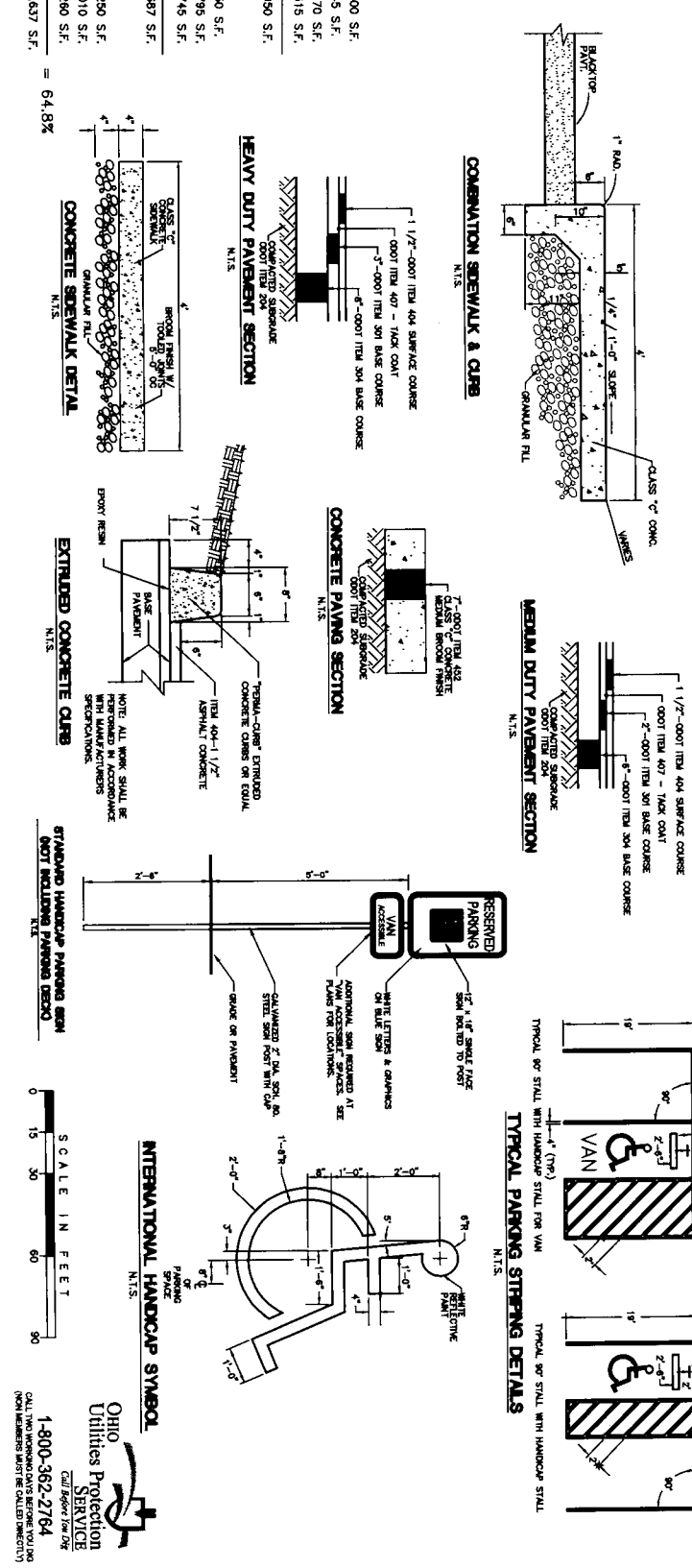
DEVELOPMENT SUMMARY
GROSS AREA: 1,2365 ACRES
AREA IN RIGHT OF WAY: 1,0200 ACRES
NET AREA: 1,0200 ACRES
EXISTING ZONING: OO - PLANNED OFFICE DISTRICT
PROPOSED USE: OFFICE & RESIDENTIAL
BASEMENT - GARAGE (UNDERGROUND PARKING)
1ST FLOOR - MEDICAL/GENERAL OFFICE (9 UNITS)
2ND & 3RD FLOORS - RESIDENTIAL (20 DWELLING UNITS)

PARKING SUMMARY

	(1ST FLOOR) MEDICAL OFFICE 13,300 S.F.	(1ST FLOOR) GENERAL OFFICE 7,000 S.F.	(2ND & 3RD FLOORS) RESIDENTIAL/APARTMENT 26,600 S.F.
GROSS FLOOR AREA	13,300	7,000	26,600
NET FLOOR AREA	8,300	7,000	26,600
PARKING SPACES REQUIRED:	33	19	35
MEDICAL OFFICE (6 PER FIRST 1,000 S.F., THEN 1/200 S.F.)			
GENERAL OFFICE (4 PER FIRST 1,000 S.F., THEN 1/400 S.F.)			
RESIDENTIAL (1.5 PER 100 S.F. & 2 PER 248R UNITS)			
TOTAL SPACES REQUIRED:	87 SPACES		
NUMBER PROVIDED: (STANDARD SPACES)	27 SPACES (9x119)		
HANDICAP SPACE: (MINOR SPACES)	3 SPACES (9x116.6)		
(3 VAN ACCESSIBLE)			
TOTAL PROVIDED:	87 SPACES		

NOTES

- ANY FENCE OR WALL REQUIRED UNDER THIS SECTION SHALL HAVE A HEIGHT NO GREATER THAN 6 FEET AND SHALL BE CONSTRUCTED IN A DURABLE MANNER. ALL MASONRY MATERIALS SHALL BE CONSTRUCTED IN A DURABLE MANNER. THE ACCESS ENTRANCE SHALL BE CONSTRUCTED IN A DURABLE MANNER. THE ACCESS ENTRANCE SHALL BE CONSTRUCTED IN A DURABLE MANNER. THE ACCESS ENTRANCE SHALL BE CONSTRUCTED IN A DURABLE MANNER.
- DUMPSTERS AND RELATED TRASH HANDLING AREAS SHALL BE RESTRICTED TO PICK UP TIMES BETWEEN 7:00 AM AND 9:00 PM.



