

VICINITY MAP - NTS

SURVEY NOTES:

By graphic plotting only, subject property appears to be located in Community Panel 390610234E, a non-printed panel, Hamilton County, Ohio and unincorporated areas.

Underground pipes and conduits are plotted from structure to structure or from field markings or utility plans where applicable. Exact location of underground improvements cannot be determined without excavating and completely exposing them.

Subject property has direct access to Montgomery Road, a public right-of-way.

There was no observed field delineation of wetlands at the time of survey.

Except as shown and noted hereon, there is no visible evidence of encroachments on subject property.

There is no observable evidence of earth moving work, building construction or building additions within recent months on subject property at time of survey.

There are no immediate plans of roadway widening at the time of this survey per Hamilton County.

There are a total of 46 parking places on Parcel I and Parcel II including 2 designated accessible spaces. All monuments were found or set as shown hereon by method of random traverse with an unadjusted error of closure exceeding 1:15,000.

Bearings are based on NAD83 (2011) Ohio State Plane Coordinates, South Zone (3402).

All plat and deed references are to the Hamilton County, Ohio Recorder's Office and Registered Land Records.

Encroachment Table:

- [A] Concrete and asphalt pavement encroaches onto subject property.
- [B] Concrete block wall encroaches onto subject property.

UTILITY COMPANIES

Sanitary Sewer & Storm Water	Metropolitan Sewer District	(513) 244-1300
Water	Greater Cincinnati Water Works	(513) 591-7700
Gas	Duke Energy	(513) 287-2594
Electric	Duke Energy	(513) 287-3468
Telephone	Cincinnati Bell Telephone	(513) 397-5680
Cable TV	Time Warner Cable	(513) 489-5042

LINE TABLE

Line	Direction	Distance
L-1	S66°45'52"W (S66°45'52"W-Hwy)	52.55
L-2	N58°58'43"W (N58°58'43"W-Hwy)	39.43
L-3	S66°45'52"W (S66°45'52"W-Hwy)	31.97
L-4	S11°06'26"W (S11°06'26"W-Hwy)	32.70

Schedule B, Section 2 Commitment No. 38150431 Dated: July 6, 2016

ITEM	DESCRIPTION	COMMENT
11	Right-of-way and Utility Easement to the CS&E D.B. 3049, Pg. 348	Is on the surveyed property.
13	Perpetual and Temporary Easements to the State of Ohio D.B. 3675, Pg. 773	Does not touch surveyed property. (within public R/W)
14	Easements for Sanitary Sewer P.B. 90, Pg. 55 & 56	Is on the surveyed property.
15	Right-of-way and Easements for Utility, Temp. Construction, Slope and Encroachment. O.R. 9964, Pg. 1596 O.R. 9990, Pg. 2206	Is on the surveyed property.
16	Easement for Storm Sewer Detention O.R. 5146, Pg. 254 O.R. 13201, Pg. 1273	Is on the surveyed property.

Note: Items 1-10 and 17-19 are not survey related, Item 12 was intentionally deleted.

EXISTING UTILITIES TABLE

UTILITY	ENTRY POINT TO PROPERTY IS THROUGH:			
	ROAD R/W	EASEMENT	SUBJECT PROPERTY	ADJACENT PROPERTY NO RECORDS/EVIDENCE
SANITARY		YES	YES	
STORM				YES
WATER	YES			
GAS	YES	YES		
ELECTRIC	YES	YES		
TELEPHONE	YES	YES		
CABLE TV				YES

LEGEND

- Ex Sanitary M.H.
- Ex Sanitary Clean Out
- Ex Storm M.H.
- Ex Storm Catch Basin
- Ex Storm Catch Basin
- Ex Storm Yard Drain
- Ex Storm Down Spout
- Ex Fire Hydrant
- Ex Water M.H.
- Ex Water Valve
- Ex Water Meter
- Ex Spigot
- Ex Dec. M.H.
- Ex Dec. Box
- Ex Dec. Meter
- Ex Light Pole
- Ex Yard Light
- Ex Utility Pole
- Ex Gas Valve
- Ex Gas Meter
- Ex Tele. M.H.
- Ex Tele. Box
- Ex Cable Box
- Ex Sign
- Ex Mail Box
- Ex Post
- Ex Ballast
- Ex Flag Pole
- Ex Signal Pole
- Ex Pull Box
- Ex Bulbing
- Ex Traffic Flow
- Ex Deciduous Tree
- Ex Evergreen Tree
- Ex Guy Wire
- Ex Air Conditioning
- Ex Landscape Border
- Ex Major Contour
- Ex Minor Contour

MONUMENTATION

- Found 5/8" Iron Pin
- Found Iron Pipe
- Found MAG Nail
- Set 5/8"x30" Iron Pin
- Stamped "Boyer Becker"
- Set MAG Nail
- Set Cross Notch
- Set Benchmark

BENCHMARK
A set cross notch located on the sidewalk in the existing Southeast right-of-way of Montgomery Road approximately 115' Northeast of the existing centerline of Kenwood Road. Said cross notch is 3.9' South of the Southeast curb line of Montgomery Road, 28.2' West of a light pole and 163.8' Southwest of a storm catch basin.
Elevation = 843.37 (NAVD 88)

DESCRIPTION - PARCEL I
Situate in Section 7, Town 4, Entire Range 1, Sycamore Township, Hamilton County, Ohio and being more particularly described as follows:
Beginning at the intersection of Montgomery Road and the center line of Kenwood Road; Thence, North 60°43' East, along the center line of Montgomery Road, 950.66 feet; Thence, continuing along the center line of said Montgomery Road, North 61°02' East, 279.88 feet; Thence, leaving the center line of Montgomery Road, South 28°58' East, 41.00 feet to a set spike in the southerly line of said Montgomery Road and the Real Place of Beginning for this conveyance;
Thence, along the southerly line of said Montgomery Road, North 61°02' East, 126.00 feet; Thence, South 28°58' East, 204.00 feet; Thence, South 61°02' West, 126.00 feet; Thence, North 28°58' West, 204.00 feet to the Real Place of Beginning.

DESCRIPTION - PARCEL II
Situate in Section 7, Town 4, Entire Range 1, Sycamore Township, Hamilton County, Ohio and being more particularly described as follows:
Beginning at a point in the center line of Montgomery Road, where the same is intersected by the center line of Kenwood Road as now built; Thence North 60°43' East, along the center line of Montgomery Road, 950.66 feet to a angle; Thence, continuing along the center line of Montgomery Road, North 61°02' East, 179.88 feet to the Place of Beginning for this conveyance;
Thence from the said beginning point, North 61°02' East, along the center line of Montgomery Road, 100.00 feet; Thence, South 28°58' East, 245.00 feet; Thence, South 61°02' West, Parallel with Montgomery Road, 100.00 feet; Thence, North 28°58' West, 245.00 feet to the center line of Montgomery Road and the Place of Beginning. Containing 0.310 Acre.

DESCRIPTION - Less and Except
Less and except the following described premises from Parcels I & II above:
Situate in Section 7, Town 4, Entire Range 1, Sycamore Township, Hamilton County, and State of Ohio, being more particularly described as follows:
Being a parcel of land lying on the left and right sides of a survey centerline made by the Ohio Department of Transportation as recorded in Plat Book 87, Pages 12 & 13 of the Records of Hamilton County Recorder's Office; Commencing at a point being the intersection of the Montgomery Road centerline with the centerline of Kenwood Road (South); Thence, North 66°28'52" East, (R.L. Brg. North 60°43'00" East) a distance of 950.66 feet to a point; Thence, North 66°47'52" East, (R.L. Brg. North 61°02'00" East) a distance of 179.88 feet to the Point of Beginning;
Thence North 66°47'52" East, (R.L. Brg. North 61°02'00" East) a distance of 226.00 feet; Thence South 23°12'08" East, (R.L. Brg. South 28°58'00" East) a distance of 57.05 feet to a point; Thence South 11°06'26" West, (R.L. Brg. South 05°20'34" West) a distance of 32.70 feet to a point; Thence South 66°45'52" West (R.L. Brg. South 61°00'00" West) a distance of 31.97 feet to a point; Thence North 58°58'43" West (R.L. Brg. North 64°44'35" West) a distance of 39.43 feet to a point; Thence South 66°45'52" West (R.L. Brg. North 61°00'00" West) a distance of 152.55 feet to a point; Thence North 23°12'08" West (R.L. Brg. North 28°58'00" West) a distance of 52.18 feet to the Point of Beginning. Containing 0.310 Acre.

CERTIFICATION
To: McDonald's USA, LLC, a Delaware limited liability company, McDonald's Corporation, a Delaware Corporation, McDonald's Real Estate Company and Chicago Title Insurance Company.
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-5, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 11(b), 17, 19 & 20 of Table A thereof.
The field work was completed on August 12, 2016.
Date of Plat or Map Terry J. Stowell Jr. P.S. # 8690 State of Ohio

State Plane NAD83 GPS Observations
0 20 30
SCALE: 1" = 20'

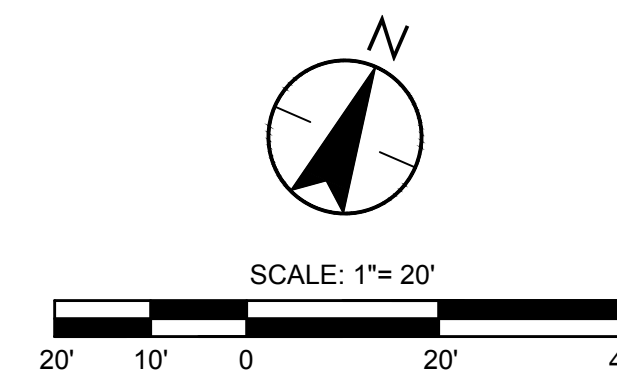
McDonald's USA, LLC
L/C #034-0006
7916 MONTGOMERY ROAD
SECTION 7, TOWNSHIP 4, ENTIRE RANGE 1
SYCAMORE TOWNSHIP
HAMILTON COUNTY, OHIO
ALTA/NSPS LAND TITLE SURVEY

Revision Description
Date
Drawn: Chk
Item

Drawing: 12K008-003 AS2
Drawn by: TJS
Checked by: CRG
Issue Date: 8/30/16
Sheet: 1 of 1

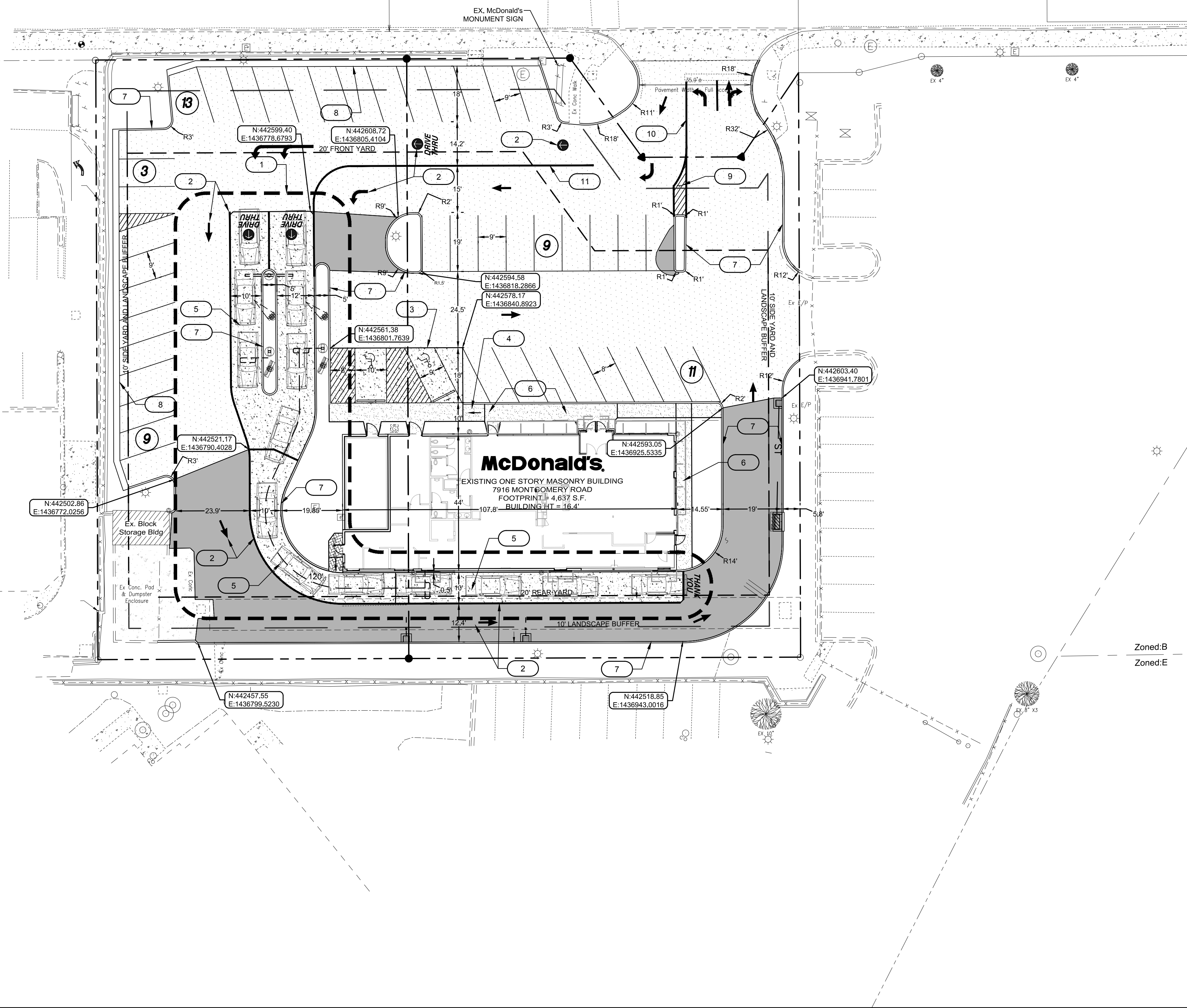
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PROPOSED SITE PLAN
SCALE 1" = 20'



**MONTGOMERY ROAD
(U.S. 22)**

(R/W VARIES)
ASPHALT STREET
w/ CONC. CURB
COUNTY MAINTAINED



KEYNOTES

- 1 SEE SHEET DT1.0 FOR DETAIL OF SIDE BY SIDE DRIVE THRU.
- 2 PAVEMENT STRIPING MARKINGS
- 3 ACCESSIBLE PARKING STALLS. SEE SHEET SD1.0 FOR DETAIL
- 4 ADA RAMP. SEE SHEET SD1.0 FOR DETAILS
- 5 NEW CONCRETE PAVING. SEE SHEET SD1.0 FOR DETAIL
- 6 NEW SIDEWALK. SEE SHEET SD1.0 FOR DETAIL
- 7 NEW 6"X18" CONCRETE CURB. SEE SHEET SD1.0 FOR DETAIL
- 8 NEW 10"X24" CONCRETE CURB. SEE SHEET SD1.0 FOR DETAIL
- 9 NEW DIRECTIONAL SIGN. SEE SHEET C3.0 FOR DETAIL
- 10 DOUBLE YELLOW LINE
- 11 SINGLE YELLOW LINE

PARKING INFORMATION (PROPOSED)

TOTAL SPACES	ACCESSIBLE	2	SPACES	9' X 18'
	STANDARD	42	SPACES	9' X 18'
44				

PARKING INFORMATION (EXISTING)

TOTAL SPACES	ACCESSIBLE	2	SPACES	9' X 18'
	STANDARD	44	SPACES	9' X 18'
46				

SITE ACCESSIBILITY ENTRANCE SIGNS

AT EVERY PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL, THERE SHALL BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES AND FACILITIES.

