#### SYCAMORE TOWNSHIP, OH

DEPARTMENT OF PLANNING & ZONING 8540 KENWOOD ROAD, CINCINNATI, OH 45236 513.792.7250 PHONE 513.792.8571 FAX

ZONING COMMISSION APPLICATION

RECEIVED	
NUV 15.2018	
FLERING AZONING	

APPLICATION NUMBER

PUD I \$1,000 MAJOR ADJUS PUD II \$1,200 MINOR ADJUS	STMENT TO A PUD \$200 STMENT TO A PUD \$1,000 STMENT TO LASR \$200		2018-19P2 do not write in this space				
THERE SHALL BE NO REFUND OR PART THEREO		N.					
1. PROJECT ADDRESS: 7796 Montgomery R	Road, Cincinnati, OH		ZIP COL	DE: 45236	<u>.                                    </u>		
2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER		
OWNER Stage BSM <del>Kenwood LLO</del> , David Baker	3001 Armory Drive, Suite 120	Nashville	TN	37204	615-627-3963		
CONTRACTOR To be determined							
DESIGNER Infinity Engineering Group, LLC.	1208 E Kennedy Blvd., Suite 230	Tampa	FL	33602	813-434-4770		
APPLICANT Brett Nevaril	1208 E Kennedy Blvd., Suite 230	Tampa	FL	33602	813-434-4770		
APPLICANTS E-MAIL ADDRESS	Permitting@IEGroup.net						
3. ZONING COMMISSION ACTION REQUESTED: ZONE CHANGE FROM ZONE TO ZONE TO ZONE							
PUD I	PUD II LASR	] .					
MAJOR A	DJUSTMENT TO A PUD	MINOR ADJUST	TMENT T	OAPUD			

10. # OF SIGNS: <sup>3</sup> THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

Financial Institution

9. EST. FINISH DATE:

MINOR ADJUSTMENT TO A LASR

7. HEIGHT:

The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are hip access to the property for review

to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Towns
and inspection related to this Zoning Commission application.
NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.
BSM Stagge, N.C, by David H. Baker, Secretary of BSM Investments IV, LLC, its Managing Member
a literalization
APPLICANT'S SIGNATURE DATE
* See enclosed authorization letter.
PROPERTY OWNER'S SIGNATURE DATE

MAJOR ADJUSTMENT TO A LASR

4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:

Construction of a 7,691 SF financial building with associated parking, driveways, utilities and landscaping.

Demolish existing building (429 - Other Retail Structures).

8. EST. START DATE:

November 16, 2018

Kenwood Ground Up **Bank of America Kenwood** 7796 Montgomery Road, Cincinnati, Ohio 45236

Sycamore Township, **Hamilton County** 

SYCAMORE TOWNSHIP PLANNING & ZONING

NOV 192018

RECEIVED



**INFINITY ENGINEERING** GROUP, LLC

To Whom It May Concern:

This letter serves as confirmation that Brett Nevaril, Dick LaRosa, and Krysten La Croix of Infinity Engineering Group are authorized to act as agents on behalf of BSM Stagge, LLC for the purpose of making application submittals for permits, negotiating conditions for the above referenced project, and making payments for the project.

Respectfully,

BSM Stagge, LLC

By:

BSM Investments IV, LLC,

Its Managing Member

By: David F. Baker, its Secretary

STATE OF TENNESSEE COUNTY OF DAVIDSON

, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared David F. Baker, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged himself to be the Secretary of BSM Investments IV, LLC, the Managing Member of BSM Stagge, LLC the within named bargainor, a Delaware limited liability company, and that he as such Secretary of the Managing member being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the limited liability company by himself as the Secretary of its Managing Member.

SS my hand and seal at office in

My Commission

SYCAMORE TOWNSHIP PLANNING & ZONING

NOV 192018

RECEIVED

#### **AUTHORIZATION**

Tina Borchard, Trustee of the Rita C. Stagge Trust under agreement dated October 21, 1992, and Bernard James Stagge Jr. and Joy Anne Hansbauer, Co-Trustees of The Ruth Mary Stagge 1997 Living Trust dated May 13, 1997 are the owners of the property located at 7796 Montgomery Road, Cincinnati, Ohio and identified as Parcel # 600-0211-0336-00 (the "Property") and hereby authorize any of Jim Stagge, Tony Stagge, BSM Stagge, LLC or its representatives to apply for permits, variances and other governmental approvals in connection with the proposed development of the Property.

Tina Borchard,

Trustee, Rita C. Stagge Trust

Bernard James Stagge Jr.,

Co-Trustee, Ruth Mary Stagge 1997 Living Trust

Borchan

Joy Anne Hansbatter,

Co-Trustee, Ruth Mary Stagge 1997 Living Trust

November 19, 2018

Sycamore Township Beth Gunderson 8540 Kenwood Road Cincinnati, Ohio 45236 513-792-7250



RE: Letter of Intent

**PUD II Submittal** 

7796 Montgomery Road Cincinnati, Ohio 45236

INFINITY ENGINEERING GROUP, LLC

Dear Ms. Gunderson,

Please accept this Letter of Intent for the above referenced project.

The following is a summary of the project site:

SITE DATA						
PROPERTY 7796 Montgomery Road						
Cincinnati, Ohio 45236						
Parcel No. 600-0211-0336-00						
LOT AREA	28,466 SF or 0.65 Acres					
EXISTING ZONING	E – Retail Business District					
EXISTING USE	One (1) commercial building occupied by multiple restaurant and retail tenants					

The accompanying PUD II submittal is made in connection with a redevelopment proposal for the project site. As described in the accompanying plans, the redeveloped project site would continue to be occupied by a single commercial building. Occupants of the project site would be consistent with uses currently permitted under the existing E – Retail Business District zoning designation.

The character of the development will be similar to those of surrounding properties, each of which are existing commercial uses.

As currently developed, the project site does not meet requirements of the existing E – Retail Business District zoning with respect to Impervious Surface Area. As a result, a PUD II zoning is necessary for the proposed redevelopment of the property.

The density of the project site following the proposed redevelopment will be similar to the existing density. We do not anticipate that the development will have an adverse impact on the character of the immediate area, public services or facilities.

Should you have any questions or require any additional information, please do not hesitate to contact us at (813) 434-4770.

Sincerely,

Dick La Rosa, Jr., P.E

Infinity Engineering Group, LLC.

# Bankof America > KENWOOD GROUND UP PUD II PLAN SET

7796 Montgomery Road Cincinnati, Ohio 45236

IEG Project Number: 10-786.00

#### BSM Stagge, LLC

Developer
3011 Armory Drive, Suite 120
Nashville, Tennessee 37204
615-627-3963
Attn: David Baker

#### Infinity Engineering Group, LLC

Civil Engineer 1208 East Kennedy Boulevard, Suite 230 Tampa, FL 33602 813.434.4770 Attn: Brett Nevaril

#### Architectural Design Collaborative, Inc.

Architect
945 North Pennsylvania avenue
Winter Park, FL 32789
407.629.1188
Attn: Jose F. Perez

P&G Engineering Design Consulting Engineers MEP 21 SW 102 Ct. Miami, FL 33174 786.863.7091 Attn: Luis O. Perez

#### **DRAWING INDEX**

COVER SHEET CS.1 Z00.01 OVERALL ZONING & USE PLAN EXISTING CONDITIONS / DEMOLITION PLAN Z00.03 ZONING PLAN — PUD II SITE LANDSCAPE PLAN L01.00 ELECTRICAL SITE AND PHOTOMETRIC LAN E - 0.0E - 0.1DETAILS A02-01 FLOOR PLAN LEVEL 1 A02-02 FLOOR PLAN LEVEL 2 A09-11A EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS A09-11B ALTA/NSPS LAND TITLE SURVEY