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Date: 08321024-PUD-00 DEMO
No. Revision/Issue: 01/17/17 By: DAK

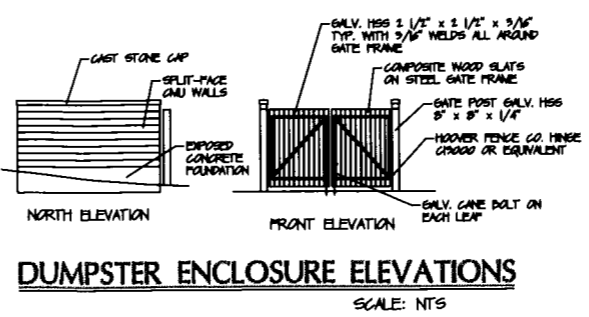
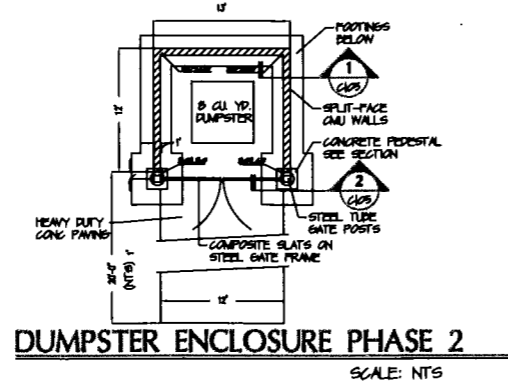
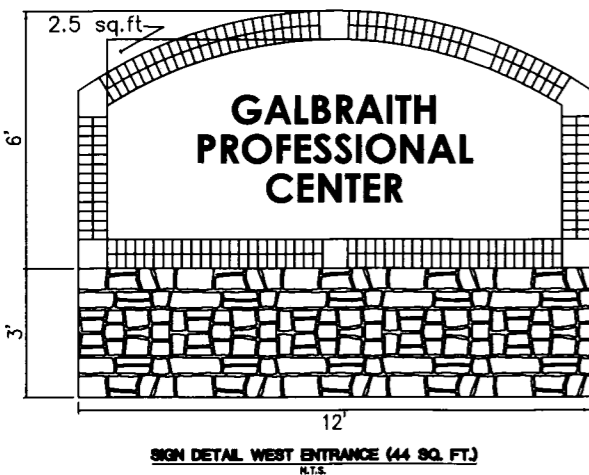
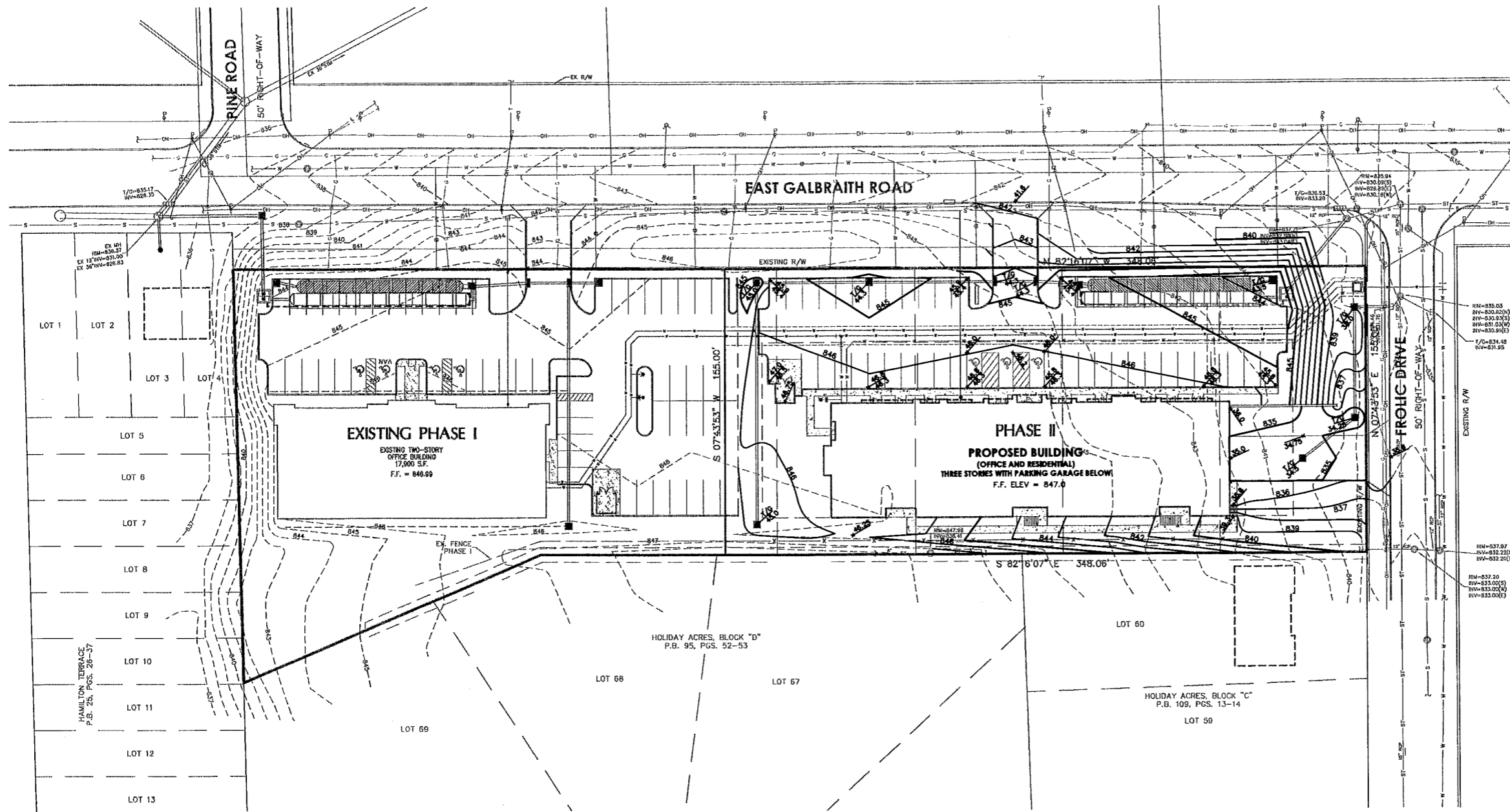
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Project No.: 08321.02
Scale: 1"=30'
Sheet No.: C100
File No.: 08-321