DIRECTIONAL SIGN DETAIL



SITE PLAN LEGEND

- EXISTING CURB
- - - PROPERTY LINE
- NEW 6" X 18" CONC. CURB
- [Pattern] NEW CONCRETE PAVING
- [Pattern] NEW ASPHALT PAVING
- [Pattern] NEW CONCRETE SIDEWALK
- [Pattern] MILL AND REPLACE EXISTING ASPHALT
- (X) NEW PARKING COUNT
- [Symbol] NEW PAVEMENT STRIPING
- [Symbol] DRIVE THRU



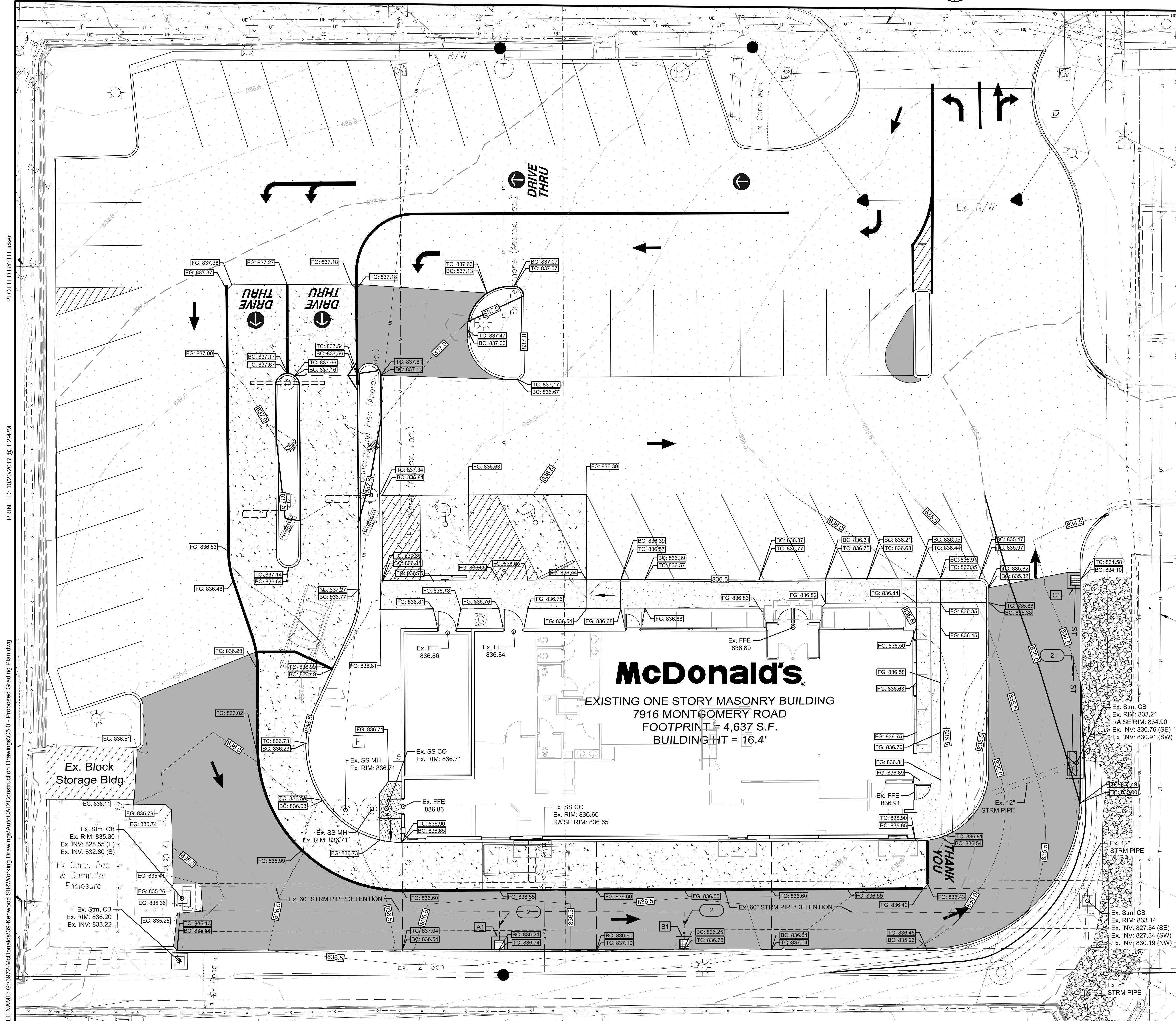
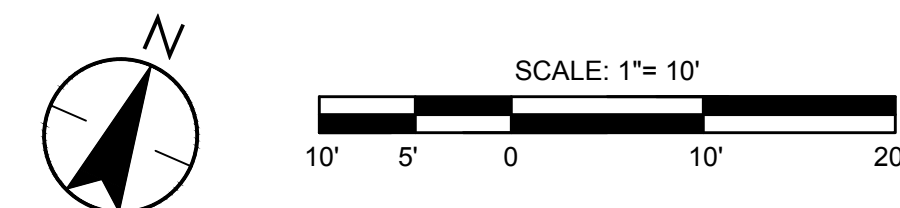
PREPARED FOR:
McDonald's USA, LLC
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DRAWN BY	RSS	STD ISSUE DATE	TBD	REVIEWED BY	RSS	DATE ISSUED	CONCEPT PLAN
TITLE	MRP CORE 16 OHIO REGION EXTERIOR FINISH TO BE DETERMINED						
SHEET NO.	C3.0 PROPOSED SITE PLAN						
SITE ADDRESS	7916 MONTGOMERY RD. CINCINNATI, OH						
DATE	3-4-2025						

FILE NAME: G:\3972-McDonalds\39-Kenwood SIR\Working Drawings\AutoCAD\Construction Drawings\C3.0 - Proposed Site Plan.dwg
PRINTED: 10/20/2017 @ 1:28PM
PLOTTED BY: DTucker

PROPOSED GRADING PLAN

SCALE 1" = 10'



GENERAL NOTES

- ALL PARKING LOT IMPROVEMENTS SHALL MATCH SURROUNDING EXISTING GRADES.
- ALL EXISTING PAVEMENT EDGES SHALL BE PROTECTED DURING CONSTRUCTION UNTIL NEW/FINAL PAVEMENT IS INSTALLED.
- THE CONTRACTOR SHALL NOTIFY MCDONALDS CONSTRUCTION MANAGER IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN AND SHALL NOT PROCEED UNTIL GIVEN APPROVAL BY MCDONALDS CONSTRUCTION MANAGER.
- CONTRACTOR SHALL PROVIDE A COMPACTION AND/OR CORE SAMPLE UPON REQUEST BY MCDONALDS CONSTRUCTION MANAGER. IF SAMPLES COMPLY MCDONALDS SHALL PAY FOR THE EXPENSE. IF THE SAMPLES DO NOT COMPLY THE CONTRACTOR IS RESPONSIBLE FOR THE EXPENSE.
- ALL PROPOSED UTILITIES WITHIN PAVEMENT INFLUENCE TO HAVE GRANULAR CONTROLLED DENSITY BACKFILL TO 98% MAX. DENSITY IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
- ADDITIONAL REQUIREMENTS LOCATED WITHIN THE MCDONALDS PROJECT MANUAL AND THE CIVIL DESIGN REFERENCE MANUAL.

PLAN LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- FINISH GRADE SPOT ELEVATION
- EXISTING GRADE SPOT ELEVATION
- BOTTOM OF CURB SPOT ELEVATIONS
- TOP OF CURB SPOT ELEVATIONS
- NEW MANHOLE
- NEW STORM INLET
- EXIST. GAS LINE
- EXIST. GAS METER
- EXIST. WATER METER
- EXIST. HYDRANT
- EXIST. OVERHEAD ELECTRIC LINE
- EXIST. POWER POLE
- EXIST. LIGHT POLE
- EXIST. SANITARY SEWER LINE
- EXIST. SANITARY MANHOLE
- EXIST. STORM SEWER LINE
- EXIST. STORM INLET

PRE/POST IMPERVIOUS DATA

PRE DATA
 IMPERVIOUS: 37220.6553 SQFT.
 PERVIOUS: 4639.1942 SQFT.

POST DATA
 IMPERVIOUS: 36751.8162 SQFT.
 PERVIOUS: 5108.0336 SQFT.

KEYNOTES

- STORM INLET, SEE SHEET SD1.1
- NEW 12" STORM PIPE

PATTERNS

- DENOTES CONCRETE PAVEMENT
- DENOTES CONCRETE SIDEWALKS
- DENOTES NEW FULL DEPTH ASPHALT
- DENOTES MILL AND REPLACE EX. ASPHALT

STORM SEWER STRUCTURES		
INLET	RIM	INVERT
A1	836.2400	833.2400
B1	836.2500	833.2500
C1	834.1000	831.7000

STATE OF OHIO
 HARVEY H. HEDRICK
 REGISTERED PROFESSIONAL ENGINEER
 10/24/17

PREPARED BY: **McDonald's USA, LLC**
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DRAWN BY: RSS
 STD ISSUE DATE: TBD
 REVIEWED BY: RSS
 DATE ISSUED: TBD
 CONCEPT PLAN

TITLE: **MRP CORE 16 OHIO REGION**
 DESCRIPTION: **EXTERIOR FINISH TO BE DETERMINED**

SHEET NO. **C5.0**
 PROP GRADING PLAN

DATE: _____
 REV: _____
 DESCRIPTION: _____

BY: _____

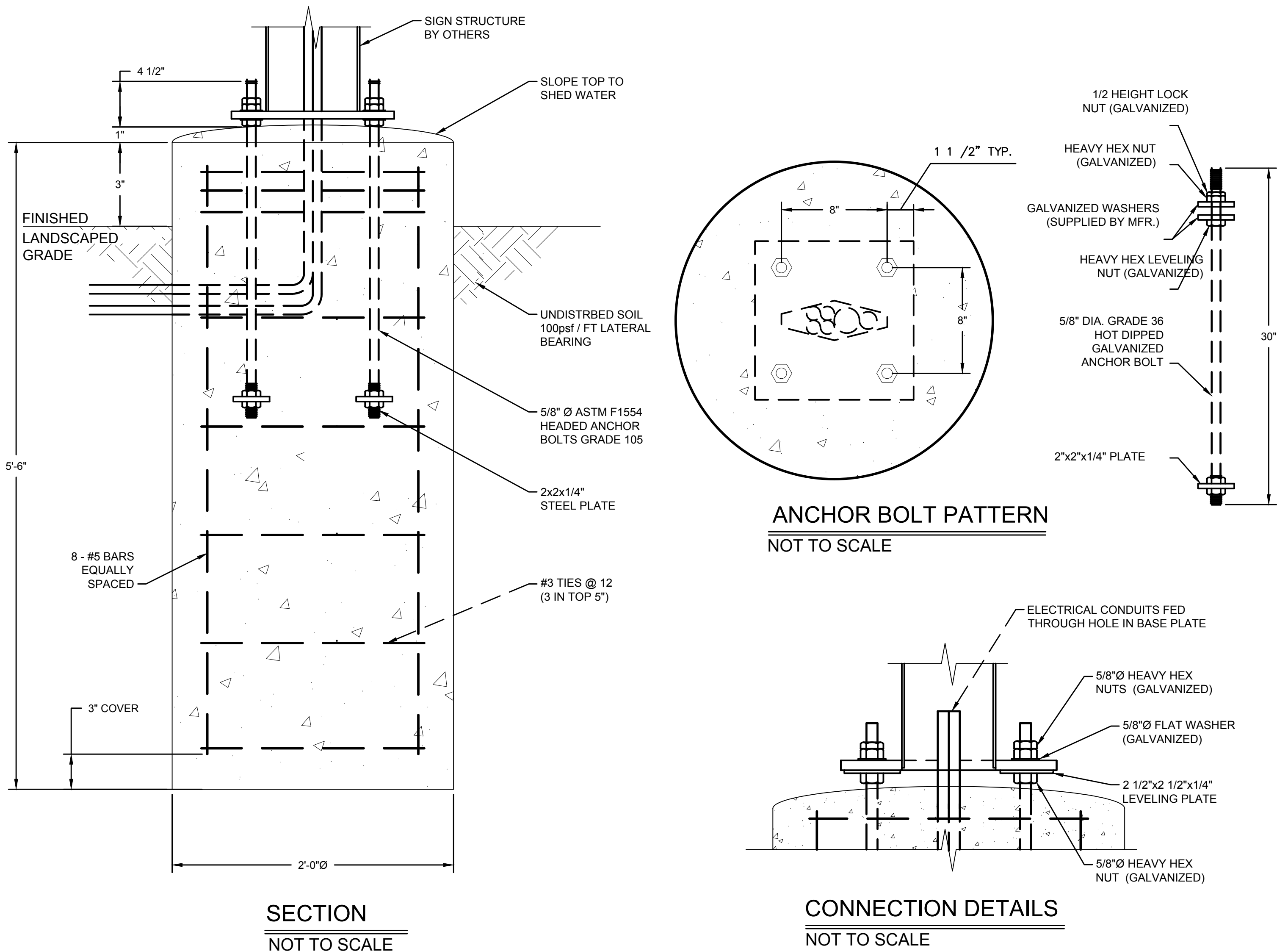
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 GRW PROJECT NO.: 3972-39
 www.gwinc.com