SITE SIGNAGE, COLORED LANDSCAPING PLANS AND COLORED BUILDING RENDERINGS PROVIDED SEPARATELY



0- PROPOSED PUD II SITE



1 - VERIZON STORE



2 - PEP BOYS AUTOMOTIVE PARTS AND SERVICES

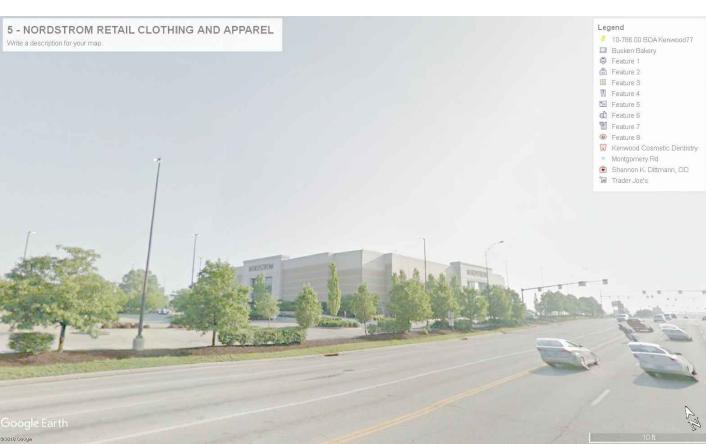


3 -TERRY BRYAN TRAINING CENTER



4 - BP GAS STATION

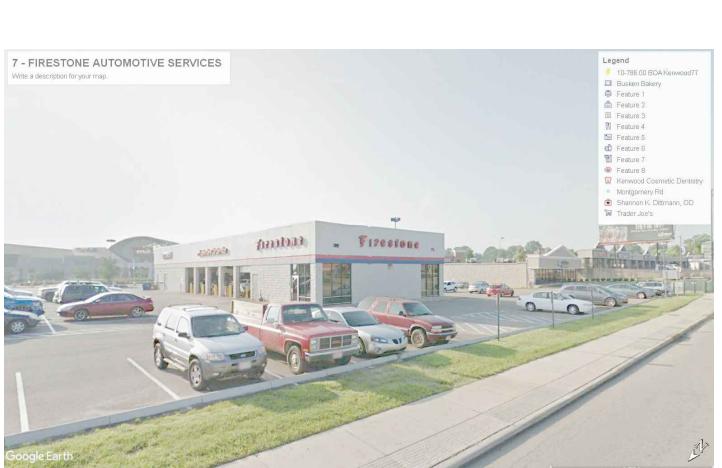
6 - JARED JEWELERS



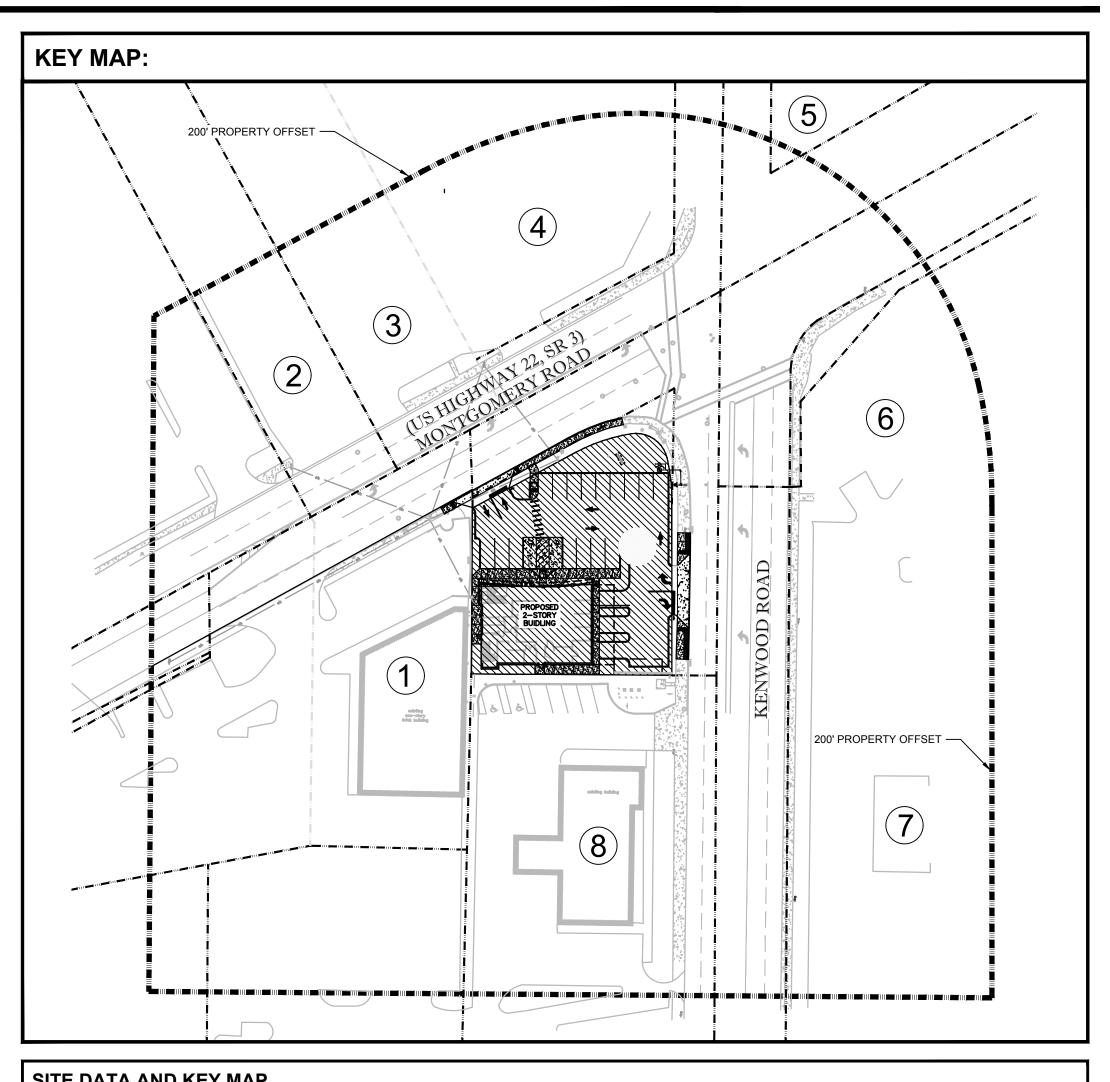
5 - NORDSTORM RETAIL CLOTHING AND APPAREL



7 - FIRESTONE AUTOMOTIVE SERVICES

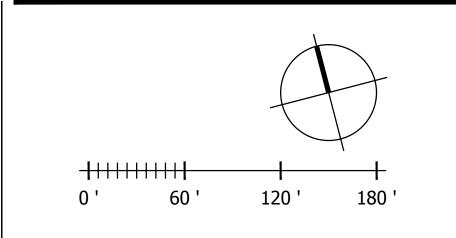


SERVICES 8 - US SAVINGS BANK



3116	DATA AND RET MAP				
<u>(0)</u>	PROPERTY 0: OWNER NAME: PARCEL NUMBER: EXISTING ZONING: PROPOSED ZONING: PROPOSED USE:	STAGGE RUTH M TR 600-0211-0336-00 E-RETAIL BUSINESS PUD-2 (PLANNED UNIT DEVELOPMENT) PROPOSED PUD II SITE, BANK/FINANCIAL	4	PROPERTY 4: OWNER NAME: PARCEL NUMBER: EXISTING USE: ZONING:	MONTGOMERY CINCINNATI LLC 600-0211-0103 E-RETAIL BUSINESS, BP GAS STATION PUD-2 (PLANNED UNIT DEVELOPMENT)
0	SITE AREA (DEED): *SITE AREA (NOT WITHIN R/W): *IMPERVIOUS SURFACE RATIO: *IMPERVIOUS SURFACE RATIO:	28,466 SF OR 0.65 AC 16,608 SF OR 0.38 AC 0.5 MAXIMUM .02 PROVIDED	<b>5</b>	PROPERTY 5: OWNER NAME: PARCEL NUMBER: EXISTING USE:	KENWOOD MALL LLC 600-0080-0285 E-RETAIL BUSINESS, NORDSTORM RETAIL- CLOTHING AND APPAREL
<b>(1)</b>	PARCEL NUMBER: 6 EXISTING ZONING: E	ONTGOMERY ROAD 7783 LLC 00-0211-0645 -RETAIL BUSINESS, VERIZON STORE		ZONING:  PROPERTY 6: OWNER NAME:	PUD-2 (PLANNED UNIT DEVELOPMENT)  BRE DDR CROCODILE SYCAMOR PLAZA
	ZONING: P EXISTING USE:  PROPERTY 2:	UD-2 (PLANNED UNIT DEVELOPMENT)	<b>(6)</b>	PARCEL NUMBER: EXISTING USE: ZONING:	LLC 600-0080-0748 E-RETAIL BUSINESS, JARED JEWELERS PUD-2 (PLANNED UNIT DEVELOPMENT)
2	OWNER NAME: SYC PARCEL NUMBER: 6 EXISTING USE: E-	CAMORE TOWNSHIP HAMILTON COUNTY 00-0211-0028 -RETAIL BUSINESS, PEP BOYS AUTO ARTS AND SERVICE		PROPERTY 7: OWNER NAME:	BRE DDR CROCODILE SYCAMOR PLAZA
	PROPERTY 3:	UD-2 (PLANNED UNIT DEVELOPMENT)	(7)	PARCEL NUMBER: EXISTING USE: ZONING:	600-0080-0748 E-RETAIL BUSINESS, FIRESTONE AUTOMOTI SERVICES PUD-2 (PLANNED UNIT DEVELOPMENT)
3	PARCEL NUMBER: 6 EXISTING USE: E	NTGOMERY CINCINNATI LLC 00-0211-0149 -RETAIL BUSINESS, TERRY BRYAN TRAINING ENTER	<b>(0</b> )	PROPERTY 8: OWNER NAME:	UNION SAVING BANK
	ZONING: P	UD-2 (PLANNED UNIT DEVELOPMENT)	<b>O</b>	PARCEL NUMBER: EXISTING USE: ZONING:	600-0211-0333 E-RETAIL BUSINESS, UNION SAVINGS BANK PUD-2 (PLANNED UNIT DEVELOPMENT)