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 File No. 08-321

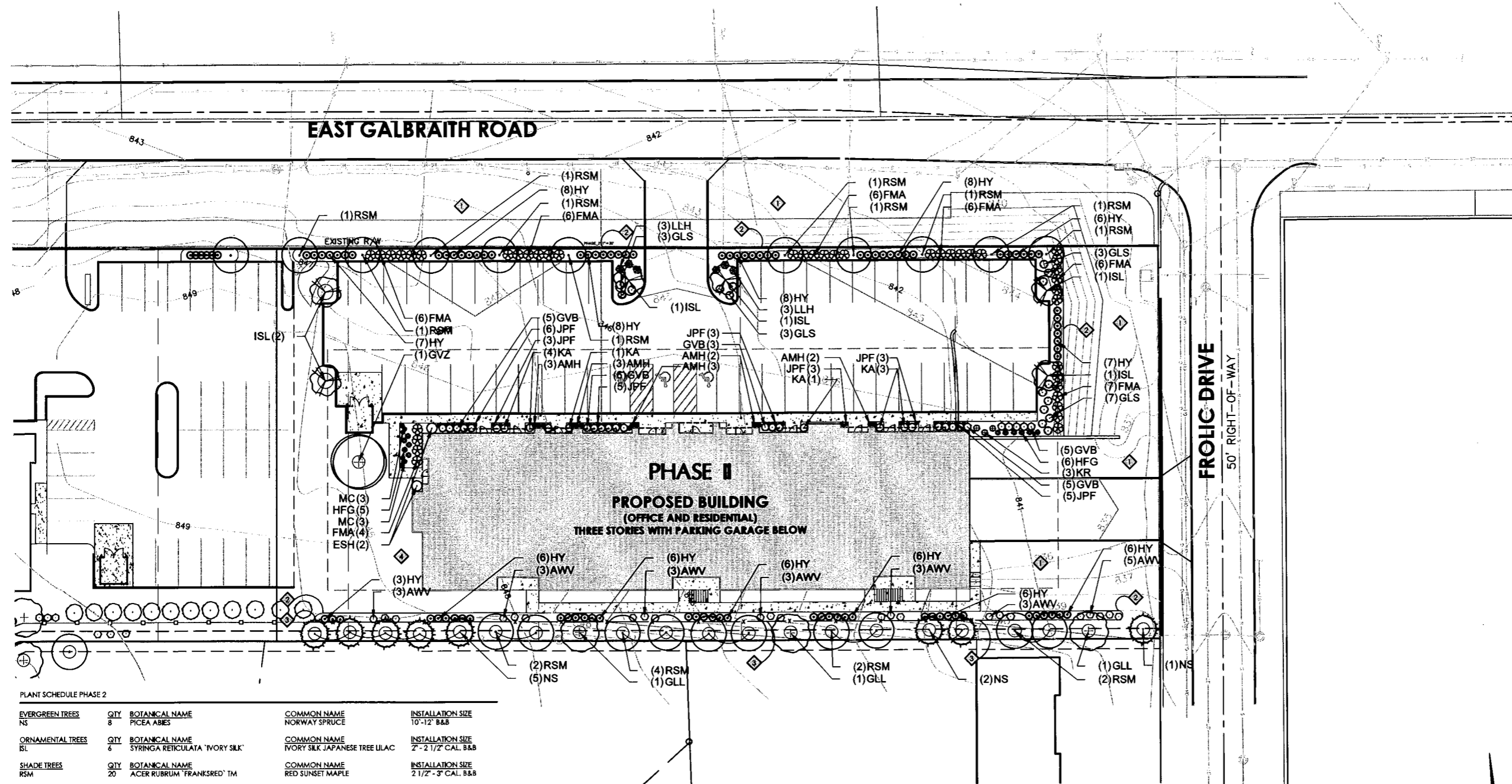
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Drawing File	08321004-PLA-04		
X-Reference	08321024-PUD-00		
Files	08321003-BAS-00		
Date	01/17/17		
No. Revision/Issue	By		Date
1	ZONING SUBMITTAL	DS	01/17/17



PLANT SCHEDULE PHASE 2

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE
NS	8	PICEA ABIES	NORWAY SPRUCE	10'-12' B&B
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE
ISL	4	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	2' - 2 1/2' CAL. B&B
SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE
RSM	20	ACER RUBRUM 'FRANKSRED' TM	RED SUNSET MAPLE	2 1/2" - 3" CAL. B&B
GLL	3	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2 1/2" - 3" CAL. B&B
GVZ	1	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2 1/2" - 3" CAL. B&B
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.
FMA	41	FOTHERGILLA GARDENII 'MT. AIRY'	MT. AIRY FOTHERGILLA	#3 CONT.
ESH	2	HYDRANGEA MACROPHYLLA 'BAILMER' TM	ENDLESS SUMMER HYDRANGEA	#3 CONT.
LLH	6	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	#5 CONT.
GLS	16	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	#3 CONT.
KR	3	ROSA HYBRIDS 'KNOCKOUT' TM	KNOCKOUT ROSE	#3 CONT.
AWV	23	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	18"-24" B&B
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.
KA	9	AZALEA HYBRIDS 'KAREN'	KAREN AZALEA	#3 CONT.
GVB	24	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	18"-21" B&B
HY	91	TAXUS MEDIA 'HICKSII'	HICKS YEW	18"-24" B&B
FERNS	QTY	BOTANICAL NAME	COMMON NAME	CONT.
JPF	28	ATHYRIUM NIPPONICUM PICTUM	JAPANESE PAINTED FERN	#1 CONT.
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT.
HFG	11	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	#2 CONT.
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT.
MC	6	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM COREOPSIS	#1 CONT.
AMH	13	HOSTA HYBRID 'AUGUST MOON'	AUGUST MOON HOSTA	#1 CONT.

DRAWING NOTES

- 1 SEEDED LAWN
- 2 BED EDGE
- 3 DECORATIVE FENCE
- 4 OUTDOOR AMENITY TO BE DETERMINED

GENERAL NOTES

INTERIOR LANDSCAPE ISLANDS
 50 x 22 S.F./PARKING STALL = 1,100 S.F. (REQUIRED)
 PER PLAN = 2,225 S.F. (PROVIDED)

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 HAMILTON COUNTY, OHIO

Sheet Title	LANDSCAPE PLAN
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Scale	1"=20'
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File No.	08-321





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Drawn By **BMG** Project Mgr. **DAS**