ISSUED FOR REVIEW

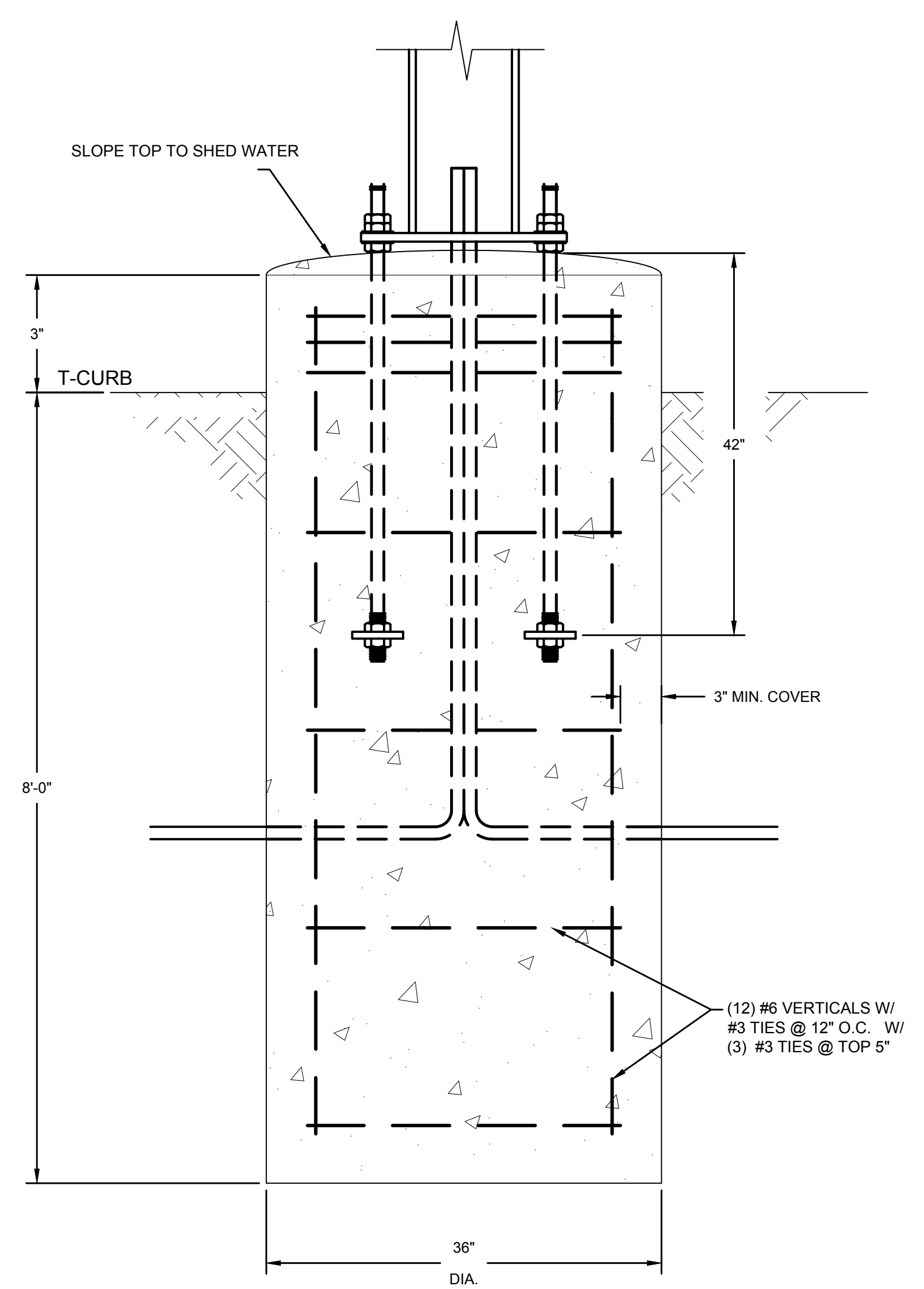
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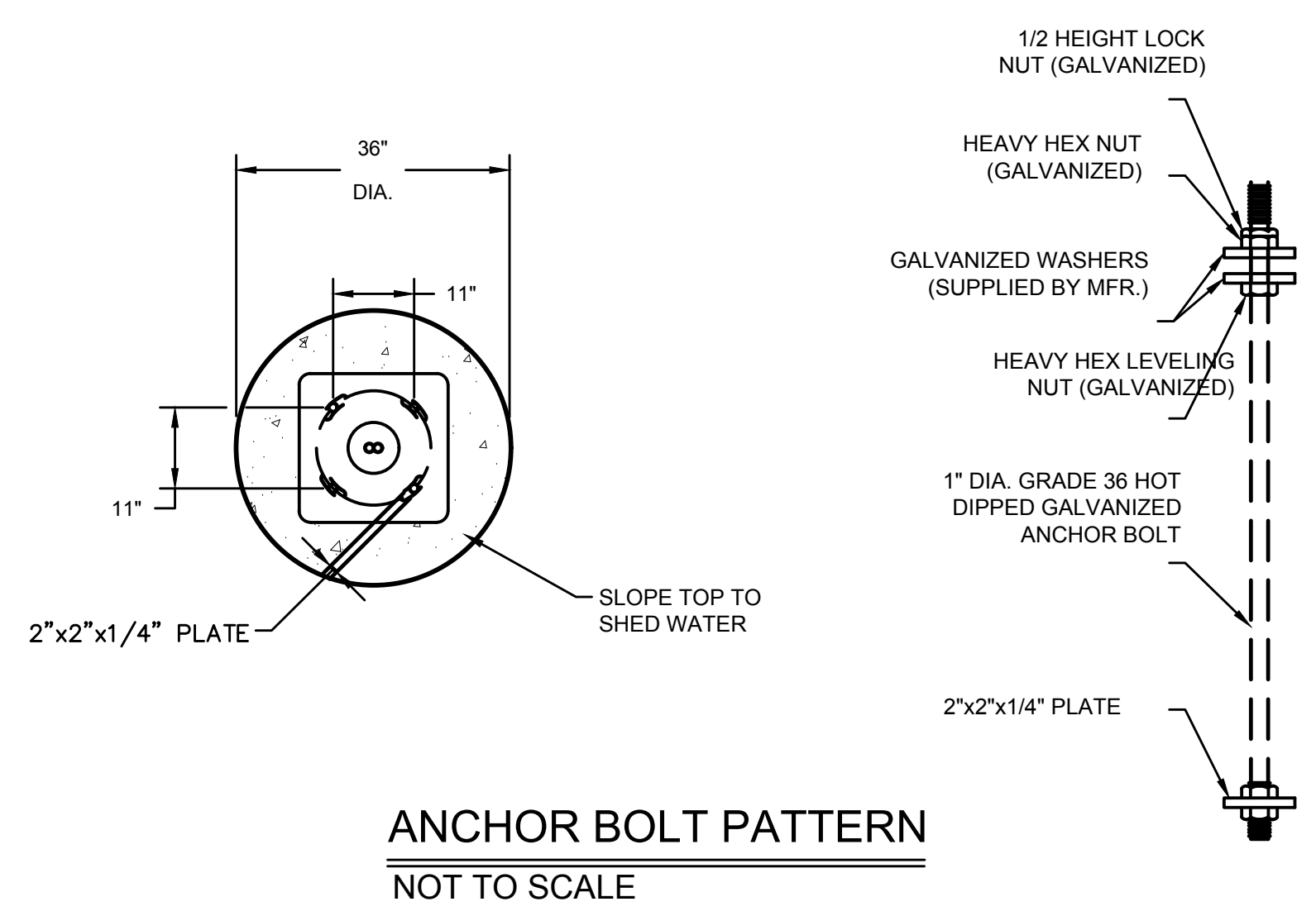
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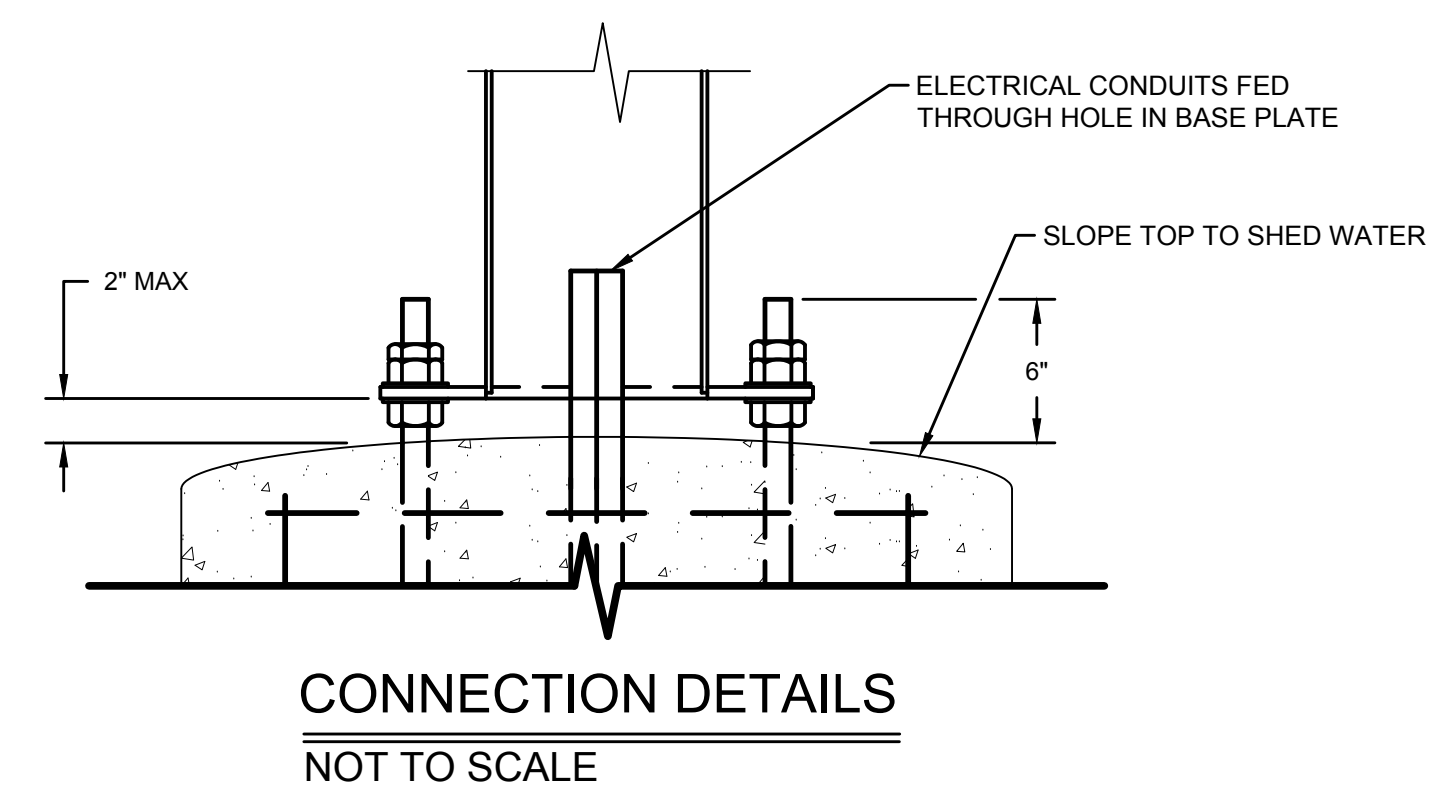
"MENU BOARD" SIGN FOUNDATION NOT TO SCALE



"ORDER HERE" SIGN FOUNDATION NOT TO SCALE



"ORDER HERE" SIGN FOUNDATION NOT TO SCALE



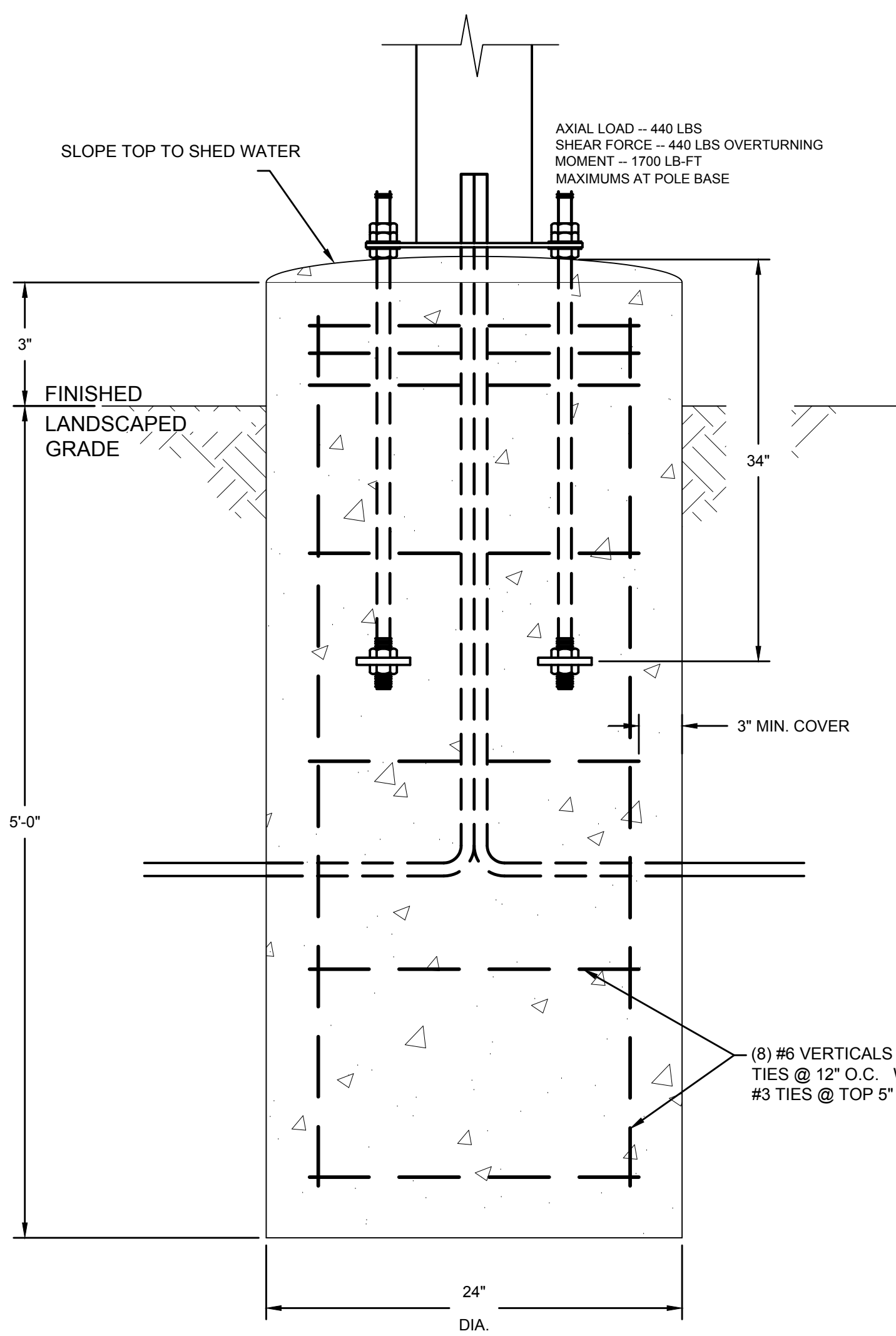
GENERAL NOTES - SIGN FOUNDATIONS

- THE FOLLOWING CODES WERE USED TO DETERMINE THE SIGN LOADING:
- ASCE 7-05 (AS REFERENCED BY THE BUILDING CODE)
 - STRUCTURE OCCUPANCY CATEGORY: CATEGORY II
- WIND**
- WIND SPEED: 90 MPH (3 SEC GUST)
 - WIND EXPOSURE CATEGORY: CATEGORY C
 - WIND IMPORTANCE FACTOR - IW = 1.00
 - WIND PRESSURE: NET WIND PRESSURE OF 25 PSF
- SEISMIC**
- SIGNS DESIGNED FOR A SEISMIC RESPONSE COEFFICIENT OF: CS = 0.2.
 - ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE.
- FOUNDATIONS**
- EXISTING UNDERGROUND UTILITIES IN AREAS OF FOUNDATION CONSTRUCTION SHALL BE LOCATED PRIOR TO CONSTRUCTION OF FOUNDATIONS. APPROPRIATE MEASURES SHALL BE TAKE TO PREVENT DAMAGE TO EXISTING UTILITIES.
 - ALL FOOTING/ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE. SIGN FOUNDATIONS SHALL NOT BE CONSTRUCTED IN UNCOMPACTED OR UNCONTROLLED FILL. UNDERCUT AND REPLACE UNSATISFACTORY FILL IN ACCORDANCE WITH INSTRUCTIONS FROM A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTING SIGN FOUNDATIONS.
 - ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER, ICE, MUD, MUCK, PEAT, ORGANIC MATERIAL AND FOREIGN MATTER BEFORE PLACING CONCRETE.
 - MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT SITE SOIL CONDITIONS HAVE BEEN ASSUMED, AND SHALL BE CONFIRMED BY A QUALIFIED GEOTECHNICAL ENGINEER. IF ACTUAL SOIL CONDITIONS ARE LESS THAN ASSUMED, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
 - ELECTRICAL COMPONENTS HAVE BEEN SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL CONSTRUCTION.
 - ALL PIERS TO EXTEND MINIMUM 12 INCHES BELOW FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION, REGARDLESS OF DEPTH SHOWN.
 - NO ADDITIONAL COMPENSATION WILL BE PAID FOR ROCK CORING OR ROCK EXCAVATION FOR SIGN FOUNDATIONS UNLESS EXPRESSLY STATED ELSEWHERE IN THE CONTRACT DOCUMENTS.
- CONCRETE:**
- ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACI 301, ACI 318, ACI 117, AND ACI 305 AND ACI 306 AS REQUIRED.
 - TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 - LEAVE GAP BETWEEN CROWN OF CONCRETE AND BOTTOM OF BASE PLATE SO THAT POLE CAN DRAIN.
 - MINIMUM CONCRETE STRENGTH (f_c) SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS.
 - USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION.
 - AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS.
 - WATER / CEMENTITIOUS MATERIAL RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS.
 - FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS.
 - PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
 - REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS.
 - ANCHOR BOLTS SHALL BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE. MISALIGNED OR IMPROPERLY PLACED ANCHOR BOLTS ARE CAUSE FOR REPLACEMENT OF ENTIRE FOUNDATION AT CONTRACTOR'S SOLE EXPENSE.
 - DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS.
- STEEL:**
- STEEL PIPE SHALL CONFORM TO ASTM A53 OR A252 TYPE E GRADE B (F_y = 35ksi).
 - STEEL WIDE FLANGE SHALL CONFORM TO ASTM A992 (F_y = 50ksi).
 - HSS ROUND SECTION SHALL CONFORM TO ASTM A500 GRADE B (F_y = 42ksi).
 - HSS SQUARE/RECTANGULAR SECTIONS SHALL CONFORM TO ASTM A500 GRADE B (F_y = 46ksi).
 - CONNECTION BOLTS SHALL CONFORM TO ASTM A325.
 - STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES SHALL CONFORM TO ASTM A36.
 - NUTS SHALL CONFORM TO ASTM A563DH OR ASTM A194-2H.
 - WASHERS SHALL CONFORM TO ASTM F 436
 - RODS, BOLTS, NUTS AND WASHERS SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A 153 OR A 123.
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS ASSEMBLIES FROM THE SIGNLIGHTING MANUFACTURER.
 - NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
 - DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.
 - AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
 - ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1 BY QUALIFIED WELDERS.
 - FOLLOW SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS.
 - FLAG SIZES SHALL NOT EXCEED THE FOLLOWING AREA LIMITATIONS:
- 25'-0" POLE -> 5'-0" x 8'-0" FLAG
 - 30'-0" POLE -> 6'-0" x 10'-0" FLAG
 - 40'-0" POLE -> 8'-0" x 12'-0" FLAG
 - 50'-0" POLE -> 10'-0" x 15'-0" FLAG
- FOLLOW FLAG MANUFACTURER DRAWINGS AND INSTALLATION INSTRUCTIONS
 - CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND JOBSITE SAFETY.
 - ANY FIELD MODIFICATIONS ARE TO BE VERIFIED BY THE ENGINEER RESPONSIBLE FOR THE DESIGN OF THE COMPONENT TO BE MODIFIED.