SERIAL NUMBER: NRSP VERSION: BULLETIN:

AN HITECTURE L DESIGN COLLA DRATIVE

ARCHITECTURAL DESIGN COLLABORATIVE, INC. 945 NORTH PENNSYLVANIA AVENUE WINTER PARK, FL 32789 OFFICE: (407) 629-1188 FAX: (407) 388-1220 WWW. ADCINTERNATIONAL.NET



Infinity Engineering Group, LLC 1208 E. Kennedy Boulevard Suite 230 Tampa, FL 33602 P: (813) 434-4770 F: (813) 445.4211 OH Certificate of Auth. No.: 2430423

Issue	Client Date &	Issue Description	Ву	Check	
01	11/16/2018	CLIENT REVIEW	RO	DL	

Issue	Jurisdiction [	Date & Issue Description	Ву	Check
01	11/16/2018	PUD ISSUANCE	R0	DL

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<u>LE SYCAMOR PLAZA</u>	
S ESS. FIRESTONE AUTOMOTIVE	

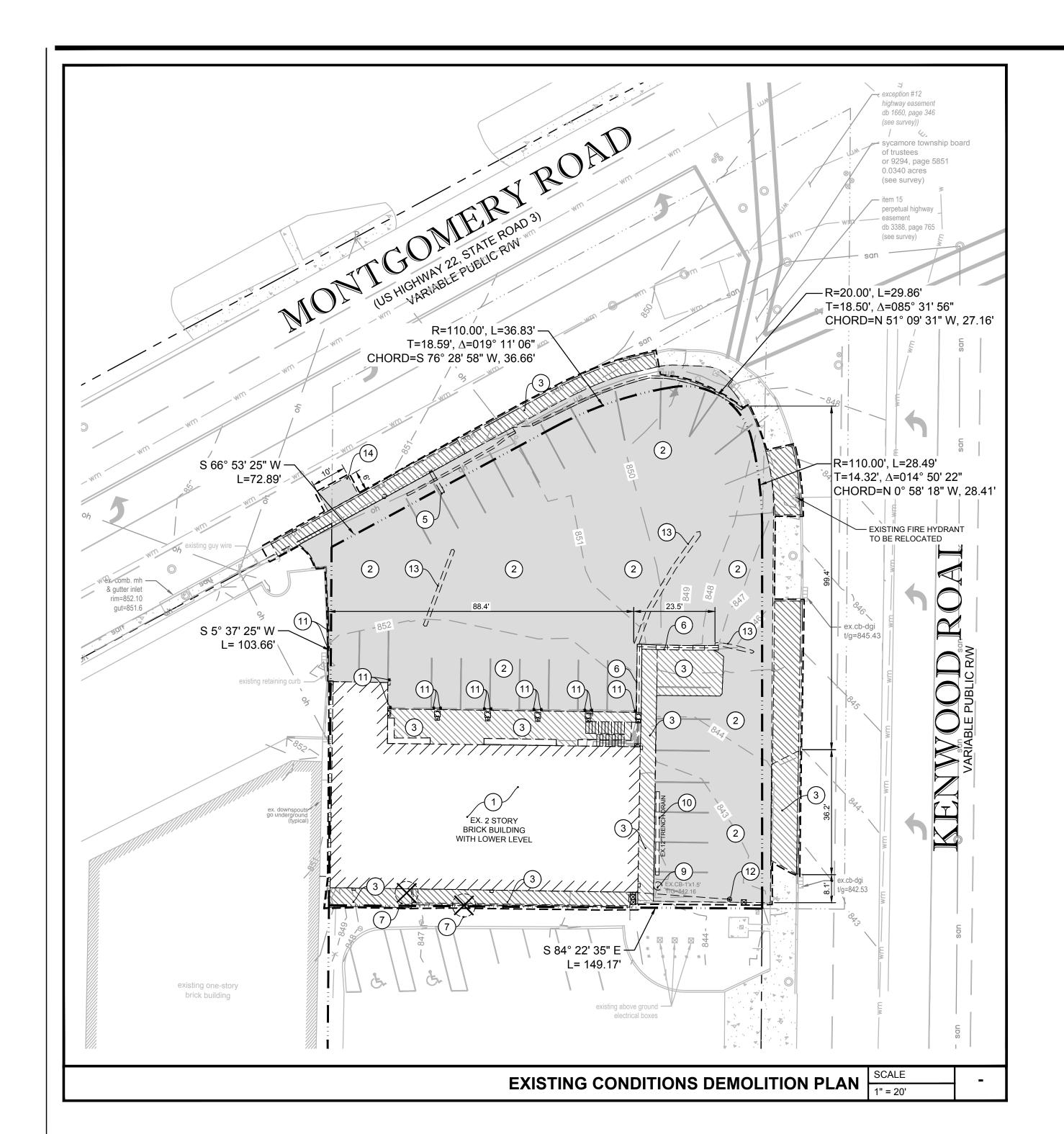
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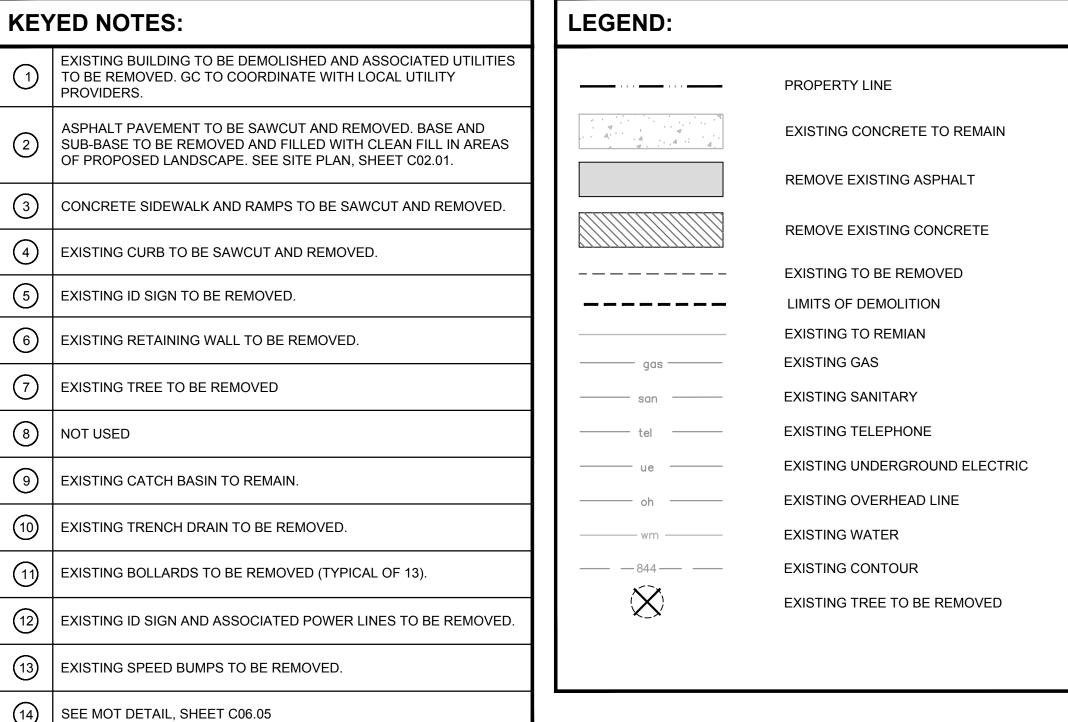
	ı
SAVING BANK	i
0211-0333	ı
TAIL BUSINESS, UNION SAVINGS BANK	ı
2 (PLANNED UNIT DEVELOPMENT)	
· '	

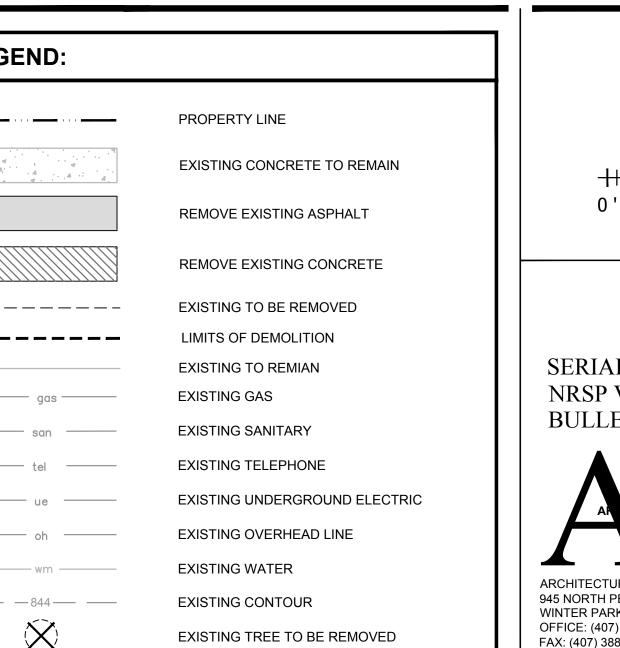
Project Name			
Froject Name			
Prototype Layout			
Project Number			
0-786.00			
CAD File Name			
Description			
OVERALL ZOI	JING & HS	E DI ANI	