Drawing File **08321006-PLA-06**

X-Reference Files

Date **01/17/17**

No. Revision/Issue By Date

1 **TONING SUBMITTAL** **DS** **01/17/17**

GENERAL NOTES - PLANTING

- LANDSCAPE CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UTILITIES WITH THE OWNER, OWNER'S REPRESENTATIVE, GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR DESIGN BUILDER AND UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IN THE FIELD ACTUAL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES, WHETHER INDICATED ON PLANS OR NOT. LANDSCAPE CONTRACTOR MUST CALL THE UTILITIES PROTECTION SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. LANDSCAPE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR DAMAGE OF UTILITY LINES, WHICH IS CAUSED BY THEIR ACTIONS OR THE ACTIONS OF THEIR CONSULTANTS.
 - LANDSCAPE CONTRACTOR TO EXAMINE FINISH SURFACE, GRADE ACCURACY AND TOPSOIL FOR DEPTH AND QUALITY. REFER TO SPECIFICATIONS IF APPLICABLE. IF CONDITIONS ARE UNSATISFACTORY, NOTIFY OWNER, OWNER'S REPRESENTATIVE, GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR DESIGN BUILDER AND DO NOT BEGIN WORK UNTIL CONDITIONS HAVE BEEN CORRECTED.
 - AFTER INSTALLATION, REPAIR ALL DAMAGES MADE TO EXISTING CONDITIONS TO OWNER'S REPRESENTATIVE'S SATISFACTION.
 - PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AND SHALL HAVE PASSED INSPECTION REQUIRED UNDER STATE REGULATIONS. CALL (202)-789-2900 TO OBTAIN A COPY OF THE AMERICAN STANDARD FOR NURSERY STOCK BOOKLET.
 - NURSERY STOCK IDENTIFICATION TAGS SHALL NOT BE REMOVED FROM ANY PLANTING PRIOR TO INSPECTION AND APPROVAL OF INSTALLATION BY THE OWNER'S REPRESENTATIVE.
 - ALL PLANTINGS TO BE CONTAINED WITHIN BARK MULCHED BED. ALL TREES LOCATED WITHIN LAWN AREAS TO BE CONTAINED WITH A 5" MULCH RING. BARK MULCH SHALL BE FINELY SHREDDED HARDWOOD, DARK IN COLOR.
 - SEED ALL DISTURBED LAWN AREAS THAT ARE NOT LANDSCAPED.
 - LANDSCAPE CONTRACTOR, GENERAL CONTRACTOR, CONSTRUCTION MANAGER OR DESIGN BUILDER IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE IN LAWN AREAS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PLANT'S LIVABILITY. REFER TO FRONT END SPECIFICATIONS IF APPLICABLE.
 - ANY LANDSCAPE CONTRACTOR RECOMMENDED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. UNAPPROVED SUBSTITUTIONS SHALL BE REMOVED AND REPLACED WITH APPROPRIATE PLANTS.
 - A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER COMMENTS IS SHOWN ON THE DRAWINGS (IF REQUIRED). IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT SCHEDULE, THE PLANTING PLANS SHALL GOVERN.
 - GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER OR LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL ORDINANCES AND SHALL MAKE CONSULTANTS AWARE OF THESE ORDINANCES.
 - GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER OR LANDSCAPE CONTRACTOR TO COORDINATE CONSTRUCTION STAGING AND MATERIAL STOCKPILING WITH THE OWNER OR OWNER'S REPRESENTATIVE.
 - DURING ALL PHASES OF CONSTRUCTION ACTIVITY, IF THE LANDSCAPE CONTRACTOR OR THEIR SUBS ENCOUNTER ANY "SOLID WASTE MATERIAL" (EXCLUDING CLEAN HARD FILL) THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER, OWNER OR OWNER'S REPRESENTATIVE SHALL BE CONTACTED IMMEDIATELY FOR FURTHER DIRECTION.
 - LANDSCAPE CONTRACTOR SHALL CLEAN STREETS OF MUD AND DEBRIS GENERATED BY THEIR CONSTRUCTION ACTIVITIES OR THEIR SUBS' CONSTRUCTION ACTIVITIES, PURSUANT WITH LOCAL CODE REQUIREMENTS.
 - LANDSCAPE CONTRACTOR TO COORDINATE WITH THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, DESIGN BUILDER, OWNER OR OWNER'S REPRESENTATIVE TO PROVIDE FOR APPROPRIATE CARE OF EXISTING PLANT MATERIAL AND NEWLY LANDSCAPED AREAS DURING CONSTRUCTION.
 - STREET TREE LOCATIONS TO BE COORDINATED WITH DRIVEWAY, FIRE HYDRANT, STREET LIGHT LOCATIONS AND OTHER UTILITIES AS REQUIRED.
- GENERAL NOTES FOR LANDSCAPE PLAN
 1. CHANGE RED TEXT DEPENDING ON CONDITIONS

GENERAL NOTES - PLANT MIX

TOPSOIL: FERTILE, FRIABLE NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINABLE ARABLE SITE, REASONABLY FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE BETWEEN pH 6.0 AND 6.8.

A. IDENTIFY SOURCE LOCATION OF TOPSOIL PROPOSED FOR USE ON THE PROJECT.
 B. PROVIDE TOPSOIL FREE OF SUBSTANCES HARMFUL TO THE PLANTS, WHICH WILL BE GROWN IN THE SOIL.

PEAT MOSS: BROWN TO BLACK IN COLOR, WEED AND SEED FREE GRANULATED RAW PEAT OR BALED PEAT, CONTAINING NOT MORE THAN 9% MINERAL ON A DRY BASIS.

MANURE: STERILIZED COW OR DEHYDRATED HORSE MANURE, SHREDDED, WEED AND SEED FREE. FURNISH IN BAGS OR BULK.

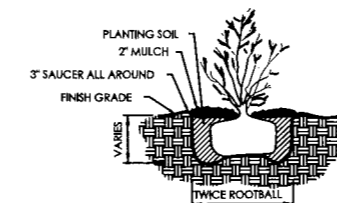
BONE MEAL: RAW, FINELY GROUND, COMMERCIAL GRADE, MINIMUM 3% NITROGEN, 20% PHOSPHOROUS.

FERTILIZER: COMMERCIALY APPROVED 12-12-12 (12% NITROGEN, 12% PHOSPHORIC ACID, AND 12% POTASH BY WEIGHT), 1/4 OF NITROGEN IN THE FORM OF NITRATES; 1/4 IN THE FORM OF AMMONIA SALT, AND 1/2 IN THE FORM OF ORGANIC NITROGEN.

PROVIDE PRE-MIXED PLANTING MIXTURE FOR USE AROUND THE ROOT BALL/ROOTS OF THE PLANTS CONSISTING OF 5 PARTS TOPSOIL, 1 PART PEAT MOSS, 1 PART MANURE, 10 LBS. FERTILIZER (PER CUBIC YARD) AND 2 1/3 LBS. OF BONE MEAL (PER CUBIC YARD).

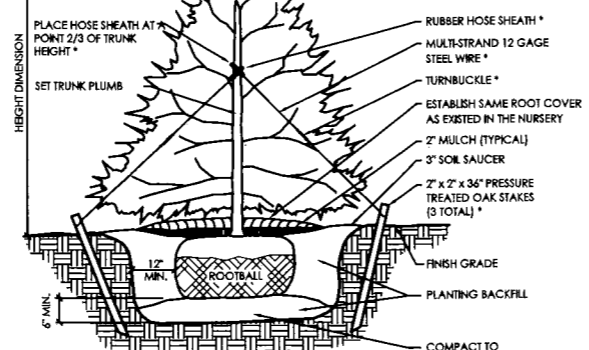
NOTES

- CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL. IF CONTAINER IS USED, REMOVE CONTAINER AND LIGHTLY HAND SCARIFY ALL SIDES OF THE ROOT SYSTEM.
- SHRUBS SHALL BEAR SAME RELATION TO FINISH GRADE AS IT DID TO PREVIOUS GRADE.



SHRUB PLANTING

SCALE: N.T.S.