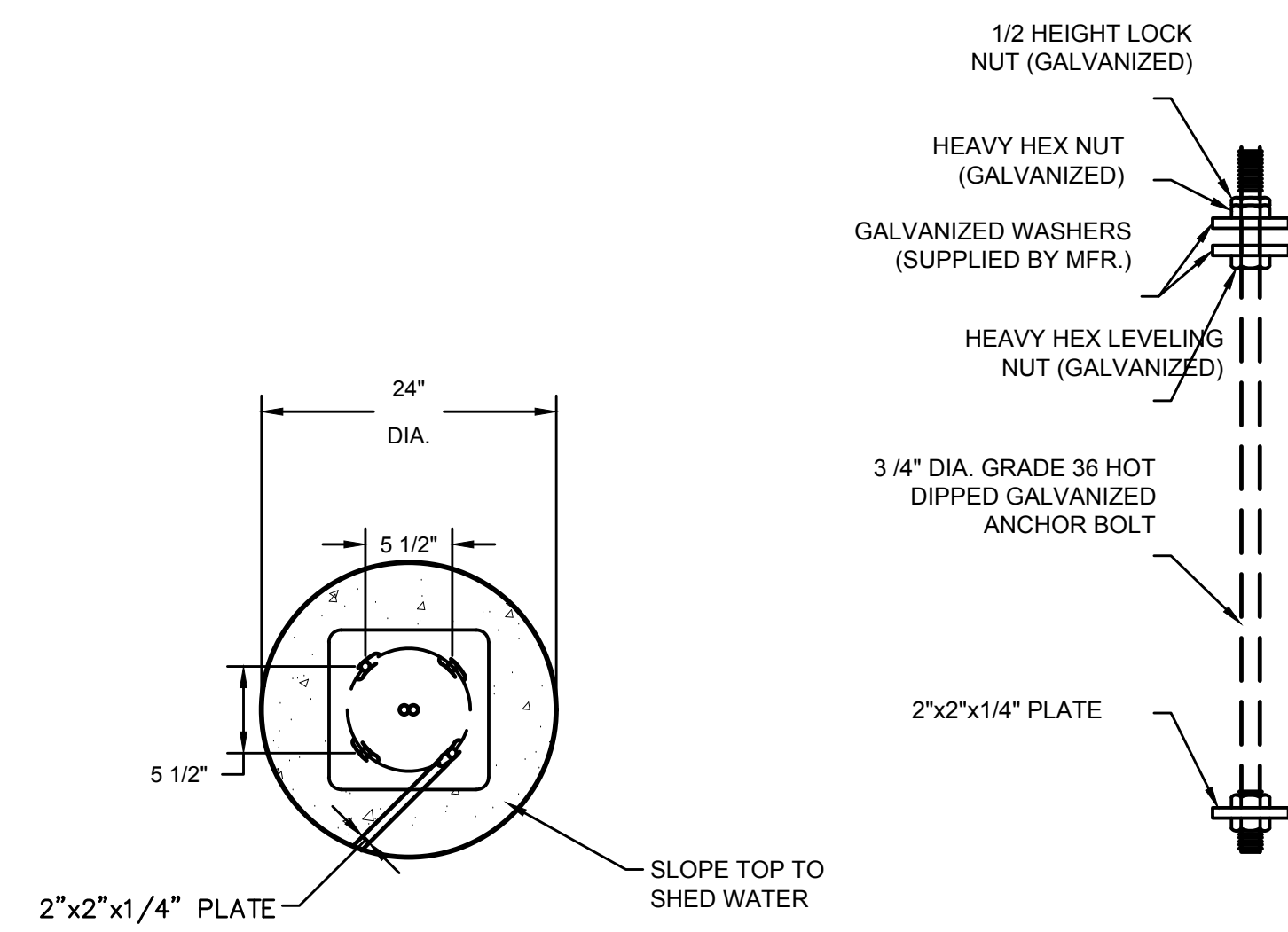
STATE OF OHIO HARVEY H. HEDRICK REGISTERED PROFESSIONAL ENGINEER 10/21/17	PREPARED BY: G&G engineering architecture geospatial www.gwinc.com	GRW PROJECT NO.: 3972-39
<p>McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. The use of these drawings for reference or example on another project requires the approval of the engineer. The contract documents for use on another project is not authorized.</p>		
<p>DRAWN BY: RSS</p> <p>ISSUE DATE: TBD</p> <p>REVIEWED BY: RSS</p> <p>DATE ISSUED: CONCEPT PLAN</p>	<p>TITLE: MRP CORE 16 OHIO REGION</p> <p>DESCRIPTION: EXTERIOR FINISH TO BE DETERMINED</p> <p>SITE ADDRESS: 7916 MONTGOMERY RD, CINCINNATI, OH</p> <p>SHEET NO.: 34-0006</p>	<p>DATE: _____</p> <p>REV: _____</p> <p>DATE: _____</p> <p>REV: _____</p> <p>DATE: _____</p> <p>REV: _____</p> <p>DATE: _____</p> <p>REV: _____</p> <p>DATE: _____</p> <p>REV: _____</p> <p>DATE: _____</p> <p>REV: _____</p>

ISSUED FOR REVIEW

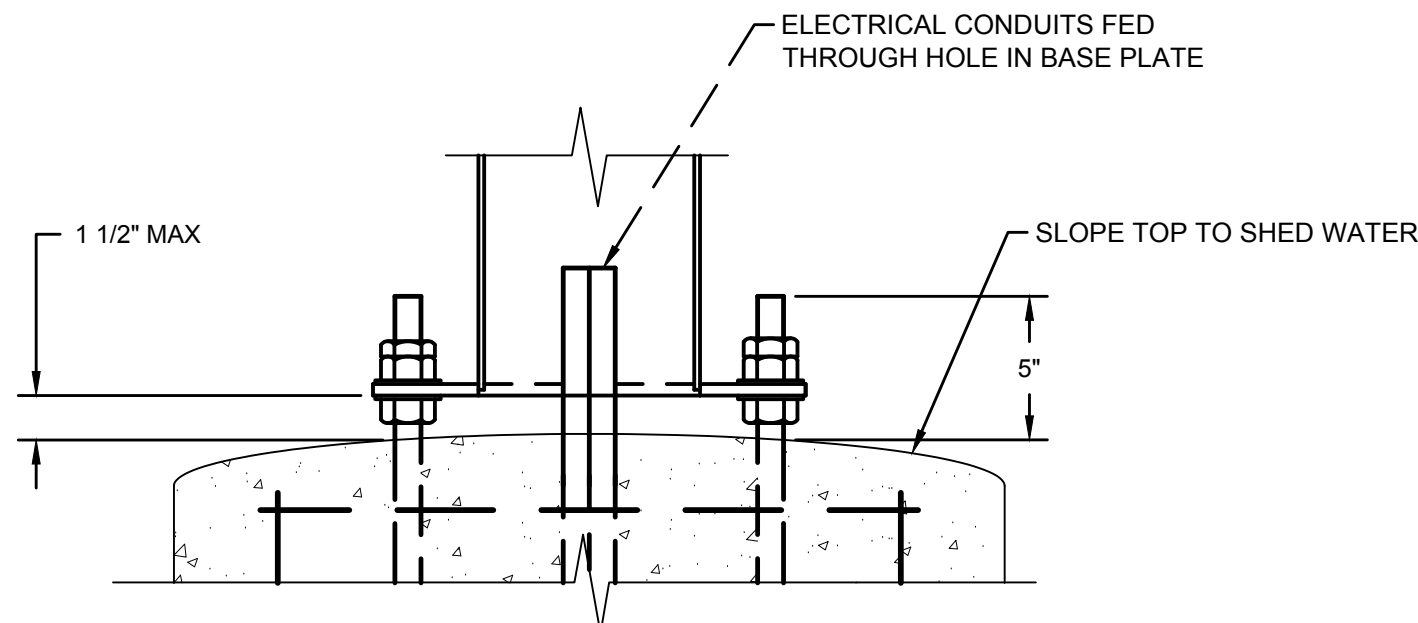
FILE NAME: G:\3972-McDonalds\39-Kenwood SIR\Working Drawings\AutoCAD\Construction Drawings\SD3.0 - Gateway & Pre-sell Board Details.dwg
 PRINTED: 10/20/2017 @ 1:33PM
 PLOTTED BY: DTucker