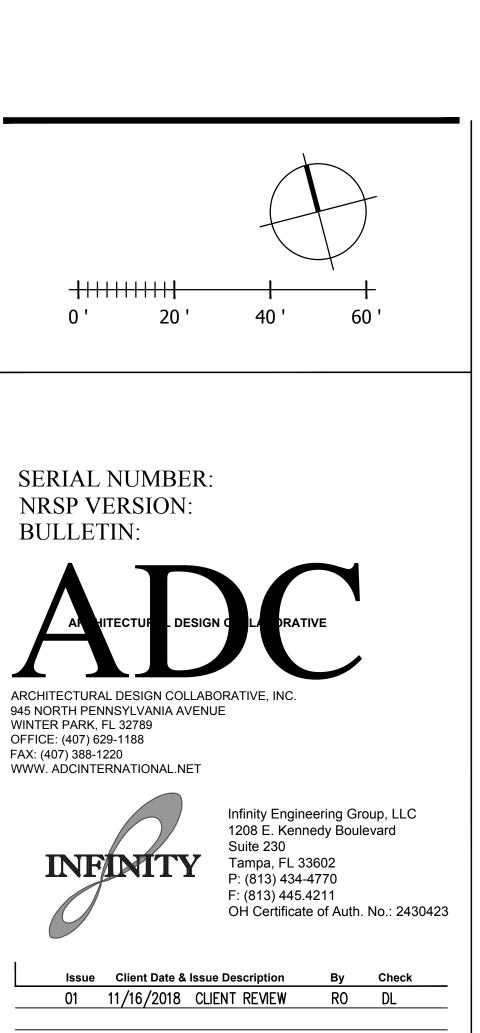
Scale
AS INDICATED

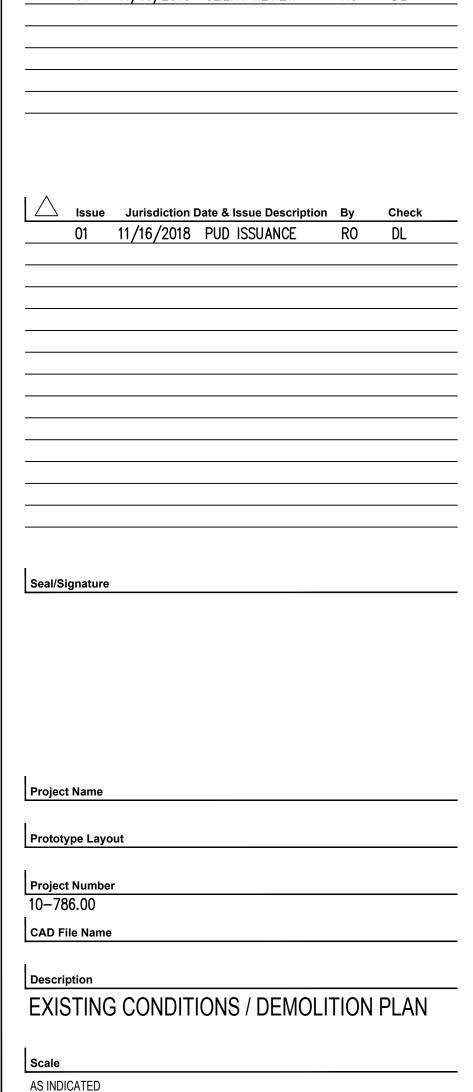
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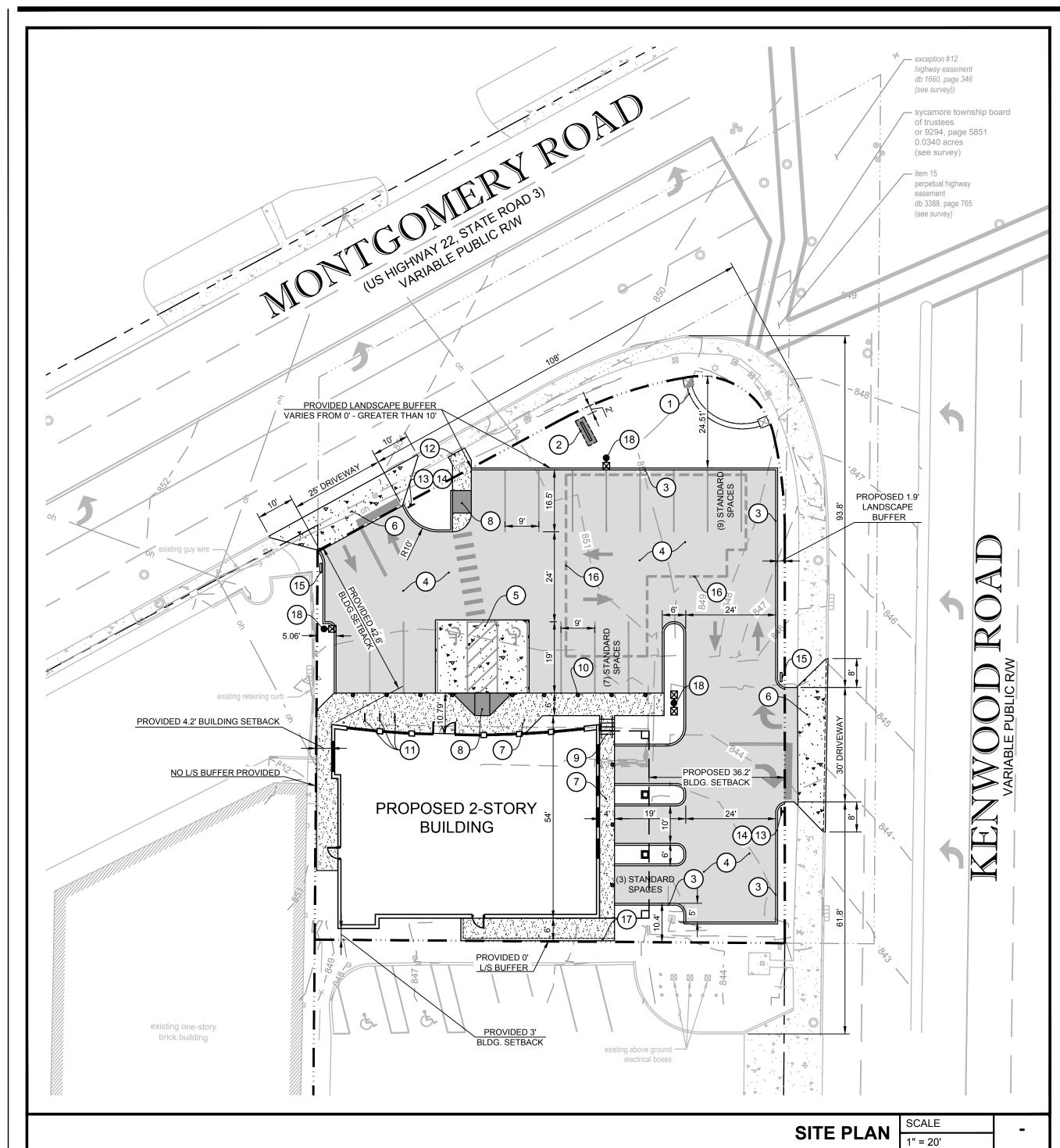








**Z**00.02

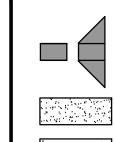


#### **NOTES**

2. ONE FREE STANDING MONUMENT SIGN SHALL BE PERMITTED UNDER THE PLAN.

- 3. IN ADDITION TO THE MONUMENT SIGN PERMITTED ABOVE, A SEPARATE MEMORIAL PLAQUE MAY BE INSTALLED ON THE LOT. THE MEMORIAL PLAQUE MAY BE MOUNTED ON A
- 4. EACH OF THE PERMITTED USES ARE ALLOWED ON THE LOT, AS SHOWN, WITHOUT REGARD TO OR OTHER REQUIREMENTS.
- 5. THE LOT IS PART OF A LARGER COMMERCIAL DISTRICT BENEFITED BY OFFSITE PUBLIC PARKING AREAS, SIDEWALKS, PEDESTRIAN CROSSWALKS/PATHWAYS AND OTHER FEATURES REDUCING THE NEED FOR ONSITE PARKING. THE LOT SHALL HAVE THE BENEFIT OF PUBLIC PARKING PERMITTED USES, AND NO OTHER PARKING SHALL BE REQUIRED.
- OF THE LOT, WITHOUT ADDITIONAL APPROVALS.
- 7. BY UTILIZING FEMA FLOOD MAP SERVICE CENTER, THIS PROPERTY WAS FOUND TO BE LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF FLOOD ZONE X, AREAS DETERMINED TO BE
- 8. THE BEARINGS SHOWN ON THIS SURVEY WERE ESTABLISHED BY UTILIZING THE OHIO VIRTUAL REFERENCE SYSTEM (VRS), U.S. STATE PLANE, OHIO SOUTH (3204) ZONE, NAD 1983, GEOID12A. COORDINATES TAKEN TO GROUND AT LATITUDE 39°11'55.27997", LONGITUDE W84°22'50.22252", PROJECT HEIGHT 737.665 WITH A GROUND SCALE FACTOR OF 1.0000940779804.