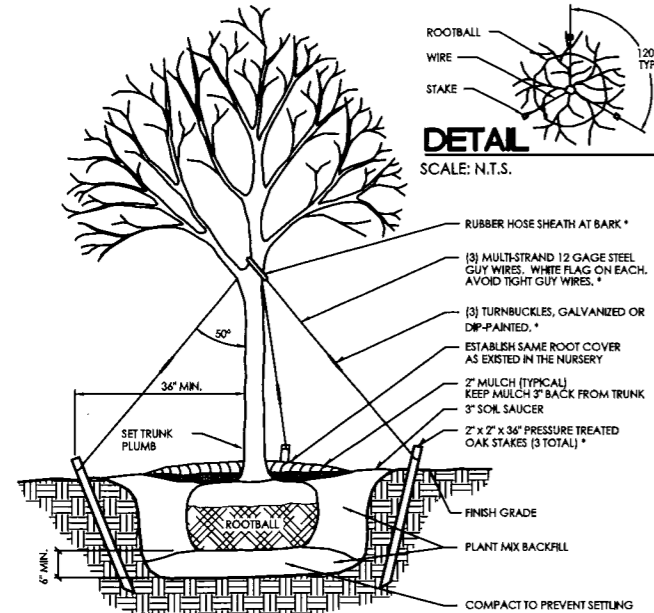


NOTES

- IF NOT READILY APPARENT, LOCATE TRUNK FLARE BY REMOVING TWINE, BURLAP, AND EXCESS SOIL.
- DIG TREE HOLE AT LEAST TWO TIMES WIDER THAN THE ROOT BALL, WITH SIDES SLOPED TO AN UNEXCAVATED OR FIRM BASE. DIG HOLE TO A DEPTH SO THE LOCATED TRUNK FLARE, AT THE FIRST ORDER LATERAL ROOT, WILL BE AT FINISHED GRADE.
- LIFTING ONLY FROM THE BOTTOM OF THE ROOT BALL, POSITION TREE ON FIRM PAD SO THAT IT IS STRAIGHT AND TOP OF FLARE IS LEVEL WITH THE SURROUNDING SOIL.
- REMOVE ALL TWINE FROM ROOT BALL. IF PRESENT, REMOVE AND DISCARD TOP 3" OF BURLAP FROM THE ROOT BALL.
- WITH CLEAN, SHARP PRUNING TOOLS, PRUNE OFF ANY SECONDARY/ADVENTITIOUS, GIRDLING, AND POTENTIAL GIRDLING ROOTS.
- BACKFILL PLANTING HOLE WITH PLANT MIX (SEE GENERAL NOTES), AND THOROUGHLY WATER.
- PROVIDE WATER CRYSTALS PER MANUFACTURER'S RECOMMENDATION.
- MULCH ENTIRE PLANTING SURFACE WITH COMPOSTED BARK MULCH APPLIED NO LESS THAN TWO INCHES (2") DEEP AND NO MORE THAN THREE INCHES (3") DEEP, LEAVING THREE INCHES (3") ADJACENT TO THE TREE TRUNK FREE OF MULCH.
- EVERGREEN TREES WITH 2" CALIPER OR SMALLER SHALL BE STAKED. EVERGREEN TREES HAVING A HEIGHT OF 7' OR GREATER SHALL BE STAKED.
- REMOVE STAKES 1 YEAR AFTER PLANTING.

EVERGREEN TREE STAKING & GUYING

SCALE: N.T.S.



NOTES

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- MULCH ENTIRE PLANTING SURFACE WITH COMPOSTED BARK MULCH APPLIED NO LESS THAN TWO INCHES (2") DEEP AND NO MORE THAN THREE INCHES (3") DEEP, LEAVING THREE INCHES (3") ADJACENT TO THE TREE TRUNK FREE OF MULCH.
- STAKE DECIDUOUS TREES WITH A 2 1/2" OR GREATER CALIPER.
- REMOVE STAKES 1 YEAR AFTER PLANTING.

DECIDUOUS TREE STAKING + GUYING

SCALE: N.T.S.

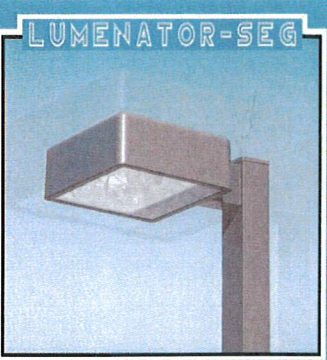
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Sheet Title	LANDSCAPE DETAILS
Project No.	08321.02
Scale	1"=20'
Sheet No.	L200
File No.	08-321

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LUMENATOR-SEG



1400 WATT MAX

NEW VIEW

TOP VIEW

E.P.A. - L2

SPECIFICATIONS

HOUSING: PRECISE ROUND CORNER CAST ALUMINUM CONSTRUCTION.

LENS ASSEMBLY: PRECISE SQUARE CAST ALUMINUM FRAME SURROUNDING CLEAR TEMPERED GLASS LENS. GLASS IS SEALED TO DOOR TO PREVENT HIGH TEMPERATURE AIR FROM SOAK.

OPTIC: COMPUTER DESIGNED SPECULAR REFRACTED REFLECTOR WITH AN ADJUSTABLE BURNER BEARING TO PREVENT TOP REFLECTOR ELEMENTS WITH LENS TO PRODUCE AN EFFECTIVE SHARP LIGHT DISTRIBUTION.

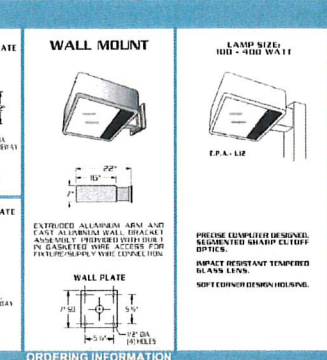
GASKETING: GLASS CELL SEALS GASKETING COMPRESSED BETWEEN DOOR AND HOUSING SEALS OPTICAL TRANSMISSION.

LAMP HOLDER: MODULAR BASE PERFEKTA LAMP (BY OTHERS).

WARRANTY: 5 YEAR 24 HOURS ALLIGATOR GUARANTEE. STARTING TEMPERATURE RANGE: -40°F TO 150°F. HEAVY WALL EXTRUDED ALUMINUM ARM IS SECURED TO HOUSING AND TO POLE WITH STAINLESS STEEL BUSH.

FINISH: POLYESTER POWDER COAT. STATE OF THE ART OF THE FINISHING PROCESS AT 140°F. TEMPERATURE INCREASES FROM 200°F TO 300°F. PROTECTIVE COATINGS TO PROTECT AND PREVENT THE METAL SURFACE FROM OXIDATION. FINISH IS APPLIED TO ALL VISIBLE SURFACES AND IS AVAILABLE IN A RANGE OF COLORS. FINISH IS APPLIED TO ALL VISIBLE SURFACES AND IS AVAILABLE IN A RANGE OF COLORS.

TRAPEZOID ARCHITECTURAL WALLBOX



TYPICAL SQUARE POLE TEMPLATE

WALL MOUNT

LAMP NICKEL 1000 - 4000 WATT

E.P.A. - L2

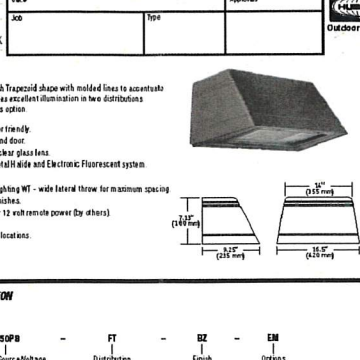
APPLICATIONS

- Architectural wallbox with Trapezoid shape with rounded lines to accentuate building architecture. Provides excellent illumination in two directions as well as safety with Egress system.
- Full cut-off, dark sky, neighbor friendly.
- Die cast aluminum housing and door.
- Tempered, impact-resistant, clear glass lens.
- Energy-saving Pulse Start Metal Halide and Electronic Fluorescent system.
- Two distributions:
- FT - forward throw for area lighting with wide lateral throw for maximum spacing.
- FT - forward throw for area lighting with wide lateral throw for maximum spacing.
- FT - forward throw for area lighting with wide lateral throw for maximum spacing.
- Egress system for 120 volt or 12 volt remote power (by others).