SECTION
NOT TO SCALE



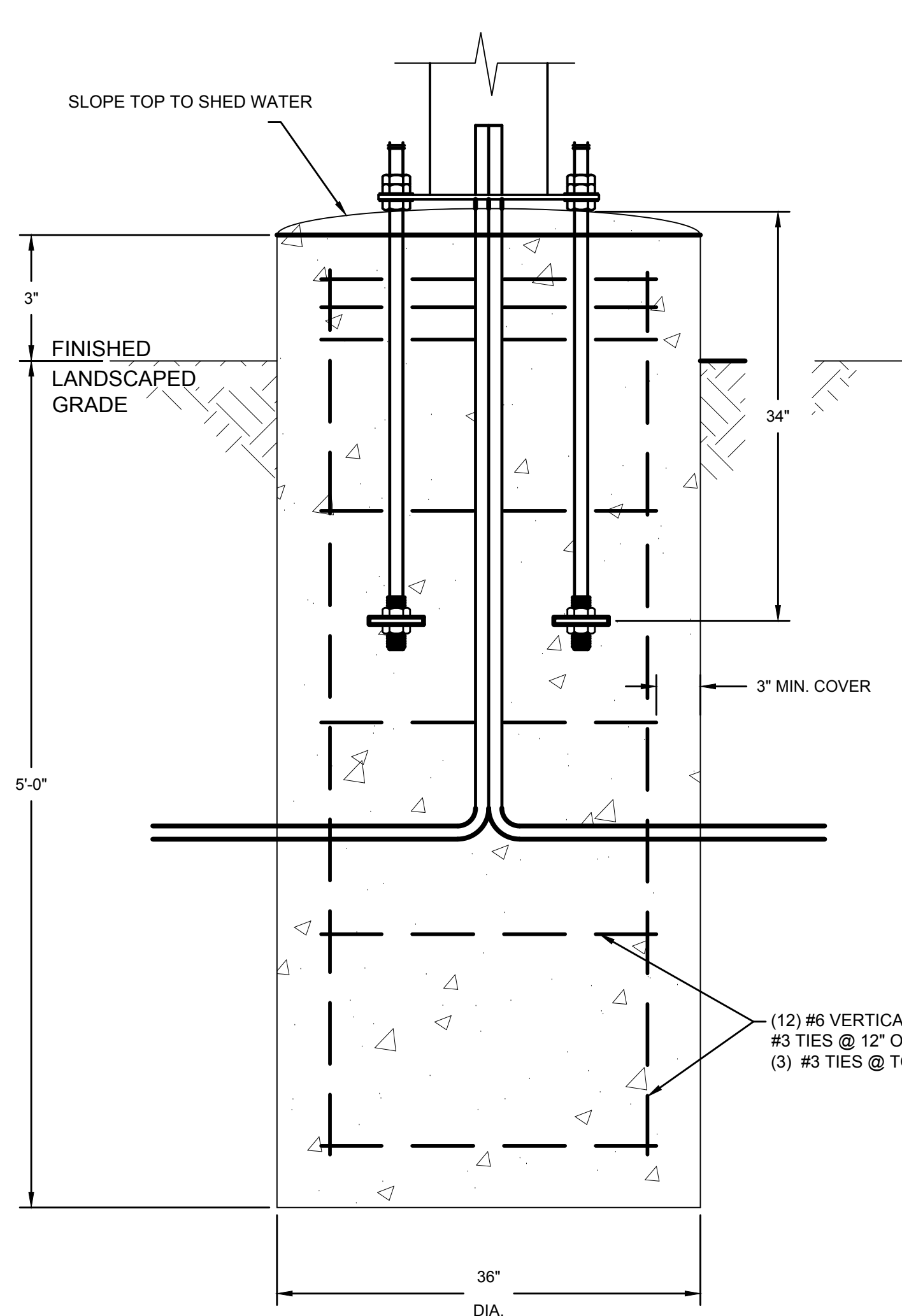
ANCHOR BOLT PATTERN
NOT TO SCALE



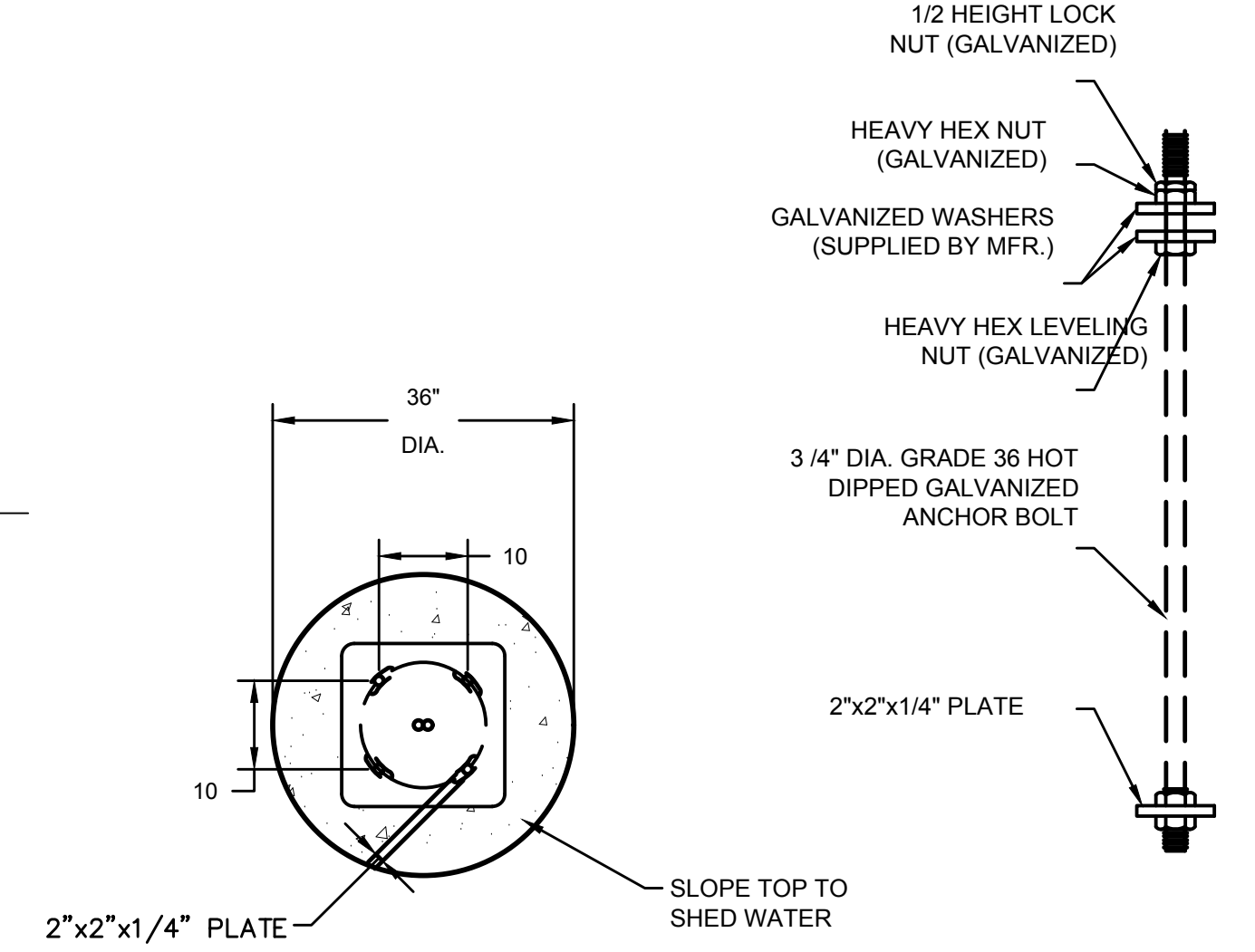
CONNECTION DETAILS
NOT TO SCALE

**"PRE-SELL"
SIGN FOUNDATION**
NOT TO SCALE

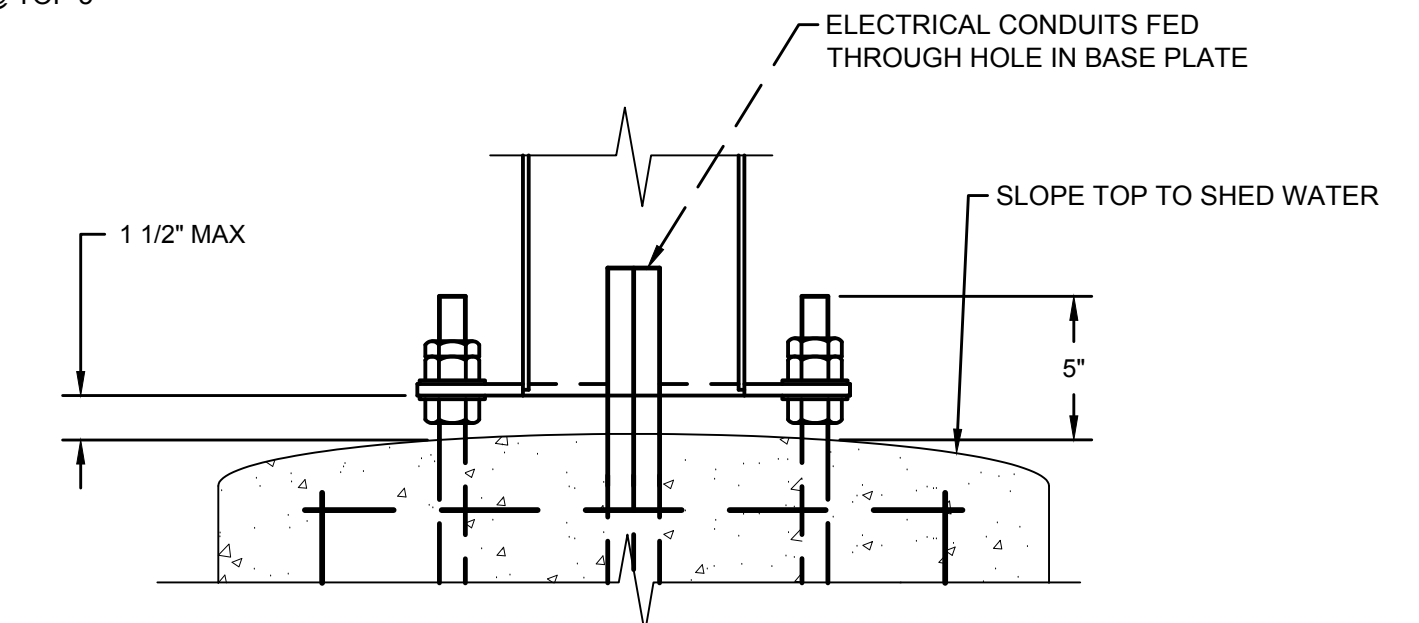
NOTE:
SEE SHEET SFD-1 FOR SIGN FOUNDATION GENERAL NOTES



SECTION
NOT TO SCALE



ANCHOR BOLT PATTERN
NOT TO SCALE



CONNECTION DETAILS
NOT TO SCALE

**"CLEARANCE GATEWAY"
SIGN FOUNDATION**
NOT TO SCALE

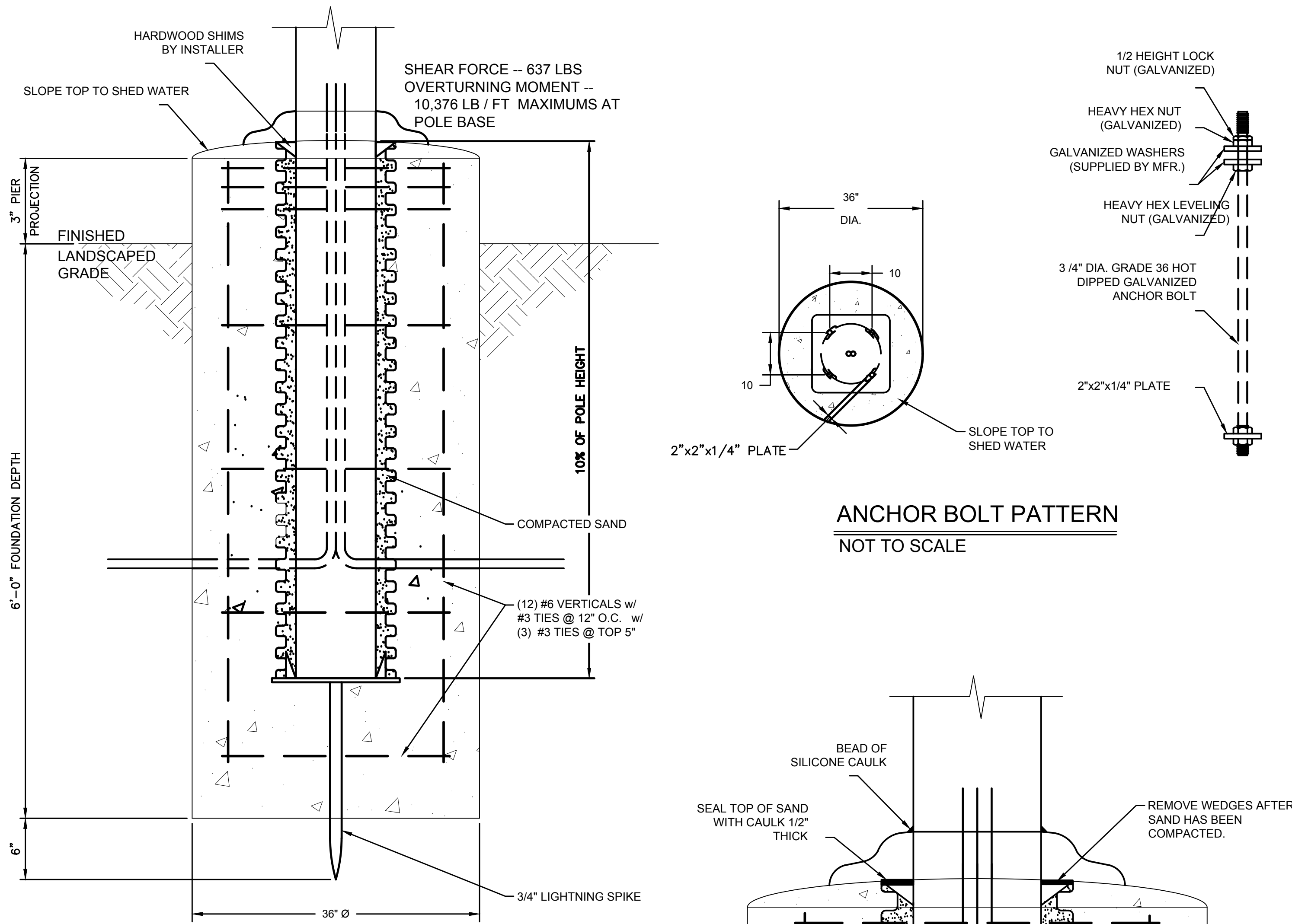
NOTE:
SEE SHEET SFD-1 FOR SIGN FOUNDATION GENERAL NOTES

SHEET NO. SD3.0	TITLE MRP CORE 16 OHIO REGION EXTERIOR FINISH TO BE DETERMINED	DRAWN BY RSS	STD ISSUE DATE TBD	REVIEWED BY RSS	DATE ISSUED CONCEPT PLAN	PREPARED FOR McDonald's USA, LLC <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. The use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.</small>		REV	DATE	DESCRIPTION
								BY		

PLOTTED BY: DTucker

PRINTED: 10/20/2017 @ 1:34PM

FILE NAME: G:\3972-McDonalds\39-Kenwood SIR\Working Drawings\AutoCAD\Construction Drawings\SD4.0 - Yard Light Detail.dwg



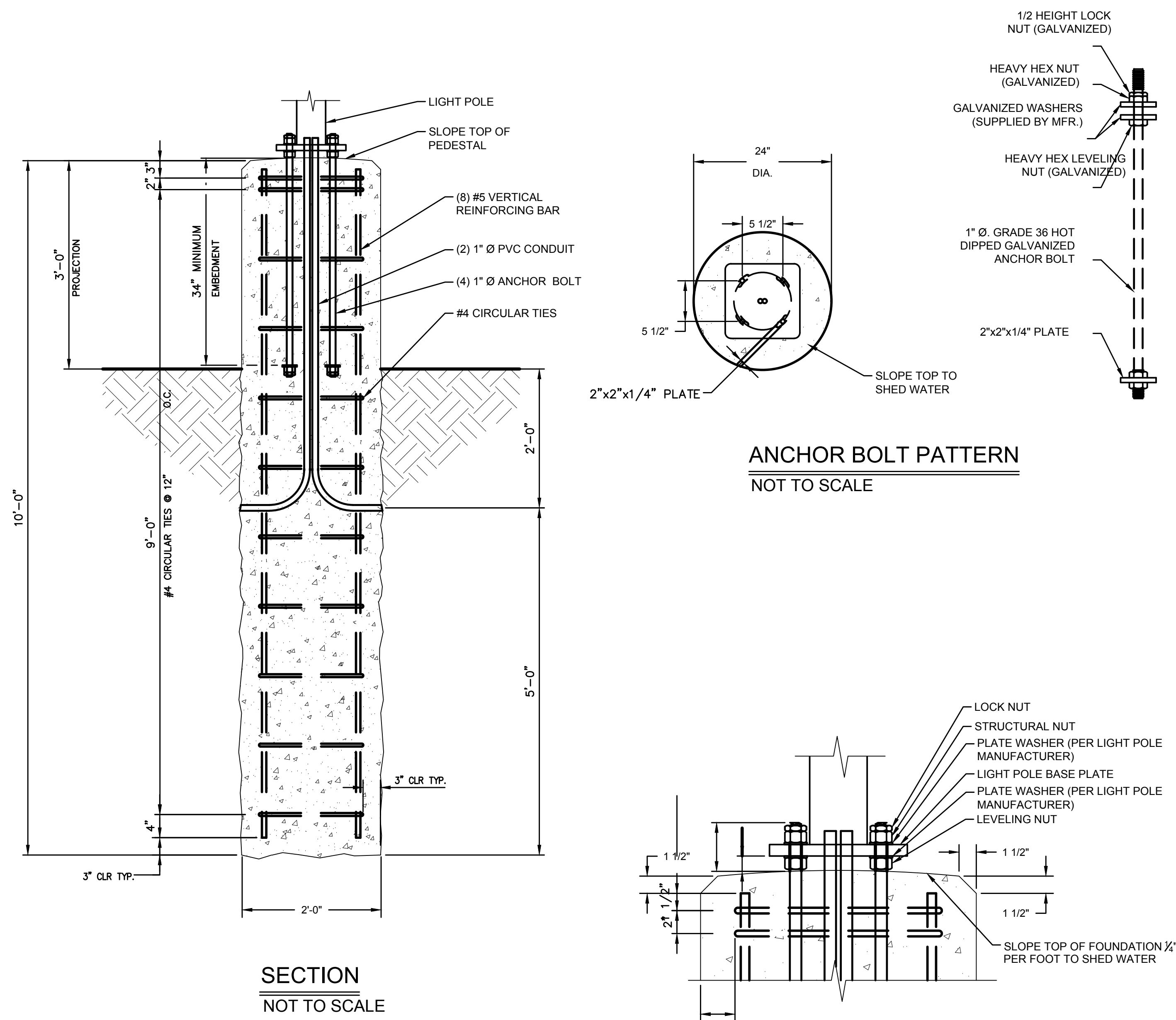
SECTION NOT TO SCALE

ANCHOR BOLT PATTERN NOT TO SCALE

CONNECTION DETAILS NOT TO SCALE

25 FT & 30 FT FLAG POLE FOUNDATION NOT TO SCALE

NOTE: SEE SHEET SFD-1 FOR SIGN FOUNDATION GENERAL NOTES



SECTION NOT TO SCALE

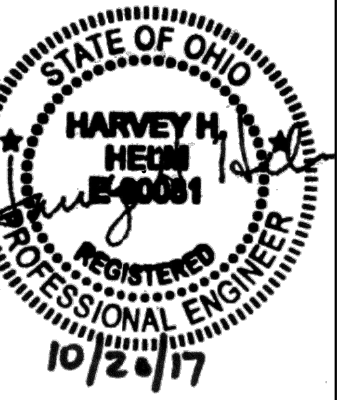
ANCHOR BOLT PATTERN NOT TO SCALE

CONNECTION DETAILS NOT TO SCALE

LOT LIGHT POLE FOUNDATION NOT TO SCALE

NOTE: SEE SHEET SFD-1 FOR SIGN FOUNDATION GENERAL NOTES

SHEET NO.	SD4.0	TITLE	MRP CORE 16	DRAWN BY	RSS	PREPARED FOR	McDonald's USA, LLC	DATE	10/20/17	DESCRIPTION	YARD LIGHT DETAIL
	OHIO REGION		OHIO REGION		DATE ISSUED		CONCEPT PLAN				
SITE ID	34-0006	SITE ADDRESS	7916 MONTGOMERY RD, CINCINNATI, OH	REVIEWED BY	TBD	DATE ISSUED		REV		BY	



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ISSUED FOR REVIEW

SIDE BY SIDE DRIVE-THRU

- SIDE BY SIDE DRIVE-THRU STANDARD CURBING DETAILS:
 - DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0". LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0".
 - THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0" TO INSIDE OF CURB.
 - PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER).
- SIDE BY SIDE DRIVE-THRU STANDARD PAVEMENT MARKINGS:
 - 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE.
 - DOUBLE-HEADED ARROW PAVEMENT MARKINGS. STANDARD STRIPING MARKINGS ARE 7' SHAFT, 7' ARROW STEM AND 3' FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE.
 - MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH COD SIMULTANEOUSLY WOULD MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9' AND OFFSETTING THE OUTER LANE STRIPING 8' AT THE INTERSECTION OF THESE OFFSETS. A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.

- SIDE BY SIDE DRIVE-THRU STANDARD EQUIPMENT POSITIONING FOR SECONDARY LANE:
 - MIN. 60'-0" (+5', 60'-65') LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE COD / FACE AND THE CENTER LINE OF THE OPEN ORDER BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS (±5' FOR 80', 100', AND 120') TO A MAX OF 100'. 80'-0" IS OPTIMAL.
 - THE CENTER OF THE MENU BOARD FOUNDATION SHALL BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM CENTER OF THE COD FOUNDATION.
 - THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF 35° FROM A CAR POSITIONED AT THE COD TO MAXIMIZE VIEWING.
 - AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
 - A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB.
 - AUGER "McDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
- SIDE BY SIDE DRIVE-THRU STANDARD DETECTOR LOOP:
 - DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENT BOOTHS.

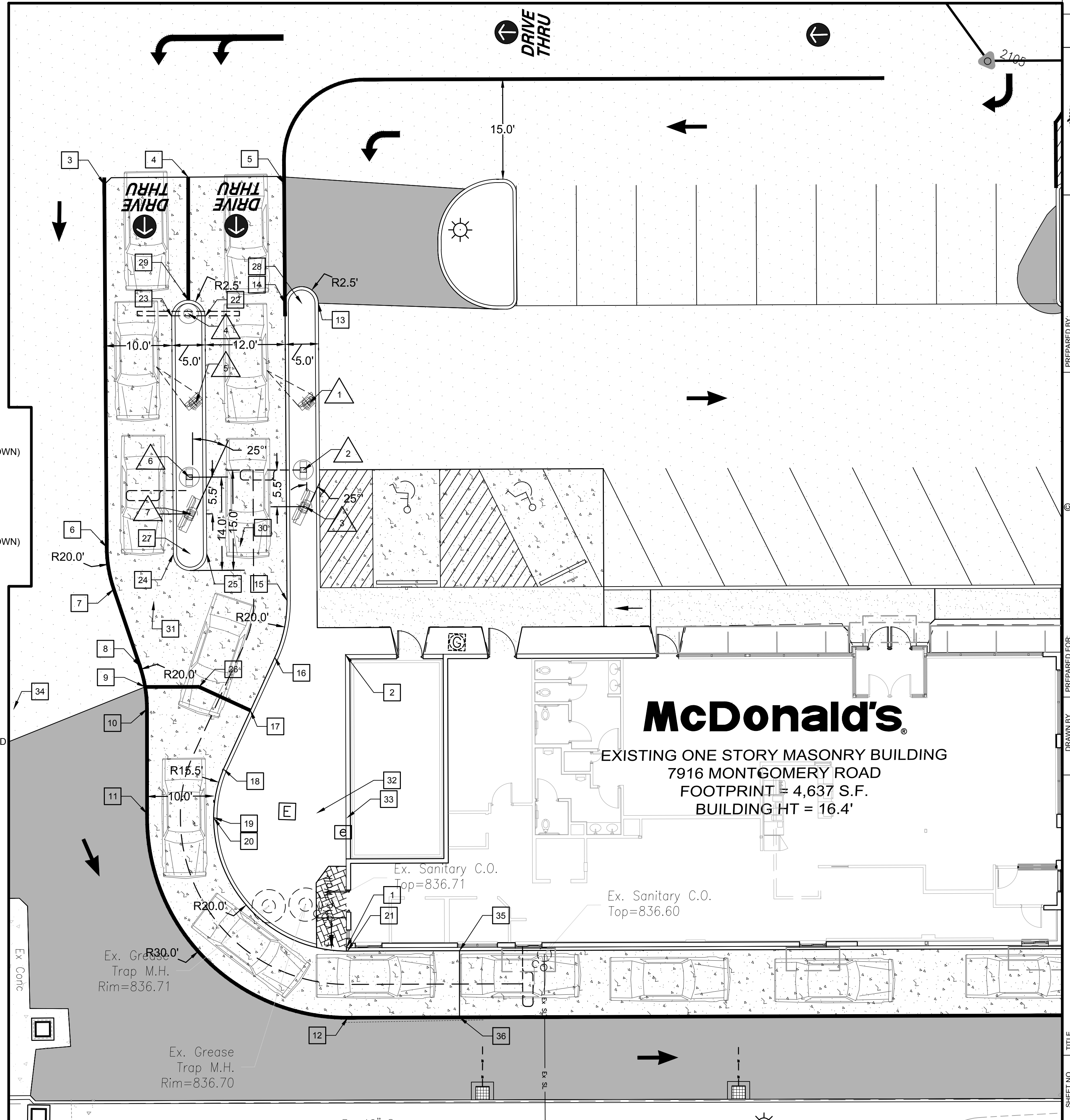
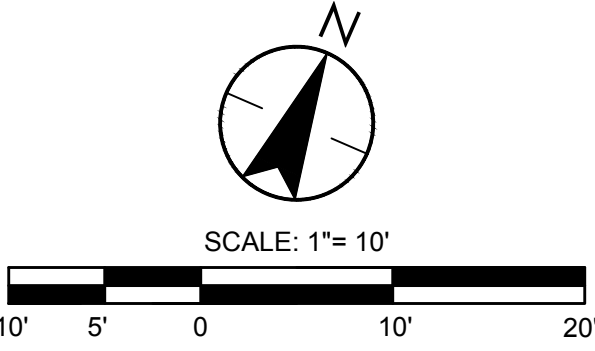
- SIDE BY SIDE DRIVE-THRU STANDARD EQUIPMENT POSITIONING FOR PRIMARY LANE:
 - MIN. 60'-0" (+5', 60'-65') LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE COD FACE AND THE CENTER LINE OF THE OPEN ORDER BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS (±5' FOR 80', 100', AND 120') TO A MAX OF 100'. 80'-0" IS OPTIMAL.
 - THE CENTER OF THE MENU BOARD FOUNDATION SHALL BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM CENTER OF THE COD FOUNDATION.
 - THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF 35° FROM A CAR POSITIONED AT THE COD TO MAXIMIZE VIEWING.
 - AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
 - A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB.
 - AUGER "McDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

SIDE BY SIDE DRIVE-THRU STANDARD 1.0 FEATURES

- SIDE BY SIDE DRIVE-THRU STANDARD 1.0 EQUIPMENT:
 - PRE-BROWSE BOARD MUST BE 18"-24" FROM FACE OF CURB. THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD.
 - PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB. THE DISTANCE BETWEEN THE SECONDARY COD AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD (PREFERRED 35°).