#### LEGEND:



SITE DATA

SITE ADDRESS:

PARCEL NUMBER:

SITE AREA (DEED):

\*SITE AREA (NOT WITHIN R/W):

**ZONING SUMMARY TABLE** 

PERMITTED USES:

**EXISTING ZONING:** 

PROPOSED ZONING:

3. PROPOSED BUILDING AREA:

PROVIDED: STANDARD PARKING

IMPERVIOUS SURFACE RATIO

• ALLOWED:

LANDSCAPE DATA

VEHICULAR USE AREA:

• PROPOSED:

PROPOSED CONCRETE SIDEWALK PROPOSED CONCRETE DRIVE AREAS PROPOSED ASPHALT

— SETBACK/BOUNDARY LINE EXISTING CURB PROPOSED CURB **EXISTING STORM INLET** 

7796 MONTGOMERY RD

CINCINNATI, OH 45236

28,466 SF OR 0.65 AC

16,608 SF OR 0.38 AC

E-RETAIL BUSINESS

1ST FL 3,526 SF 2ND FL 4,144 SF

4. PARKING SPACES REQUIRED; PARKING SPACES PROVIDED

HANDICAP PARKING

TOTAL PARKING

EMINENT DOMAIN.

BUILDING SETBACK (KENWOOD RD.)

BUILDING SETBACK REAR (SOUTH)

BUILDING SETBACK SIDE YARD (WEST)

• REQUIRED: 9' X 19' OR 9' X 16.5' ADJACENT TO CURB LANDSCAPE

• REQUIRED: 1 SPACE PER 400 SF OF NET AREA = 20 SPACES

BUILDING DATA (KENWOOD/MONTGOMERY ROAD CORRIDOR OVERLAY)

BUILDING SETBACK (MONTGOMERY RD.) = 40'

7,670 SF GFA THIS PLAN 8,000 SF GFA MAX ALLOWED

= 19 SPACES

= 2 SPACE

= 21 SPACES\*

= 40'

= 20'

22 SF PER ONE (1) PARKING SPACE

= 20'

\*SUBJECT TO REDUCTION IF ANY PORTION OF THE LOT IS TAKEN BY

0.5 MAXIMUM

0.83

PUD-II (PLANNED UNIT DEVELOPMENT)

USES ALLOWED IN ZONING DISTRICT E UNDER CHAPTER 3-2 OF THE SYCAMORE

ADOPTION, INCLUDING, WITHOUT

THE PERMITTED USES OF THE LOT ARE ALL

"PERMITTED USES") ON THE DATE OF PLAN

LIMITATION, ALL USES ALLOWED UNDER "RETAIL" IN TABLE 3-2 AND ALL USES ALLOWED UNDER "OFFICE" IN TABLE 3-2.

600-0211-0336-00

EXISTING ELECTRICAL BOX **EXISTING LIGHT POLE** EXISTING UTILITY POLE EXISTING MANHOLE EXISTING VALVE

**EXISTING CONCRETE** 

### **VICINITY MAP** Pit Row Radio Control Racing Union Savings Bank Meineke Car Care Center

85 66 6



Tire Discounters

#### **KEYED NOTES:**

3 CONCRETE		CONCRETE CURB
	2	ID SIGN. 8' MAX. HEIGHT AND 64 SF MAX. COPY AREA
	$\bigcirc$	STONE WALL / DECORATIVE FEATURE

6

ADA RAMP

= 42.6'

= 36.2'

= 4.2'

= 3.0'

STREETSCAPE/BOUNDARY BUFFER DATA

BOUNDARY BUFFER (MONTGOMERY RD.) = VARIES BOUNDARY BUFFER (KENWOOD RD.) = 10' = 1.9' +/-

22 SF X 21 SPACES = <u>462 SF</u>

<u>SIGNAGE</u>

FREE STANDING/MONUMENT SIGN:

MAX. # OF SIGNS: 1 PERMITTED

MAX. HEIGHT: 8 FEET PLUS 1' ADDITIONAL FOR EVERY 3 FEET OF ADDITIONAL SETBACK. 15' MAX.

COPY AREA REQUIRED: 64 SF MAX.

MIN. SETBACK REQUIRED: 10 FEET FROM RIGHT-OF-WAY 5 FEET FROM PROPERTY LINE

SETBACK PROVIDED:

#### **AERIAL MAP**

#### SCALE = NTS

SCALE = NTS

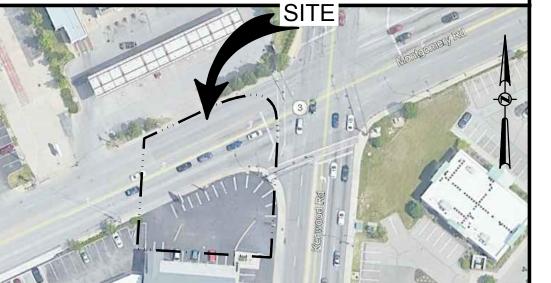
Jared

Firestone Complete

Nadeau - Furniture

Auto Care

with A Soul



STONE WALL / DECORATIVE FEATURE

(4) ASPHALT PAVEMENT

"BLACK TINTED" CONCRETE PAVEMENT

CONCRETE PAVEMENT CONCRETE SIDEWALK

CONCRETE STEPS AND ASSOCIATED HANDRAIL.

10 PARKING BOLLARD

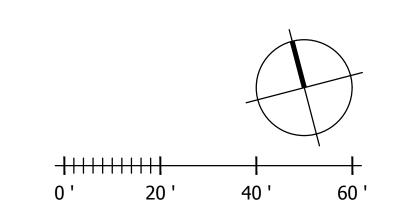
BICYCLE RACK PEDESTRIAN CONNECTION

MUTCD 30" X 30" R1-1 "STOP" SIGN AND FOUNDATION. MUTCD 18" X 24" R3-5R "RIGHT TURN ONLY" SIGN.

15 INTERNAL DIRECTIONAL SIGN 2' HIGH X 2.5' WIDE.

UNDERGROUND STORM CHAMBER.

RETAINING WALL AND SIDEWALK W/ HANDRAIL. PROPOSED AREA LIGHT



SERIAL NUMBER: NRSP VERSION: BULLETIN:



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Issue Client Date & Issue Description By Check 01 11/16/2018 CLIENT REVIEW RO DL

\ Issue	Jurisdiction [	Date & Issue Description	Ву	Check
01	11/16/2018	PUD ISSUANCE	R0	DL

Seal/Signature

Project Name			
1			

Prototype Layout Project Number 10-786.00 CAD File Name

Description ZONING PLAN - PUD II

AS SHOWN

**Z00.03** 

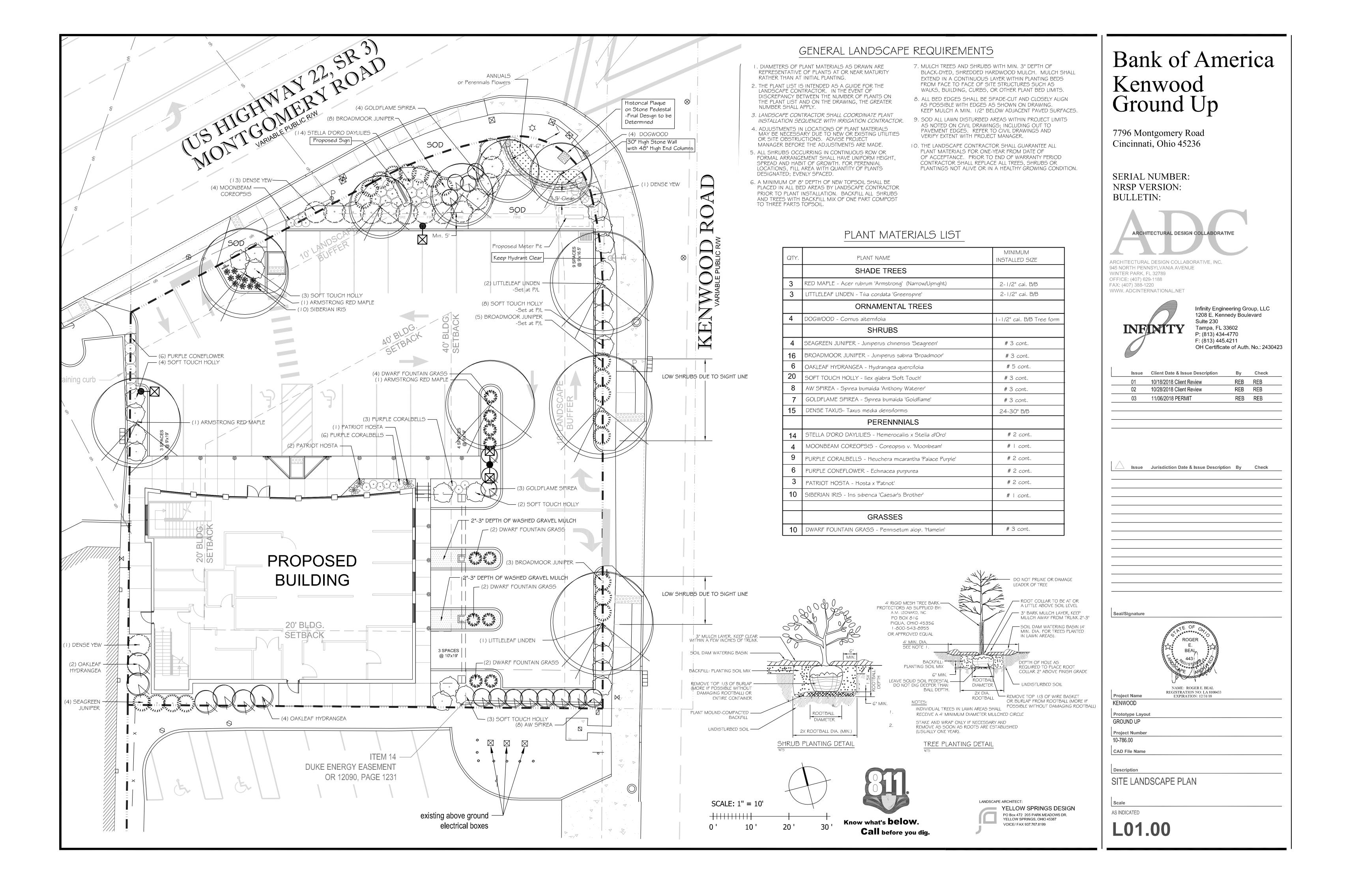
1. LOT SHALL INCLUDE A MINIMUM 10' X 10' LANDSCAPE AREA, AS SHOWN ON THE LANDSCAPE