ORDERING INFORMATION

TRP	Series	Wattage/Voltage	Distribution	Finish	Options
TRP	150PB	150Watt 120V	FT	Black	None
TRP	150PB	150Watt 120V	FT	White	None
TRP	150PB	150Watt 120V	FT	Black	None
TRP	150PB	150Watt 120V	FT	White	None

SNTS 4"



4" SQUARE STRAIGHT STEEL

SPECIFICATIONS

SHAFT: 4" SQUARE FRAME A 100 PPM HIGH GRADE STAINLESS STEEL. SHAFT IS ANCHORED TO WALL BY 4" DIA. ANCHOR BOLTS. THE 4" DIA. ANCHOR BOLTS ARE LOCATED 18" FROM EACH END OF THE SHAFT. THE 4" DIA. ANCHOR BOLTS ARE LOCATED 18" FROM EACH END OF THE SHAFT. THE 4" DIA. ANCHOR BOLTS ARE LOCATED 18" FROM EACH END OF THE SHAFT.

BASE PLATE: FABRICATED FROM 1/2" THICK ALUMINUM. THE BASE PLATE IS ANCHORED TO WALL BY 4" DIA. ANCHOR BOLTS. THE 4" DIA. ANCHOR BOLTS ARE LOCATED 18" FROM EACH END OF THE SHAFT. THE 4" DIA. ANCHOR BOLTS ARE LOCATED 18" FROM EACH END OF THE SHAFT.

ANCHORAGE: FABRICATED FROM 1/2" THICK ALUMINUM. THE ANCHORAGE IS ANCHORED TO WALL BY 4" DIA. ANCHOR BOLTS. THE 4" DIA. ANCHOR BOLTS ARE LOCATED 18" FROM EACH END OF THE SHAFT. THE 4" DIA. ANCHOR BOLTS ARE LOCATED 18" FROM EACH END OF THE SHAFT.

FINISH: POLYESTER POWDER COAT. THE METAL SURFACE IS FINISHED WITH A POLYESTER POWDER COAT. THE METAL SURFACE IS FINISHED WITH A POLYESTER POWDER COAT. THE METAL SURFACE IS FINISHED WITH A POLYESTER POWDER COAT.

SNTS SERIES

ENGINEERING DATA

Maximum EPA - Square Feet

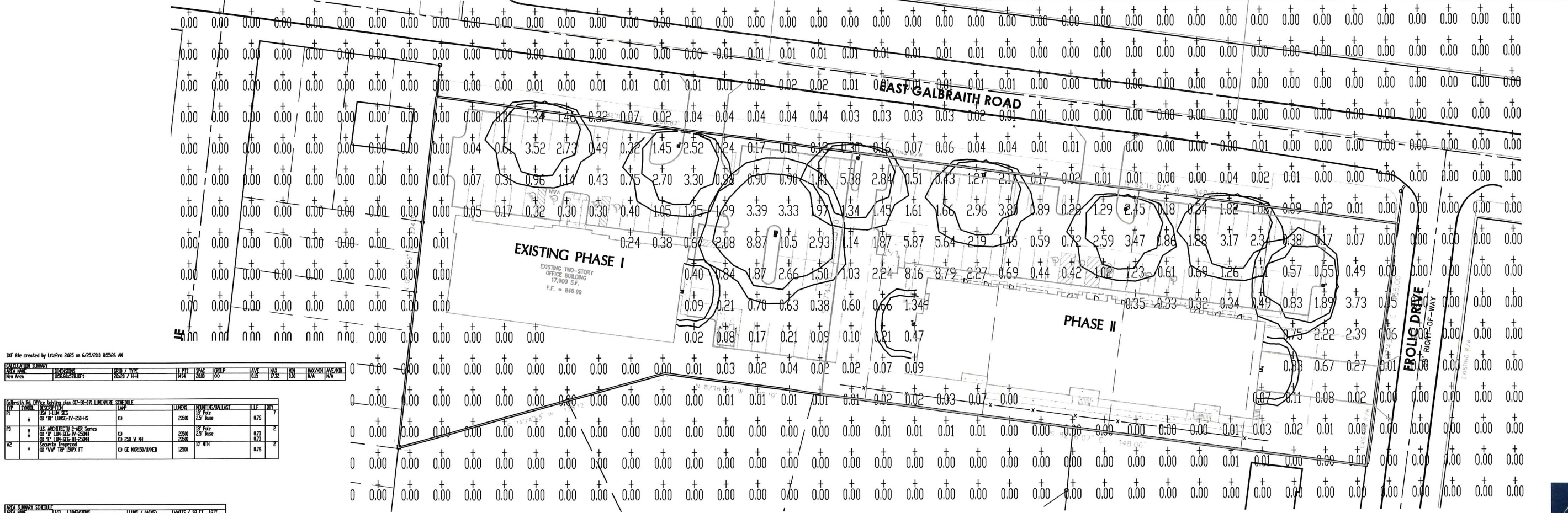
Catalog Number	Maximum 100 MPH	90 MPH	80 MPH	70 MPH
SNTS 104-11	400	15.7	20.5	26.1
SNTS 124-11	400	12.2	16.1	20.4
SNTS 144-11	400	9.9	12.8	16.1
SNTS 154-11	400	8.9	11.4	14.4
SNTS 164-11	400	7.9	10.1	12.8
SNTS 184-11	400	6.2	8.2	10.1
SNTS 204-11	400	4.8	6.2	7.9
SNTS 204-7	450	8.8	11.3	14.0
SNTS 254-11	350	1.6	3.2	5.5
SNTS 254-7	450	4.3	6.1	9.1

ORDERING INFORMATION

Series	Wattage/Voltage	Distribution	Finish	Options
SNTS	150Watt 120V	FT	Black	None
SNTS	150Watt 120V	FT	White	None
SNTS	150Watt 120V	FT	Black	None
SNTS	150Watt 120V	FT	White	None

ORDERING INFORMATION

Series	Wattage/Voltage	Distribution	Finish	Options
SNTS	150Watt 120V	FT	Black	None
SNTS	150Watt 120V	FT	White	None
SNTS	150Watt 120V	FT	Black	None
SNTS	150Watt 120V	FT	White	None



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1	06/25/2010	ISSUED FOR PERMIT	AW	AW

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1	06/25/2010	ISSUED FOR PERMIT	AW	AW