NOTES:

- THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL AND CONSIDERED "RED", ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.
- DUE TO THE EXACT GEOMETRY REQUIRED FOR THE EFFICIENT OPERATION OF THIS DRIVE-THRU LAYOUT, IT IS REQUIRED THAT ALL DRIVE-THRU EQUIPMENT AND PAVEMENT IMPROVEMENTS TO BE FIELD LOCATED BY A LICENSED SURVEYOR.
- THE PLACEMENT OF THE CODs AND ANY ADDITIONAL EQUIPMENT SHOULD BE SUCH THAT IT PREVENTS BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.
- ALL DRIVE THRU EQUIPMENT SUPPLIED BY MCDONALDS APPROVED SUPPLIERS.



PAVEMENT COORDINATES

	NORTHING	EASTING	
1	442496.93	1436833.50	BUILDING CORNER
2	442537.37	1436816.17	BUILDING CORNER
3	442588.16	1436755.28	START OF CONCRETE PAVING / START OF PAINT STRIPING
4	442594.10	1436766.46	START OF CONCRETE PAVING / START OF PAINT STRIPING
5	442598.89	1436780.06	START OF CONCRETE PAVING / START OF PAINT STRIPING
6	442538.19	1436776.91	START OF RADIUS / PAINT STRIPE
7	442532.82	1436780.34	END OF RADIUS / PAINT STRIPE
8	442523.71	1436788.47	START OF RADIUS / PAINT STRIPE
9	442521.16	1436790.40	PAINT STRIPE / END OF PAINT STRIPE
10	442518.23	1436791.95	FACE OF CURB / END OF RADIUS
11	442503.75	1436798.11	START OF RADIUS / PAINT STRIPE
12	442487.34	1436837.77	END OF RADIUS / PAINT STRIPE
13	442584.32	1436791.83	FACE OF CURB / START OF RADIUS
14	442582.33	1436787.23	FACE OF CURB / END OF RADIUS
15	442541.38	1436804.95	FACE OF CURB / START OF RADIUS
16	442532.84	1436806.59	FACE OF CURB / END OF RADIUS
17	442524.08	1436806.33	FACE OF CURB / END OF PAINT STRIPING
18	442514.39	1436806.05	FACE OF CURB / START OF RADIUS
19	442507.15	1436807.53	FACE OF CURB / END OF RADIUS
20	442507.08	1436807.56	FACE OF CURB / START OF RADIUS
21	442496.53	1436833.84	FACE OF CURB / END OF RADIUS
22	442575.81	1436776.97	FACE OF CURB / START OF RADIUS
23	442573.82	1436772.39	FACE OF CURB / END OF RADIUS
24	442541.18	1436786.52	FACE OF CURB / START OF RADIUS
25	442543.17	1436791.11	FACE OF CURB / END OF RADIUS
26	442524.33	1436797.83	MERGE POINT / PAINT STRIPING
27	442542.18	1436788.81	CENTER POINT 2' RADIUS / FACE OF CURB END OF ISLAND
28	442583.32	1436789.54	CENTER POINT 2' RADIUS / FACE OF CURB END OF ISLAND
29	442577.11	1436773.69	MERGE POINT
30	442546.14	1436795.26	CENTER POINT 20' RADIUS / PAINT STRIPE OUTSIDE EDGE OF ISLAND

EQUIPMENT COORDINATES

	NORTHING	EASTING	
1	442569.97	1436796.43	CENTER OF DIGITAL PRE-BROWSE BOARD 1 FOUNDATION (NOT SHOWN)
2	442560.41	1436799.54	CENTER OF PRIMARY CANOPY / COD UNIT 1 FOUNDATION
3	442555.46	1436801.95	CENTER OF DIGITAL MENU BOARD 1 FOUNDATION
4	442575.26	1436774.47	CENTER OF GATEWAY FOUNDATION
5	442563.33	1436780.78	CENTER OF DIGITAL PRE-BROWSE BOARD 2 FOUNDATION (NOT SHOWN)
6	442552.71	1436784.21	CENTER OF SECONDARY CANOPY / COD UNIT 2 FOUNDATION
7	442544.65	1436787.96	CENTER OF DIGITAL MENU BOARD 2 FOUNDATION
31	442533.43	1436786.60	CENTER POINT 20' RADIUS / FACE OF CURB OUTSIDE EDGE OF ISLAND
32	442513.82	1436821.53	CENTER POINT 15.5' RADIUS / FACE OF CURB
33	442514.91	1436825.96	CENTER POINT 20' RADIUS / FACE OF CURB
34	442510.40	1436773.54	CENTER POINT 20' RADIUS / PAINT STRIPING
35	442503.15	1436849.29	FACE OF CURB / END OF CONCRETE PAVING
36	442493.94	1436853.19	PAINT STRIPE / END OF CONCRETE PAVING

COORDINATES ARE ALL OHIO STATE PLANE SOUTH

STATE OF OHIO HARVEY H. HEDRICK REGISTERED PROFESSIONAL ENGINEER 10/23/17	PREPARED BY: GR3 engineering architecture geospatial www.gr3inc.com	GRW PROJECT NO.: 3972-39
McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.	DRAWN BY: RSS STD ISSUE DATE TBD REVIEWED BY: RSS DATE ISSUED CONCEPT PLAN	TITLE MRP CORE 16 OHIO REGION DESCRIPTION EXTERIOR FINISH TO BE DETERMINED
SHEET NO. DT1.0 DRIVE-THRU DETAILS	SITE ADDRESS 7916 MONTGOMERY RD. CINCINNATI, OH	DATE

ISSUED FOR REVIEW

PLOTTED BY: DTucker

PRINTED: 10/20/2017 @ 1:31 PM

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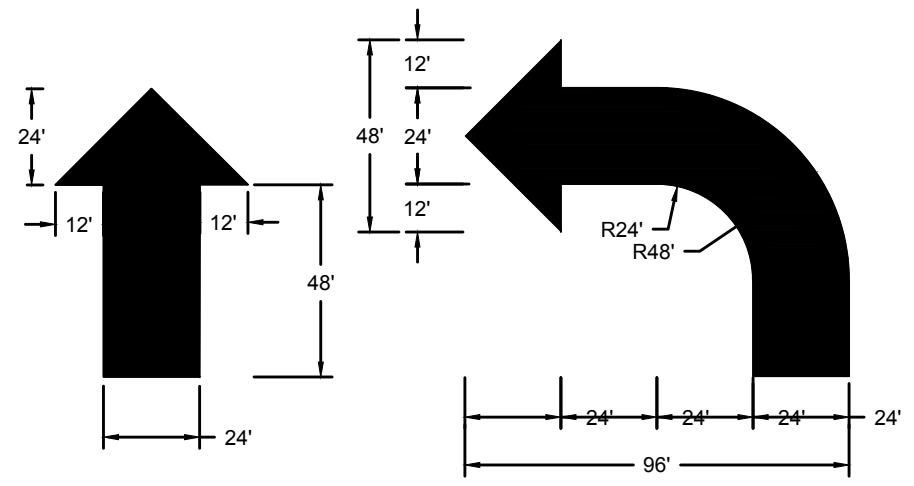
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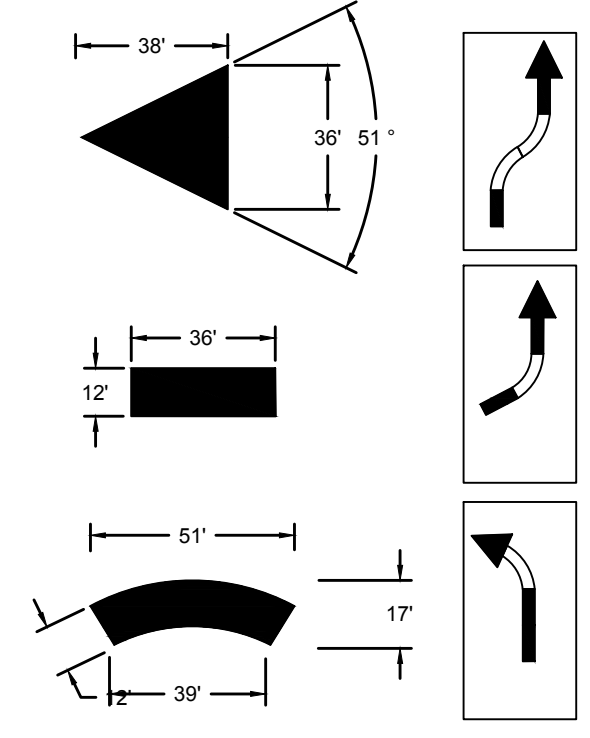
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SITE STRIPING NOTE:
ALL TRAFFIC MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

TRAFFIC & LANE MARKINGS: NOT ASSOCIATED WITH DRIVE-THRU



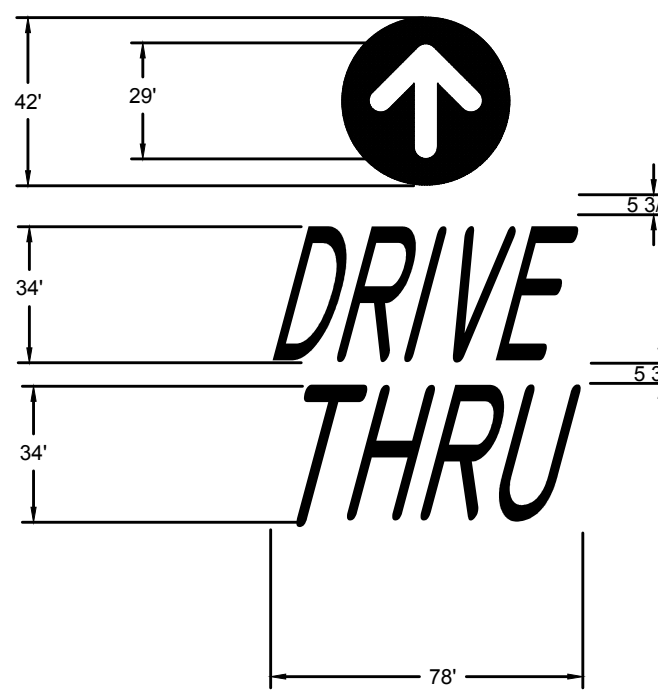
APPLY TWO COATS OF WATERBORNE PAINT (PER FS TT-P-1952) OR SOLVENT BORNE PAINT (PER FS A-A-2886 OR AASHTO M248). TRAFFIC-LANE MARKING PAINT OVER CLEANED PAVING SURFACE ACCORDING TO LAYOUT SHOWN ON THE SITE PLAN. PAINT WHITE OR AS REQUIRED BY CITY CODE.



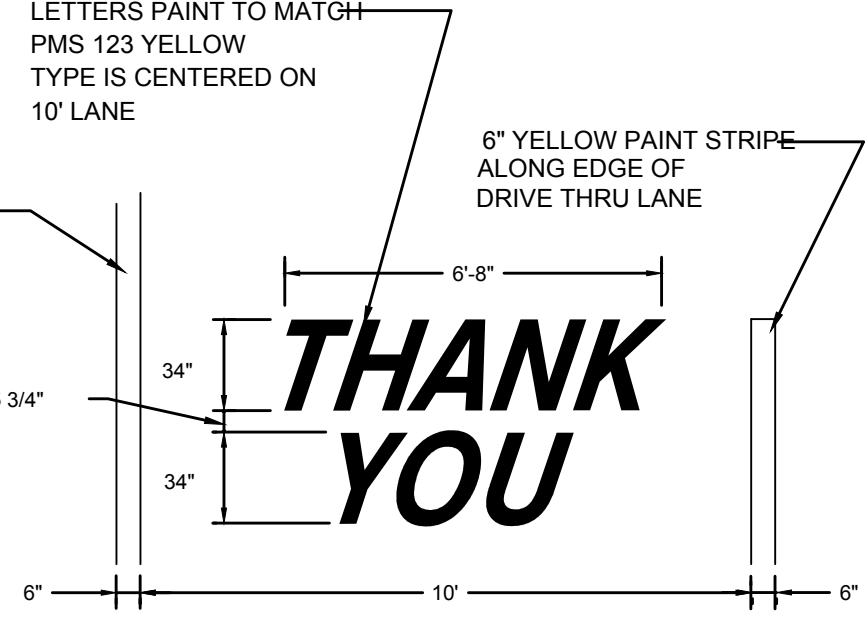
DIRECTIONAL ARROW TEMPLATES
NOT TO SCALE

- NOTES:
- ALL PAINT MARKINGS TO BE APPLIED TO ASPHALT WHEN OUTDOOR TEMPERATURE EXCEEDS +8° MINIMUM.
 - ALL PARKING STALL MARKINGS SHALL BE PAINTED WHITE.
 - ALL DRIVE-THRU MARKINGS SHALL BE PAINTED YELLOW (PMS123), INCLUDING 'DRIVE THRU', 'THANK YOU', ALL DIRECTIONAL ARROWS AND DRIVE THRU LANE MARKINGS.
 - BROADCAST GLASS BEADS UNIFORMLY INTO WET PAVEMENT MARKINGS AT A RATE OF 6LB/GAL.
 - CONTACT:
"PAVEMENT STENCIL COMPANY"
P.O. BOX 915755
LONGWOOD, FLORIDA 32791
PHONE: 1-800-250-5547

- PAVEMENT BRANDING NOTES:
- YELLOW PAINT (PMS123) IS USED FOR ALL DRIVE-THRU MARKINGS.
 - THE WORDS 'DRIVE-THRU' AND THE CIRCLE ARROW ARE PLACED AT ALL ENTRANCES TO THE LOT APPROX. 25' TO 30' FROM THE CURB OR SIDEWALK.
 - THE WORDS 'DRIVE-THRU' SHOULD BE CENTERED IN THE DRIVEWAY FOR ONE WAY TRAFFIC (ON THE INGRESS SIDE OF THE DRIVE AISLE IF THERE IS TWO WAY TRAFFIC).
 - THE CIRCLE DIRECTIONAL ARROW SHOULD BE CENTERED ABOVE THE WORD 'DRIVE' APPROX. 5' IN TO THE PARKING LOT.
 - IF FIVE OR MORE ARROWS ARE NEEDED TO DIRECT CARS TO THE DRIVE-THRU, PLAN THE CORRECT PLACEMENT OF THE ARROWS TO INCLUDE THE APPLICATION OF THE WORDS 'DRIVE THRU' WITH AN ARROW CENTERED ABOVE THE WORD 'DRIVE', ORIENTED TO THE DECISION POINT.
 - THE DOUBLE-HEADED ARROW FOR A SIDE-BY-SIDE DRIVE-THRU SHOULD BE POSITIONED TO DIRECT TRAFFIC TO EITHER LANE, AS CARS APPROACH TO THE ISLAND. EACH ARROW MUST BE CUSTOMIZED TO FIT THE LANE CONFIGURATION.