FREESTANDING PEDESTAL OR ON THE STONE WALL SHOWN ON THE LANDSCAPE PLAN. ANY CONFLICTING IMPERVIOUS SURFACE RATIO, FLOOR AREA RATIO, PARKING, LANDSCAPING

SERVING THE AREA (INCLUDING, WITHOUT LIMITATION, THE ADJACENT LOT ON MONTGOMERY ROAD). THE PARKING PROVIDED ON THE PLAN SHALL BE SUFFICIENT TO SUPPORT EACH OF THE

6. A DUMPSTER AND SCREENED ENCLOSURE MAY BE INSTALLED ALONG THE SOUTHERN BOUNDARY

OUTSIDE OF THE 0.2% ANNUAL.

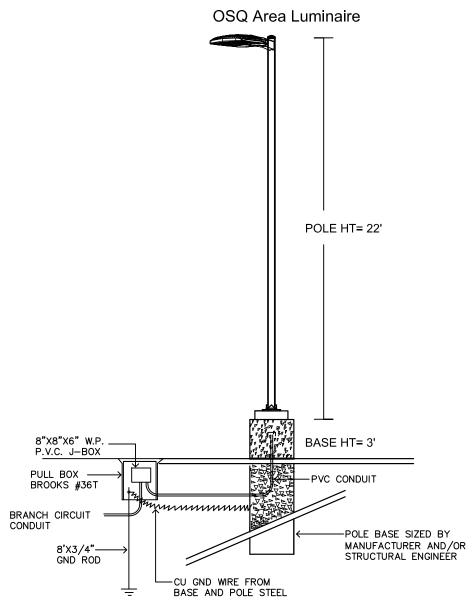


Luminaire S	chedule						
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
	1	U4-2	BACK-BACK	20427	0.990	430	OSQ-A-NM-4ME-U-40K-UL-BZ-40K + OSQ-DABZ
ь <b>—</b>	2	U4B	SINGLE	20427	0.990	430	OSQ-A-NM-4ME-U-40K-UL-BZ-40K + OSQ-BLSLF + OSQ-DABZ
	2	X-B-2M	SINGLE	2490	0.970	38	XSPW-B-WM-2ME-2L-40K-UL-BZ
	7	SEC-3	SINGLE	4198	0.970	490	SEC-EDG-3MB-WM-04-E-UL-WH-525-40K
	8	LR3	SINGLE	1800	0.700	160	LR6-18L-40K-120V-A

Pole Schedule

(2) PS4S22C1BZ (22' X 4" X .125" STEEL SQUARE POLE) Proposed poles meet 130 MPH sustained winds. (1) PS4S22C2BZ (22' X 4" X .125" STEEL SQUARE POLE) Proposed poles meet 120 MPH sustained winds.

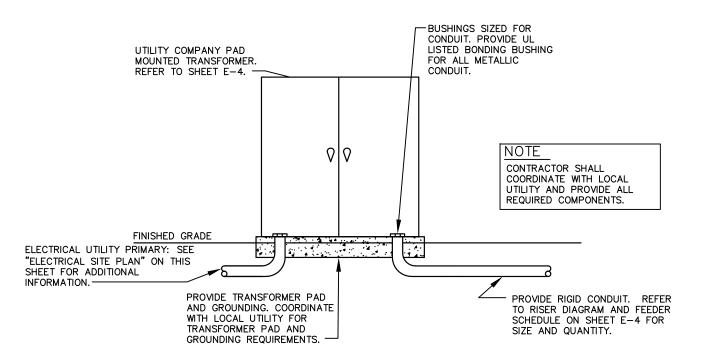
Label	Avg	Max	Min	Avg/Min	Max/Min
Off Pavement	0.95	9.3	0.0	N.A.	N.A.
Paved Area	6.71	18.8	0.8	8.39	23.50
5' RAD	12.70	12.7	12.7	1.00	1.00
60' RAD	8.73	18.8	3.7	2.36	5.08



NOTE: POLE MANUFACTURER IS REQUIRED TO PROVIDE SIGNED AND SEALED DRAWINGS STATING THAT THE ENTIRE POLE ASSEMBLY INCLUDING POLE, CROSS ARM(S) AND LIGHT FIXTURES MEET THE REQUIRED WIND LOADING BEFORE SHIPPING THE POLES.

#### SITE LUMINAIRE & POLE DETAIL

NOT TO SCALE



#### PAD MOUNTED TRANSFORMER DETAIL

NOT TO SCALE

**KEY NOTES** 

#### **GENERAL NOTES**

- REFER TO CIVIL PLANS FOR LOCATION OF UTILITY COMPANY'S POLE MOUNTED TRANSFORMER . FIELD VERIFY EXACT LOCATION OF EQUIPMENT WITH UTILITY COMPANY. FIELD COORDINATE ALL ASPECTS OF SERVICE ENTRANCE WITH UTILITY COMPANY. REFER TO PAD MOUNTED TRANSFORMER DETAIL ON THIS SHEET FOR ADDITIONAL INFORMATION.
- INCOMING UNDERGROUND SECONDARY ELECTRICAL SERVICE. REFER TO ELECTRICAL RISER DIAGRAM FOR ADDITIONAL INFORMATION. INSTALL ADDITIONAL HANDHOLES AS REQUIRED.
- TELEPHONE UTILITY SERVICE CONDUIT: PROVIDE (2) 4" CONDUITS FROM TELEPHONE EQUIPMENT BACKBOARD TO PROPERTY LINE. FIELD VERIFY EXACT LOCATION OF TERMINATION WITH TELEPHONE COMPANY REPRESENTATIVE. FIELD COORDINATE ALL ASPECTS OF SERVICE ENTRANCE WITH UTILITY COMPANY. PROVIDE NYLON PULL STRING
- REFER TO DRAWING E-4 FOR EXACT LOCATION OF CONDUIT STUB-UPS IN BUILDING.
- EXTEND CIRCUITS INDICATED THRU EXTERIOR LIGHTING CONTROLLER. REFER TO DRAWINGS E-4 FOR CONTACTOR
- 6 FIELD COORDINATE EXACT LOCATION OF SIGNAGE STUB-UP. COORDINATE WITH ARCHITECT BANK SIGNAGE. PROVIDE FINAL ELECTRICAL CONNECTION. PROVIDE WATER TIGHT JUNCTION BOX AND DISCONNECT SWITCH FOR MONUMENT SIGN. COORDINATE EXACT LOCATION WITH CIVIL DRAWINGS.
- 7 NOT USED.

CONTRACTOR PROPOSING TO UNDERTAKE WORK UNDER THIS DIVISION SHALL VISIT THE SITE OF THE WORK AND FULLY INFORM THEMSELVES OF ALL CONDITIONS THAT

CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED

- EFFECT THE WORK AND COST THEREOF, AND EXAMINE THE DRAWINGS AND SPECIFICATIONS AS RELATED TO THE SITE
- MISUNDERSTANDINGS OF THE AMOUNT OF WORK TO BE PERFORMED. TENDER OF PROPOSAL SHALL CONVEY FUL AGREEMENT TO THE ITEMS AND CONDITIONS INDICATED ON THE DRAWINGS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS OR BE IN DOUBT AS TO THE INTENT THEREOF. HE SHALL IMMEDIATELY OBTAIN CLARIFICATION FROM THE ENGINEER AND/OR OWNER'S REPRESENTATIVE PRIOR TO SUBMITTING HIS PROPOSAL FOR WORK.
- FIELD VERIFY EXACT NAMEPLATE DATA ON ALL EQUIPMENT FURNISHED UNDER OTHER DIVISIONS AND/OR BY THE TENANT (I.E. HVAC EQUIPMENT, KITCHEN EQUIPMENT, ETC..) PRIOR TO THE INSTALLATION OF ELECTRICAL WORK AND MAKE ANY ADJUSTMENTS TO OUTLETS, CONDUITS, WIRE AND/OR CIRCUIT BREAKER AS REQUESTED TO MATCH
- 4. REFER TO ELECTRICAL RISER DIAGRAM ON SHEET E-4 FOR MORE INFORMATION. 5. REFER TO PANEL SCHEDULES ON SHEET E-7 FOR SITE LIGHTING CIRCUITING.