GALBRAITH PROFESSIONAL CENTER

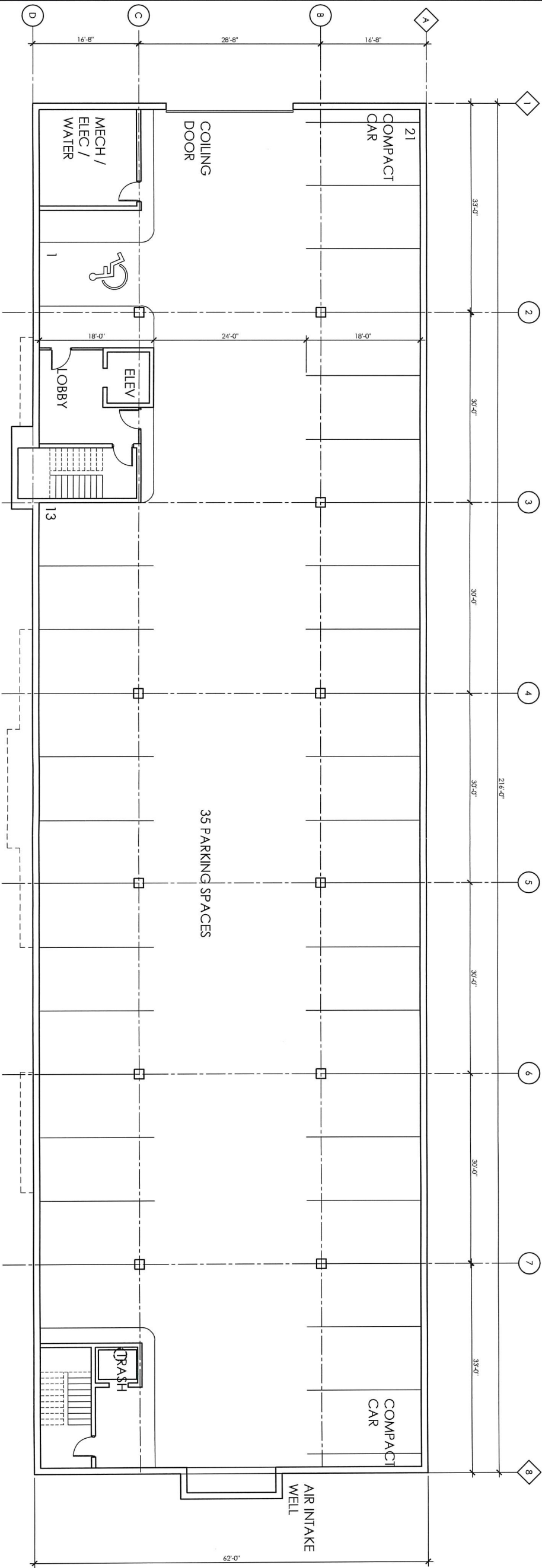
EAST GALBRAITH ROAD, CINCINNATI, OHIO

E100

K4 ARCHITECTURE, LLC
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Cincinnati, Ohio 45203
Tel: (513) 455-5005
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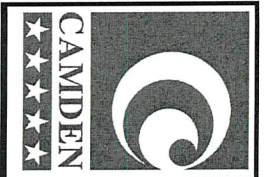


GARAGE PLAN
 SCALE: 1/8"=1'-0"



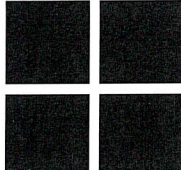
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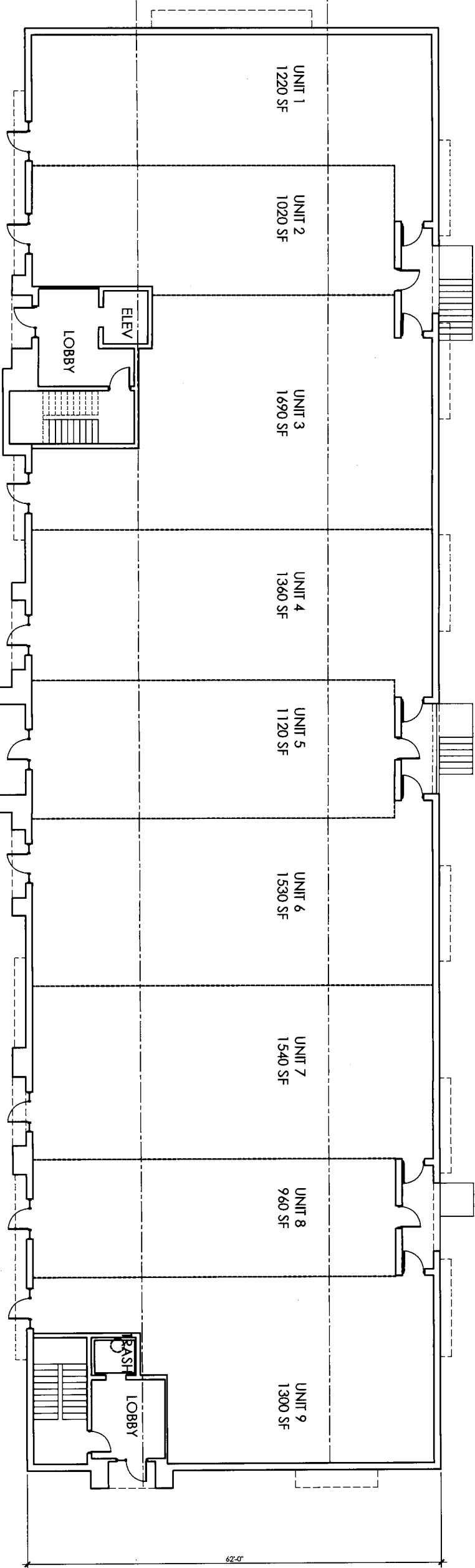
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Drawn by:	IK_BJ	Checked by:	AWS
FLOOR PLANS			