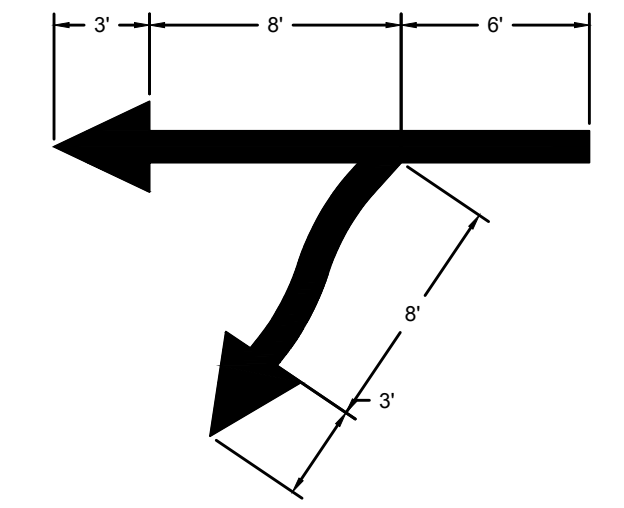


PAVEMENT BRANDING
NOT TO SCALE



PAVEMENT MARKING STENCIL KIT FROM:
PAVEMENT STENCIL CO.
P.O. BOX 915755
LONGWOOD, FL 32791
800-250-5547
407-339-9342 (FAX)

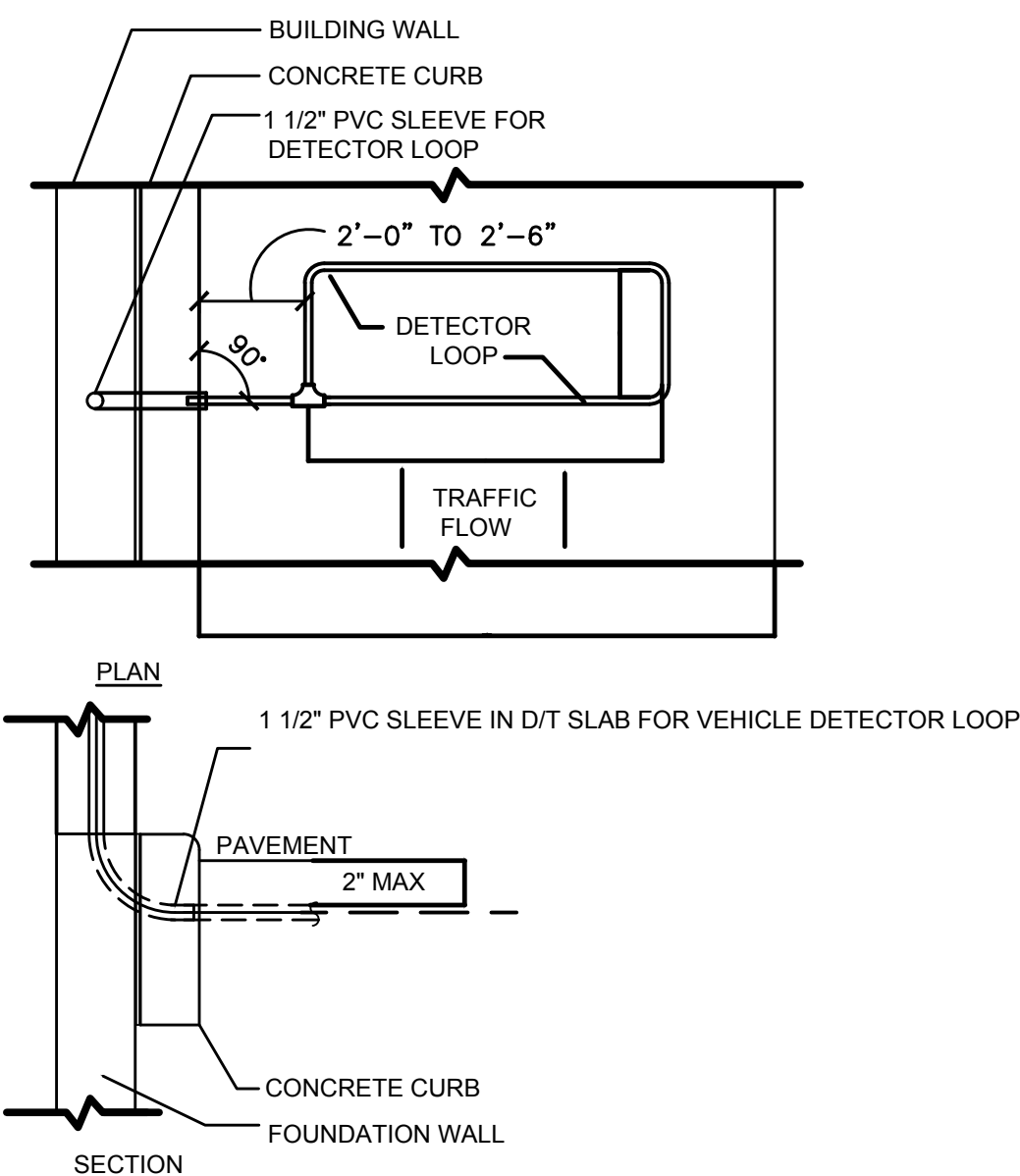
END OF PATH THANK YOU
NOT TO SCALE



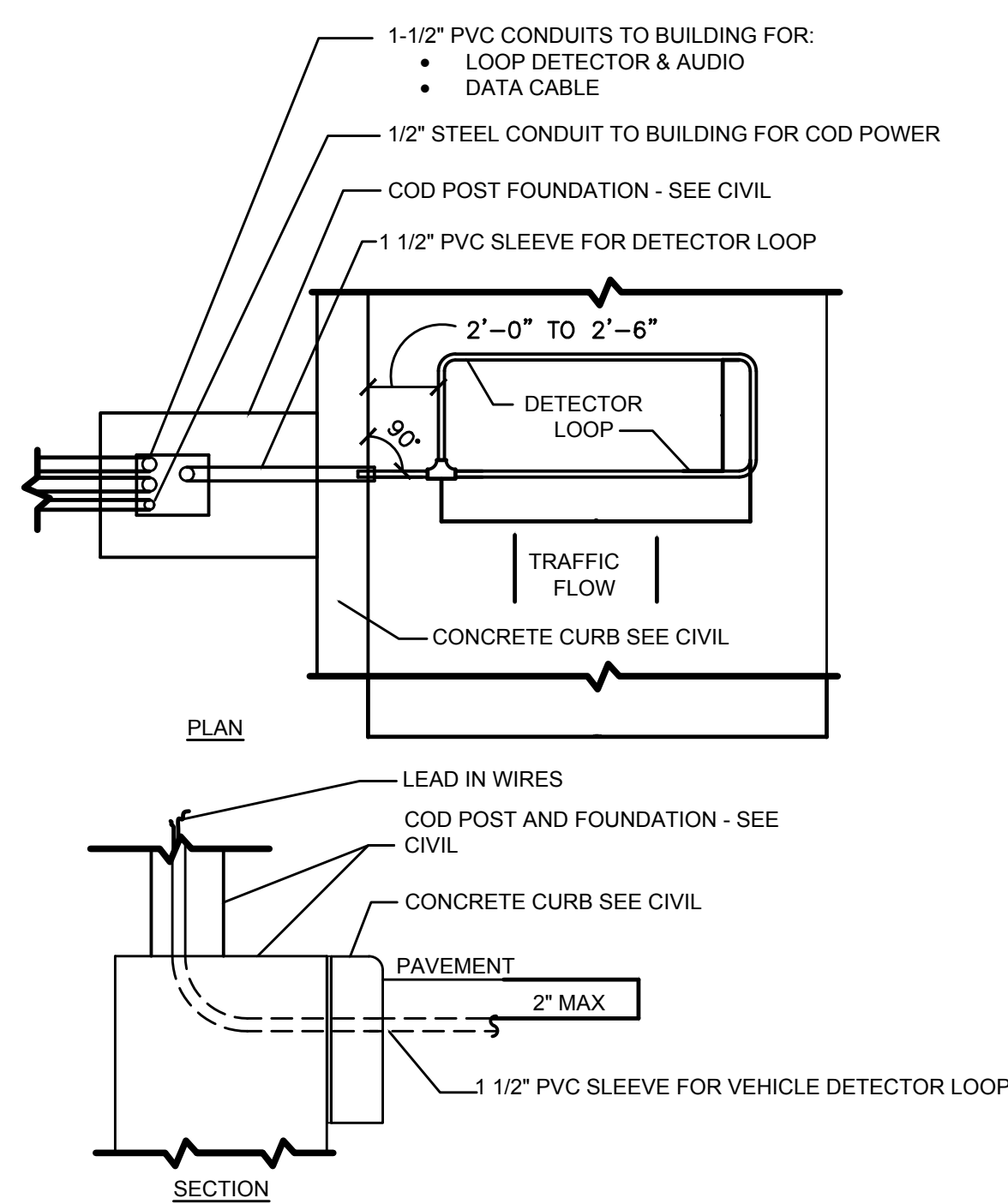
DOUBLE HEADED DRIVE-THRU ARROW
NOT TO SCALE

DRIVE THRU SIDE BY SIDE STANDARD B
NOT TO SCALE

- NOTES
- VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
 - CENTER VEHICLE DETECTOR LOOP (ITEM # 217.11E1) IN DRIVE THRU LANE. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
 - SEE CIVIL FOR DIMENSIONS OF DRIVE-THRU LANE CONCRETE PAD FOR DETECTOR LOOP.
 - NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
 - DETECTOR LOOP MANUFACTURERS: DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWINGS COMPANIES OR EQUAL.
3M: 1-800-328-0033
HME: 1-800-848-4468
 - DETECTOR LOOP MATERIAL: PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
 - DETECTOR LOOP CONSTRUCTION: FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.



B - DT WINDOW DETECTOR LOOP



A - C.O.D. DETECTOR LOOP

DETECTOR LOOP DETAILS
NOT TO SCALE



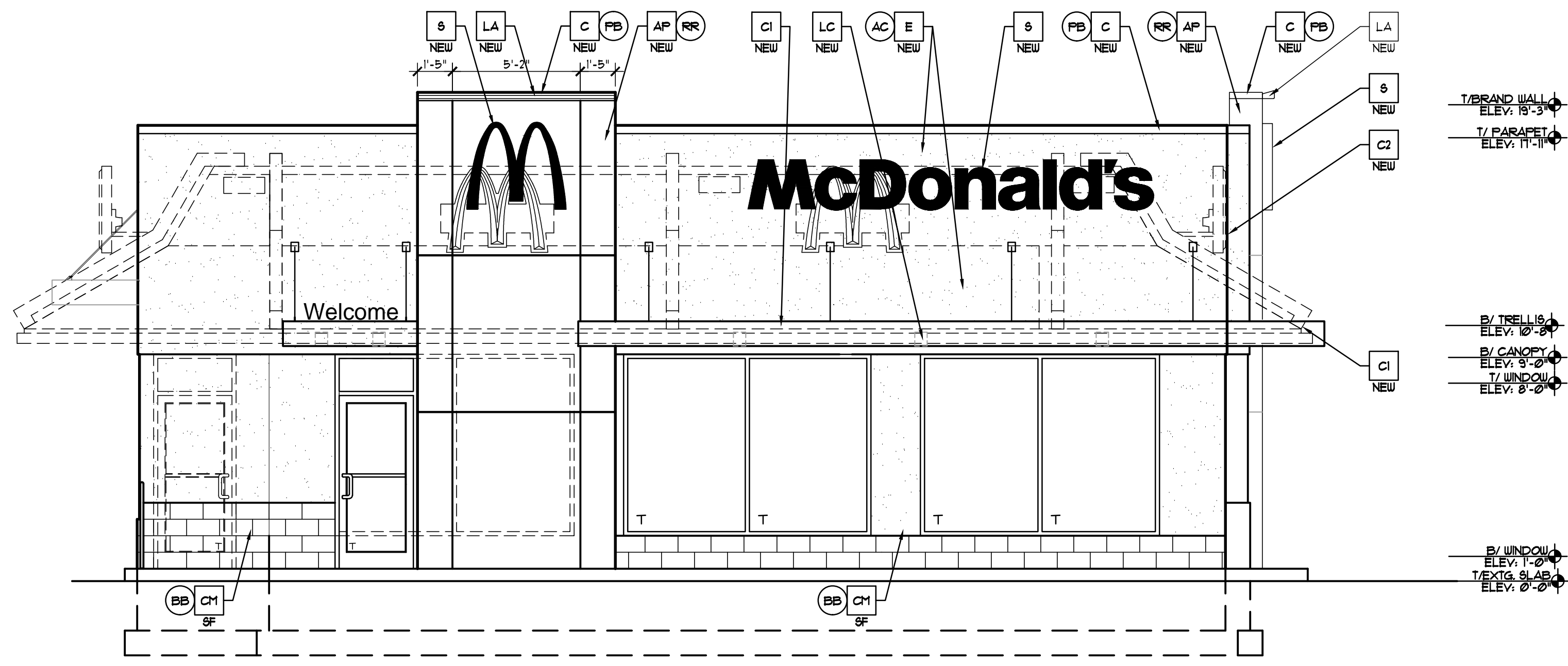
STOP BAR PAVEMENT MARKING DETAIL
NOT TO SCALE



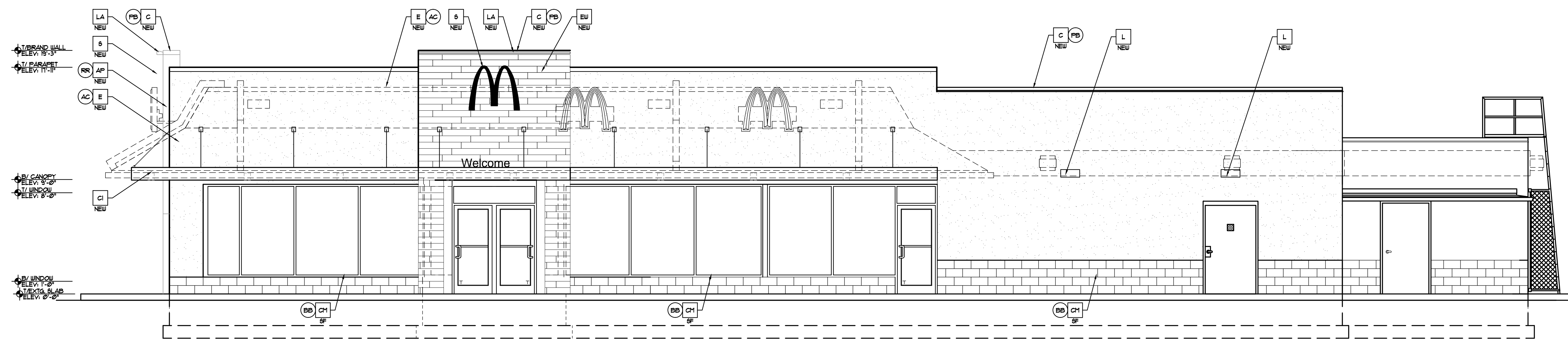
PREPARED BY:
GR3
engineering | architecture | geospatial
www.gr3inc.com
GRW PROJECT NO.: 3972-39

PREPARED FOR:
McDonald's USA, LLC
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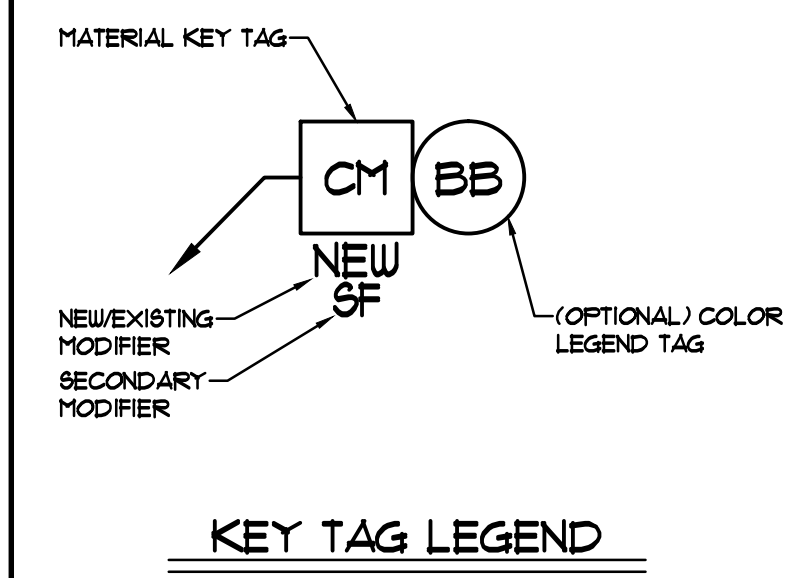
SHEET NO. DT1.1 SITE STRIPING	TITLE MRP CORE 16 OHIO REGION EXTERIOR FINISH TO BE DETERMINED	DRAWN BY RSS	DATE 10/20/17
		ISSUED BY TBD	DATE TBD
SITE ADDRESS 7916 MONTGOMERY RD. CINCINNATI, OH		DATE 10/20/17	DATE 10/20/17