- **6.** REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E-5 FOR MORE INFORMATION.
- 7. ALL UNDERGROUND WIRING SHALL BE LOCATED WITHIN 12" OF BACK OF CURB IN ALL LOCATIONS. 8. FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF POLE BASES AND UNDERGROUND
- 9. POLE BASES SHALL BE INSTALLED 4'-0" BEHIND BACK OF CURB TO CENTER OF POLE BASE. 10. PANEL 'MDP' IS LOCATED IN ELECTRICAL ROOM - SEE SHEET
- E-4 FOR EXACT LOCATION. 12. ALL CONDUCTORS SHALL BE COPPER. CONDUCTORS FOR ABOVE GROUND SERVICE SHALL BE THHN - THWN. CONDUCTORS FOR BELOW GRADE SERVICE SHALL BE THW OR XHHW. CONDUCTORS #10 AND SMALLER SHALL BE SOLID,
- CONDUCTORS #8 AND LARGER SHALL BE STRANDED. 13. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT THE BUILDING'S FACADE, AND UNSHIELDED
- 14. ALL EXTERIOR LIGHT FIXTURES CIRCUITS ARE CONTROLLED BY IC3 SYSTEM, EXTERIOR LIGHTING CONTRACTORS AND

## BUILDING X-B-2M MH: 11'-6' LR3 @ CANOPY

**ELECTRICAL SITE PLAN** 

**GRAPHIC SYMBOLS** 

JUNCTION BOX (WP - WEATHERPROOF)

PC PHOTOELECTRIC CELL

NER NETWORK ELECTRICAL ROOM

G GROUND

TYP TYPICAL

C CONDUIT

POLE MOUNTED SITE LIGHTING FIXTURE (SINGLE OR MULTI HEAD)

1/16"=1'-0"

#### Bank Of America Kenwood New Store - Flagship

7796 Montgomery Rd. Sycamore Twp, Ohio

SERIAL NUMBER: OHW-NRSP VERSION: **BULLETIN:** 02-2018



945 NORTH PENNSYLVANIA AVENUE WINTER PARK, FL 32789 OFFICE: (407) 629-1188 FAX: (407) 388-1220 WWW. ADCINTERNATIONAL.NET

**Bankof America** 







P&G ENGINEERING DESIGN GROUP CORP. CERTIFICATE OF AUTHORIZATION - 05550 21 SW 102 Ct. Miami, Fl. 33174 Office. 786.747-5018 | Cell. 786. 863.7091 Issue Client Date & Issue Description

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Issue Jurisdiction Date & Issue Description By

Seal/Signature LUIS O. PEREZ, | OHIO |

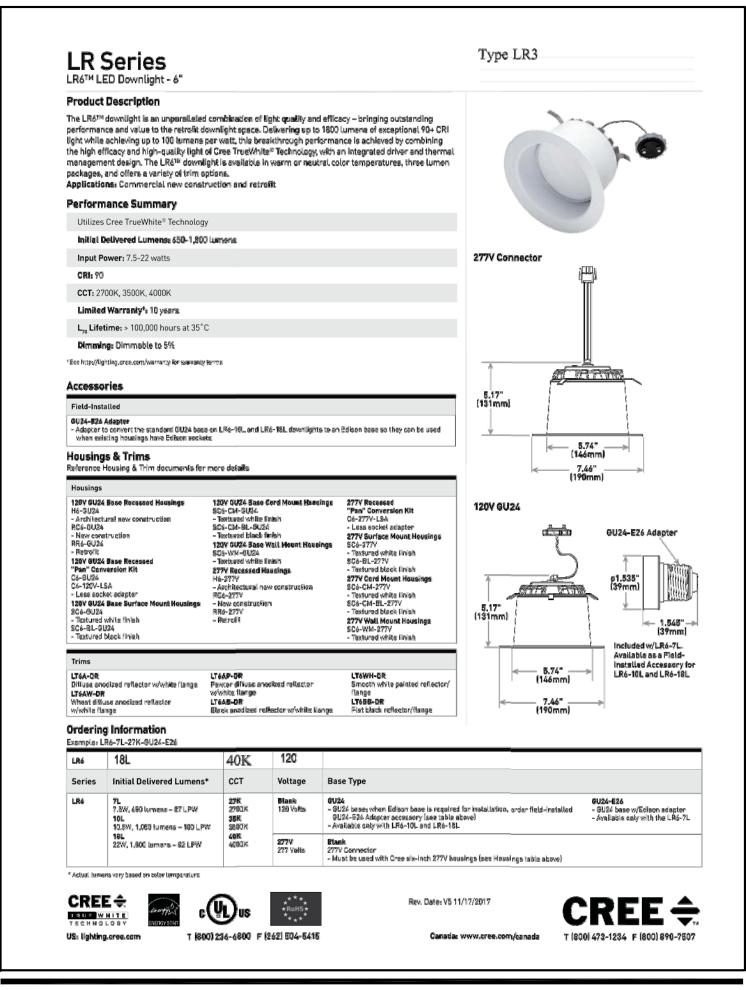
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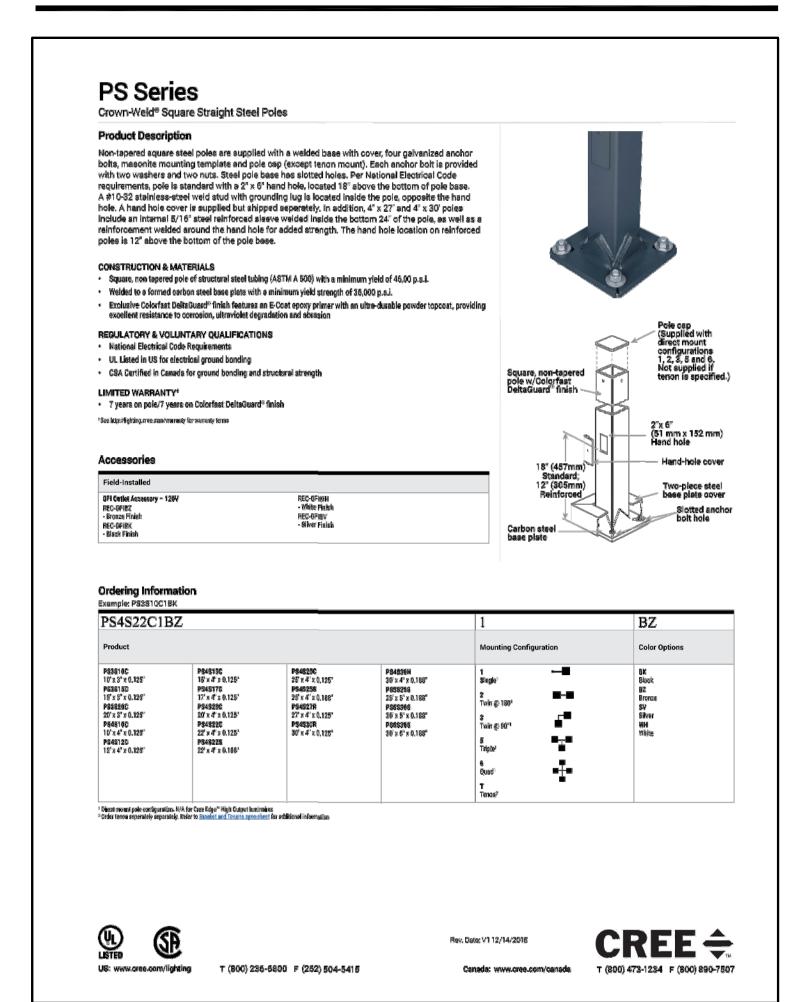
**K**ENWOOD Prototype Layout NEW STORE - FLAGSHIP Project Number ,18165 CAD File Name F:\P&G\PROJECTS\2018\ADC\18-165 BofA KENWOOD ELECTRICAL SITE AND PHOTOMETRIC PLAN