A1.0



FIRST FLOOR PLAN
 SCALE: 1/8"=1'-0"
 13,300 SF



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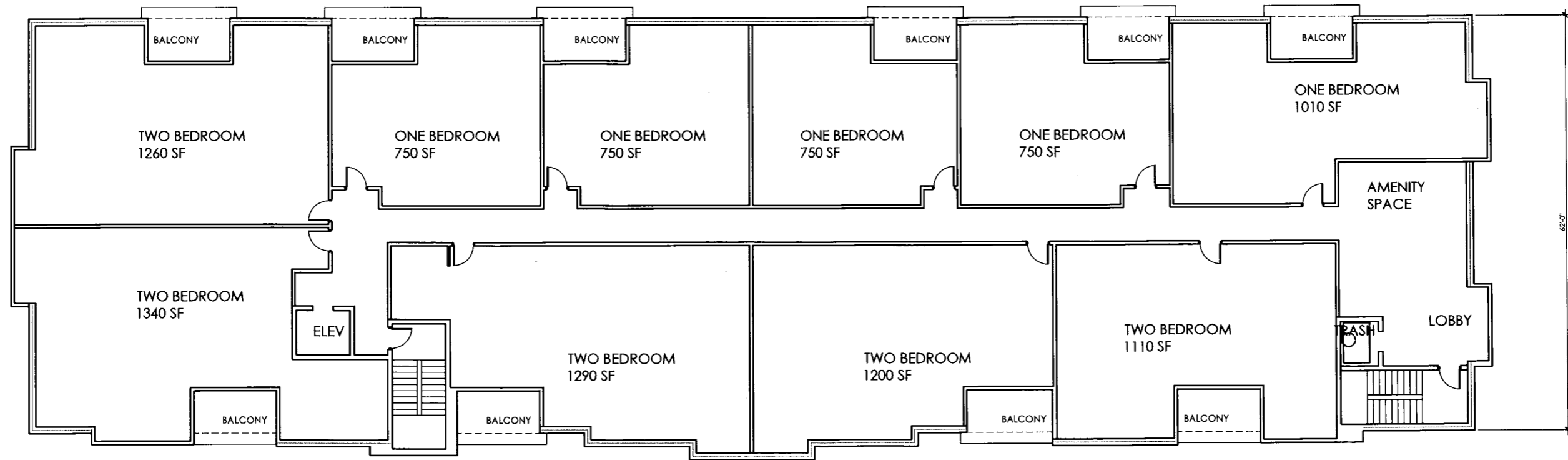
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Drawn by: IK, JSJ	Checked by: AWS
Date: 01/17/2017	Use #: -
FLOOR PLANS	

A1.1

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SECOND AND THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"
13,040 SF EACH FLOOR



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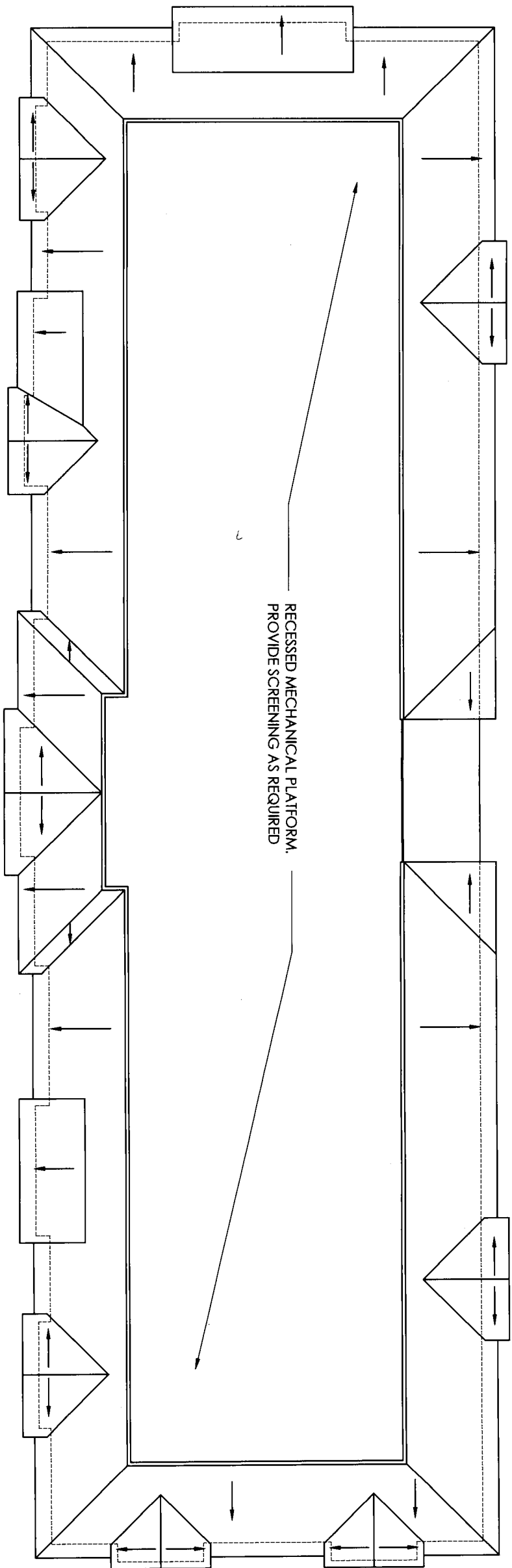


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Drawn by:	IK, JBJ
Checked by:	AW5
Date:	01/17/2017
Job #	-
FLOOR PLANS	

A1.2



ROOF PLAN
SCALE: 1/8"=1'-0"



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01/17/2017

Drawn by:
R. JB

Checked by:
AMS

Date:
01/17/2017

Job #
-

FLOOR PLANS

A1.3

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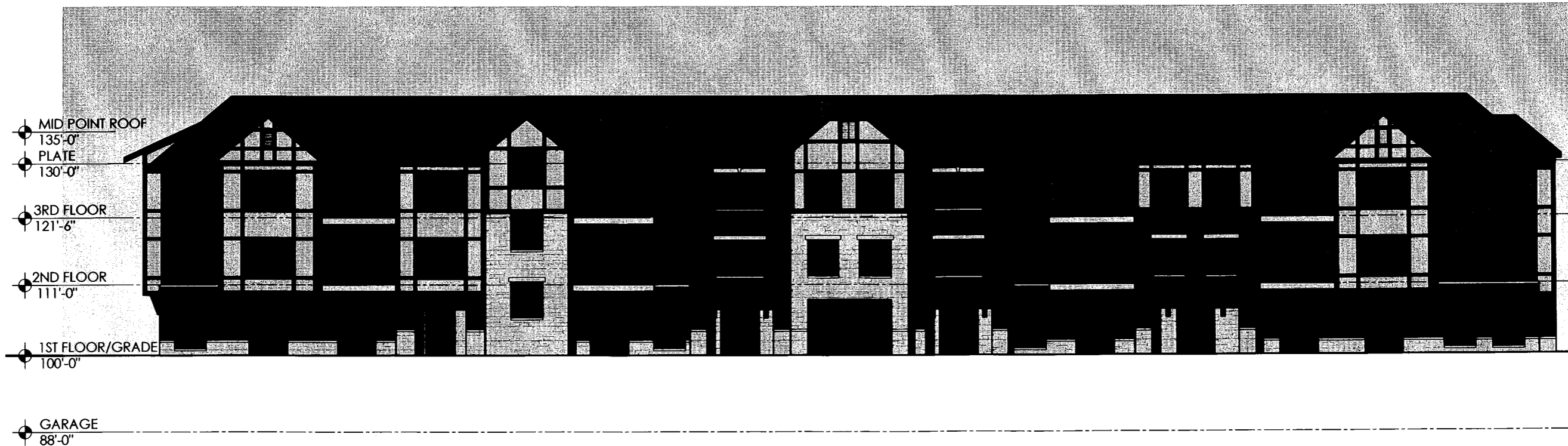
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01/17/2017

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Date: 01/17/2017 Job # --

FRONT ELEVATION

A2.1



EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"

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EAST ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"

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SIDE AND BACK
EXTERIOR ELEVATIONS

A2.2

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