1 FRONT ELEVATION
 A2.0 SCALE: 1/4" = 1'-0"



2 NON DRIVE-THRU ELEVATION
 A2.0 SCALE: 1/4" = 1'-0"



MATERIAL KEY:	
AP ALPOLIC COMPOSITE PANELS	CH CONCRETE MASONRY UNITS
B PIPE BOLLARD - PAINTED YELLOW	SC SCORED FACED
BR BRICK MASONRY UNITS	SF SPLIT FACED
NEW XX PB FULL BRICK	SM SMOOTH FACED
TT TABS TN BRICK OR APPROVED EQUAL	D HOLLOW METAL DOOR
CI ALUMINUM CANOPY (COLOR: YELLOW) - SEE SECTIONS FOR BLOCKING RIGHTS	DC DOWNSPOUT COVER - SEE F1 ON E22 FOR ADDITIONAL INFORMATION
C2 ALUMINUM CANOPY TIE-BACK - SEE SECTIONS FOR BLOCKING RIGHTS	E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)
C METAL COPING	EW EUROQUEST E-WOOD
CJ CONTROL JOINT	GR GUARDRAIL
LC LIGHT FIXTURE (CANOPY LIGHT) - SEE ELECTRICAL	L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
M CORRUGATED METAL PANEL	LA LIGHT FIXTURE (ARCADE LIGHT) - SEE ELECTRICAL - SEE SECTIONS FOR BLOCKING RIGHTS
ML METAL LETTERING - BY OTHERS	LC LIGHT FIXTURE (CANOPY LIGHT) - SEE ELECTRICAL
FT (RPHC) COIN COLLECTOR UNIT MUFF DT2000 STD CALL 1-888-743-7435	M CORRUGATED METAL PANEL
RD RAIN DIVERTERS	ML METAL LETTERING - BY OTHERS
RL EXISTING ROOF LADDER	FT (RPHC) COIN COLLECTOR UNIT MUFF DT2000 STD CALL 1-888-743-7435
RP ROOF DRAIN PIPES	RD RAIN DIVERTERS
RS ROOF SCREEN	RL EXISTING ROOF LADDER
S STORE FRONT GLAZING	RP ROOF DRAIN PIPES
T1 ALUMINUM TRELLIS - SEE SECTIONS FOR BLOCKING RIGHTS	RS ROOF SCREEN
T2 ALUMINUM TRELLIS TIE-BACK - SEE SECTIONS FOR BLOCKING RIGHTS	S STORE FRONT GLAZING
W2 DRIVE-THRU WINDOW BY READY ACCESS CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER. OPTIONS INCLUDE: TRANSOM (60/0/0)	T1 ALUMINUM TRELLIS - SEE SECTIONS FOR BLOCKING RIGHTS
XX SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT	T2 ALUMINUM TRELLIS TIE-BACK - SEE SECTIONS FOR BLOCKING RIGHTS

NOTE
 FILE AND ERS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. LOCATIONS TO BE COORDINATED BY ARCHITECT OF RECORD

NOTE:
 (ALL COLORS ARE PER BENJAMIN MOOR PAINTS, U.N.O.)

COLOR LEGEND	
EXTERIOR COLOR SCHEME:	(AH) ARCADES ALPOLIC COMPOSITE PANEL: RON RED
CHPA MRP SCHEME:	(EW) E-WOOD RS OAK, 6" x 36" GROUT; MAFEI ULTRA COLOR 04 BAHAMA BEIGE, 1/8" TO 3/16" PATTERN; 1/4" RUNNING BOND ACCESSORIES: SCHLUTER SYSTEMS - CONTACT EARL MAICUS AT (513) 324-3410
	(BB) BASE BUILDING IRON MOUNTAIN 2134-30 MATTE
	(PB) PARAPET BAND METAL-ERA, 1/8" 18" 5" PANEL, 24 GAUGE, COLOR: CITYSCAPE

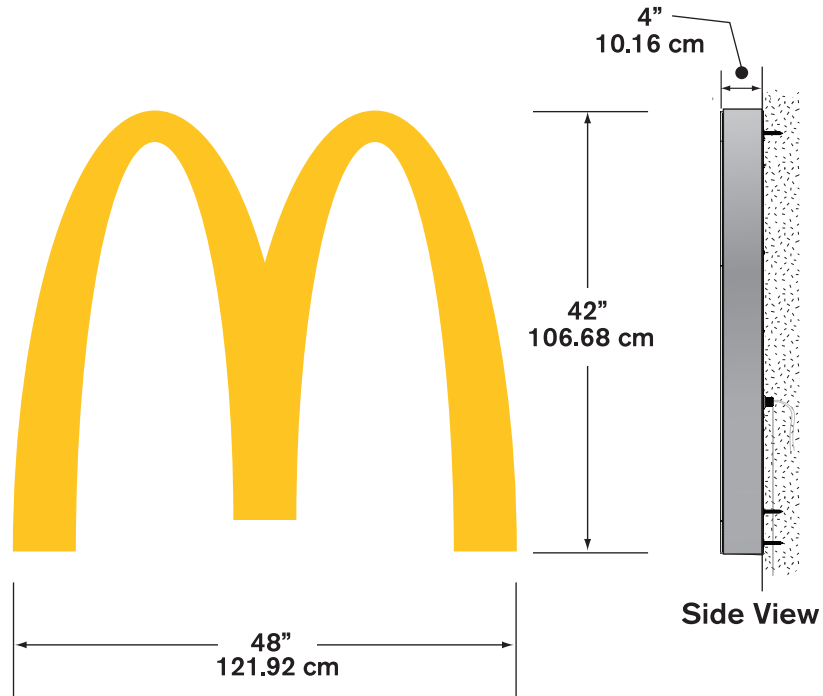
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REV	DATE	DESCRIPTION

PREPARED FOR: McDonald's USA, LLC
 PREPARED BY: [Name]
 DOWN BY: [Name]
 STD ISSUE DATE: [Date]
 REVIEWED BY: [Name]
 DATE ISSUED: 22/AUG/2017
 TITLE: MRP OHIO CORE 16
 OHIO REGION
 WILLIAMS-SHEPHERD ARCHITECTS
 Phone 614-781-0881
 4284 Tinker Road, Dublin, Ohio 43017
 Fax 614-781-0717
 SITE ID: 034-0006
 1796 MONTGOMERY ROAD
 CINCINNATI, OH 45236
 MCDOT-023
 SHEET NO. **A2.0**
 ELEVATIONS

42" NextGen Illuminated Building Arch - LED

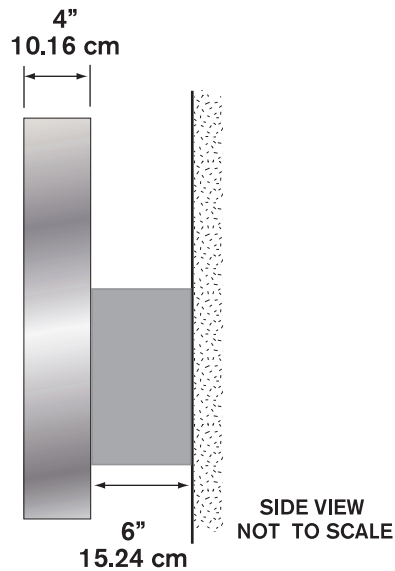
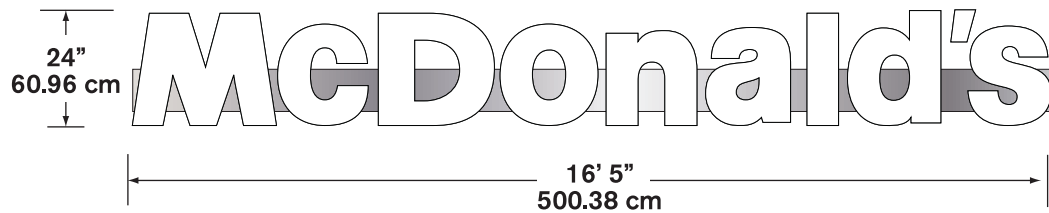


Illumination: LED

Electrical: .35 AMPS

Ballast: (1) OSRAM OT75-120-277-24

Ship Weight:

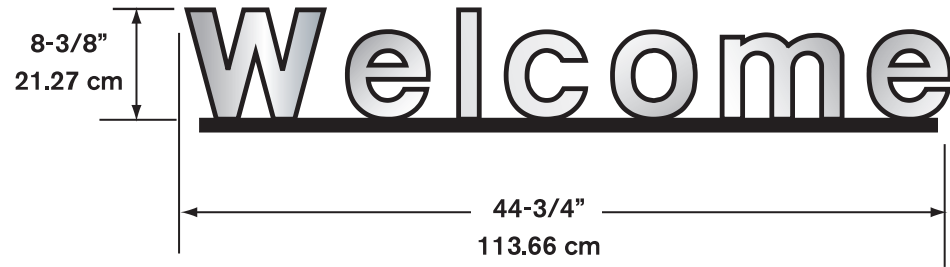


Illumination: LED

Electrical: 1.6 AMPS

Power Supply: (1) Amperor ANP90-30P1

Ship Weight:



Illumination: N/A

Ship Weight: 16 lbs.

Other: 3/4" thickness cutout aluminum letters.

G10 – Single Unit



CHARCOAL

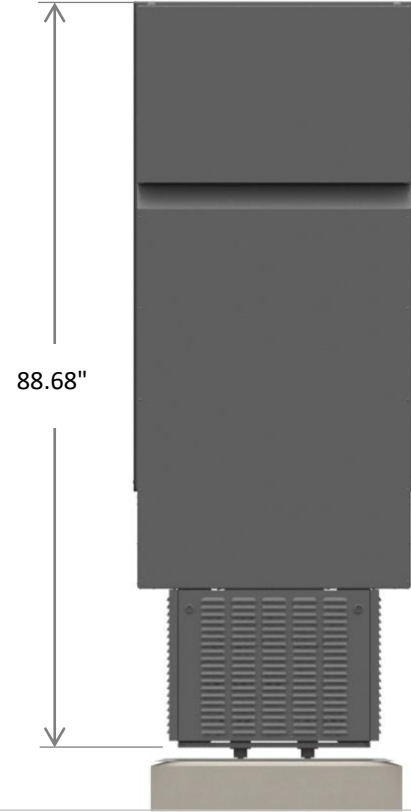
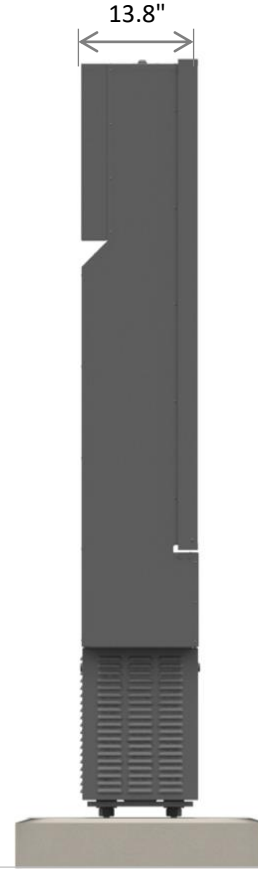


G10 – Single Unit

Main display area

Depth

Total height including base structure



CHARCOAL

G10 – Double Unit



CHARCOAL



G10 – Double Unit



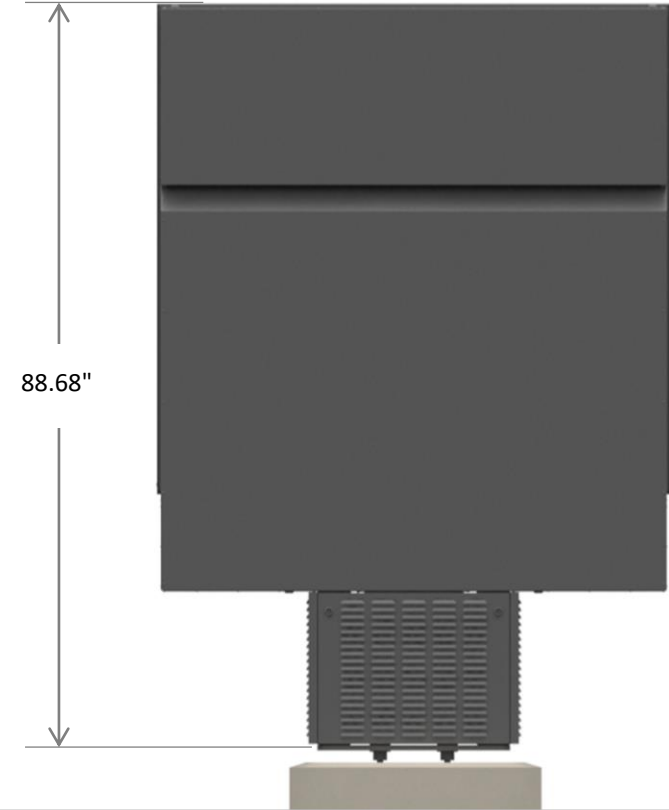
Main display area



Depth

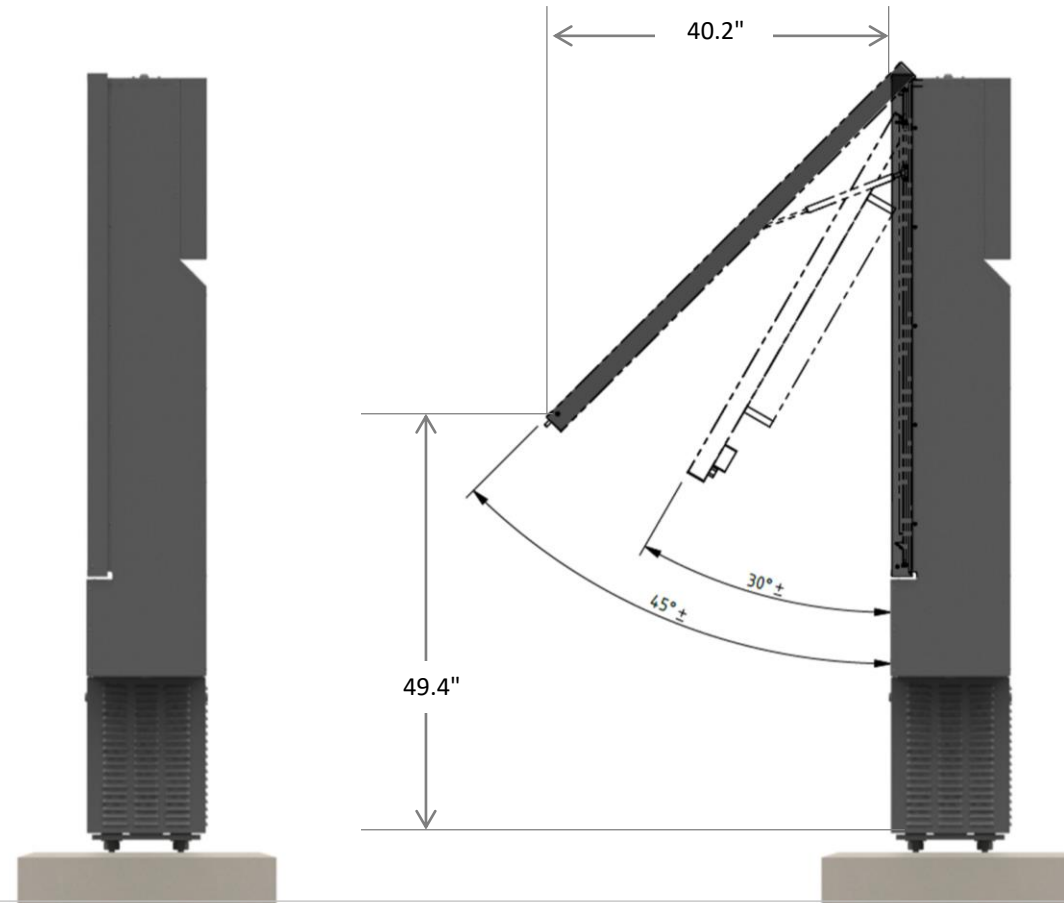


Total height including base structure



CHARCOAL

G10 – Opening Angle



CHARCOAL

Alpolic Composite Panel
Color: Ron Red

Ben Moore Iron Mountain 2134-30, Matte

Tile: Eurowest E-Wood R9 Oak
Size: 6" x 36" horizontal
Tile Pattern: 1/4 Running Bond
Schluter Corner Strips: Rondec RO100TSB
Grout: MAPEI ultra color 04 Bahama Beige
Grout Width: 1/8" to 3/16"

White Aluminum Canopy with white
tiebacks, no LED downlight

Ben Moore Iron Mountain 2134-30, Matte



OHIO MRP

Alpolic Composite Panel
Color: Ron Red

Ben Moore Iron Mountain 2134-30, Matte

Tile: Eurowest E-Wood R9 Oak
Size: 6" x 36" horizontal
Tile Pattern: 1/4 Running Bond
Schluter Corner Strips: Rondec RO100TSB
Grout: MAPEI ultra color 04 Bahama Beige
Grout Width: 1/8" to 3/16"

White Aluminum Canopy
with white tiebacks



Varies:
6'-0" min to 8'-0" max

9'-0" to 9'-4"

OHIO MRP