Scale AS NOTED

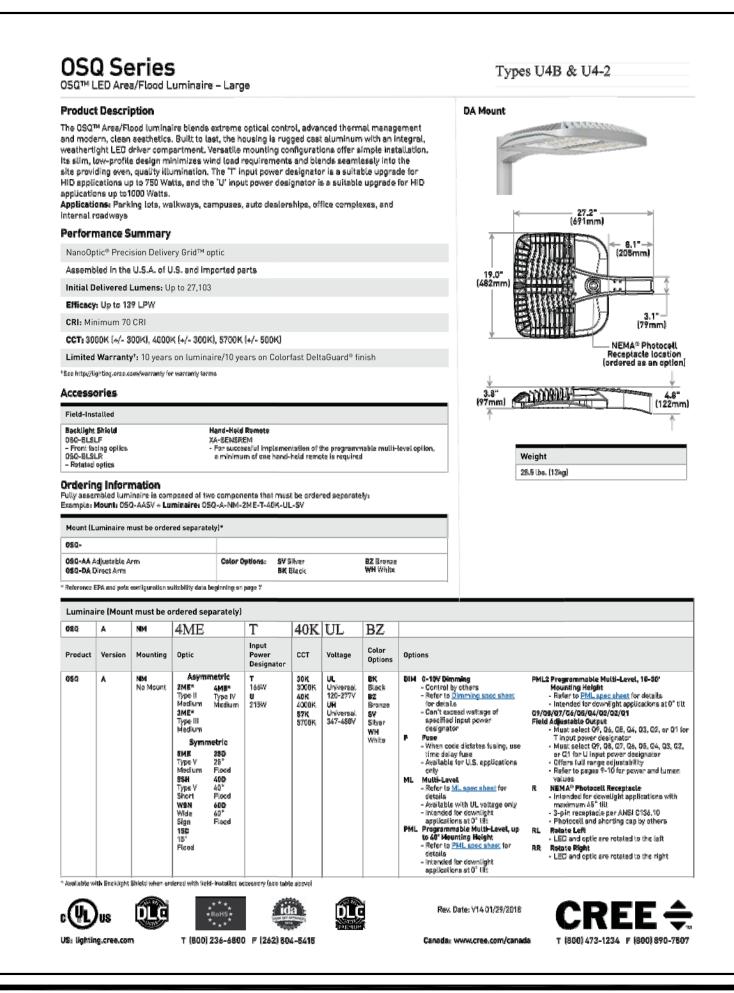
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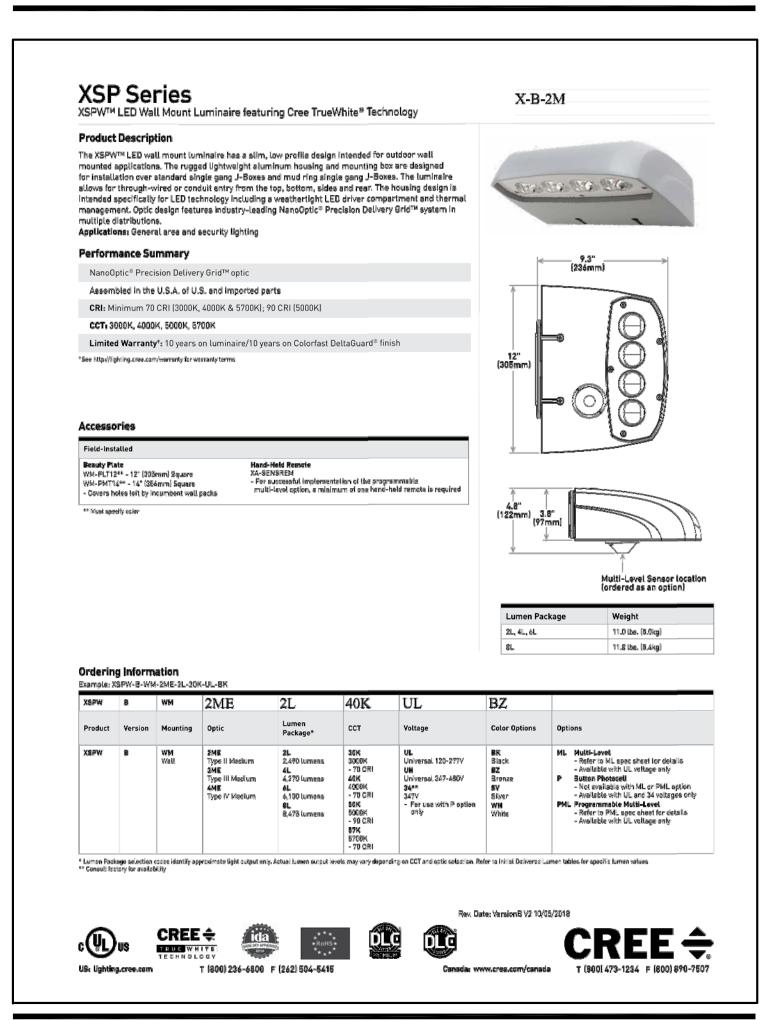




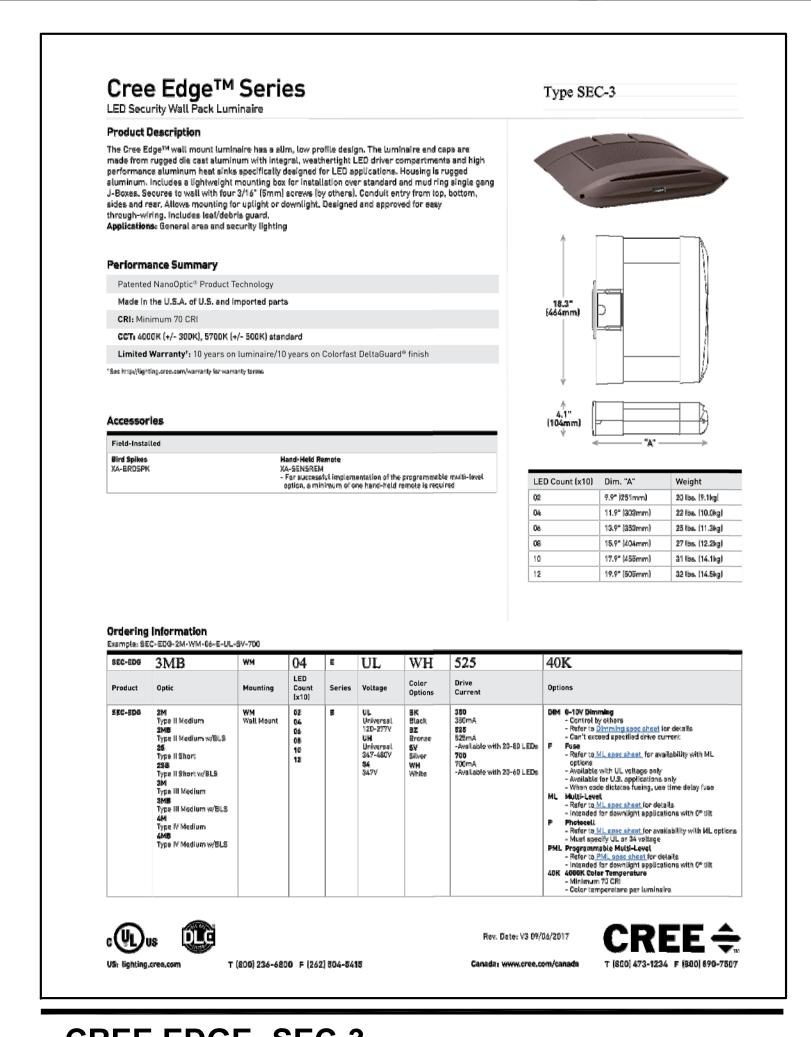




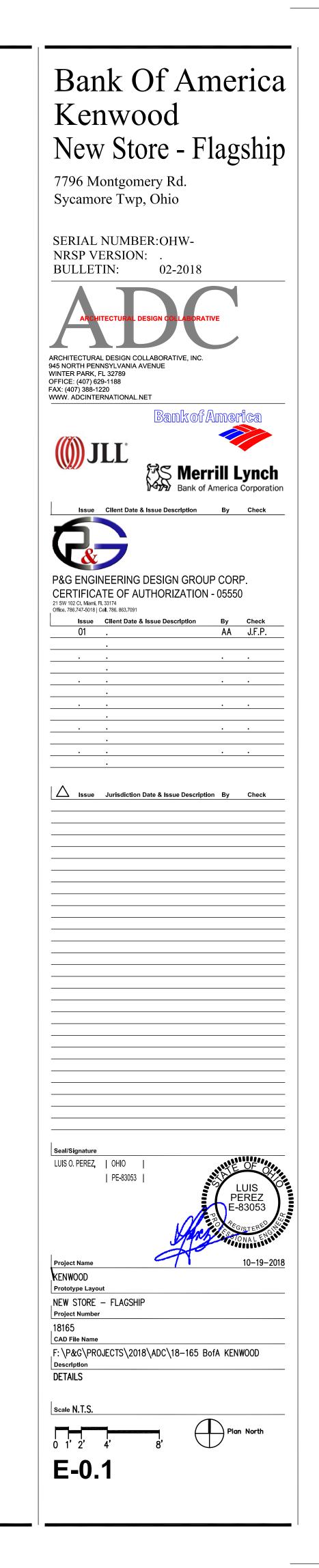
#### **CREE OSQ**

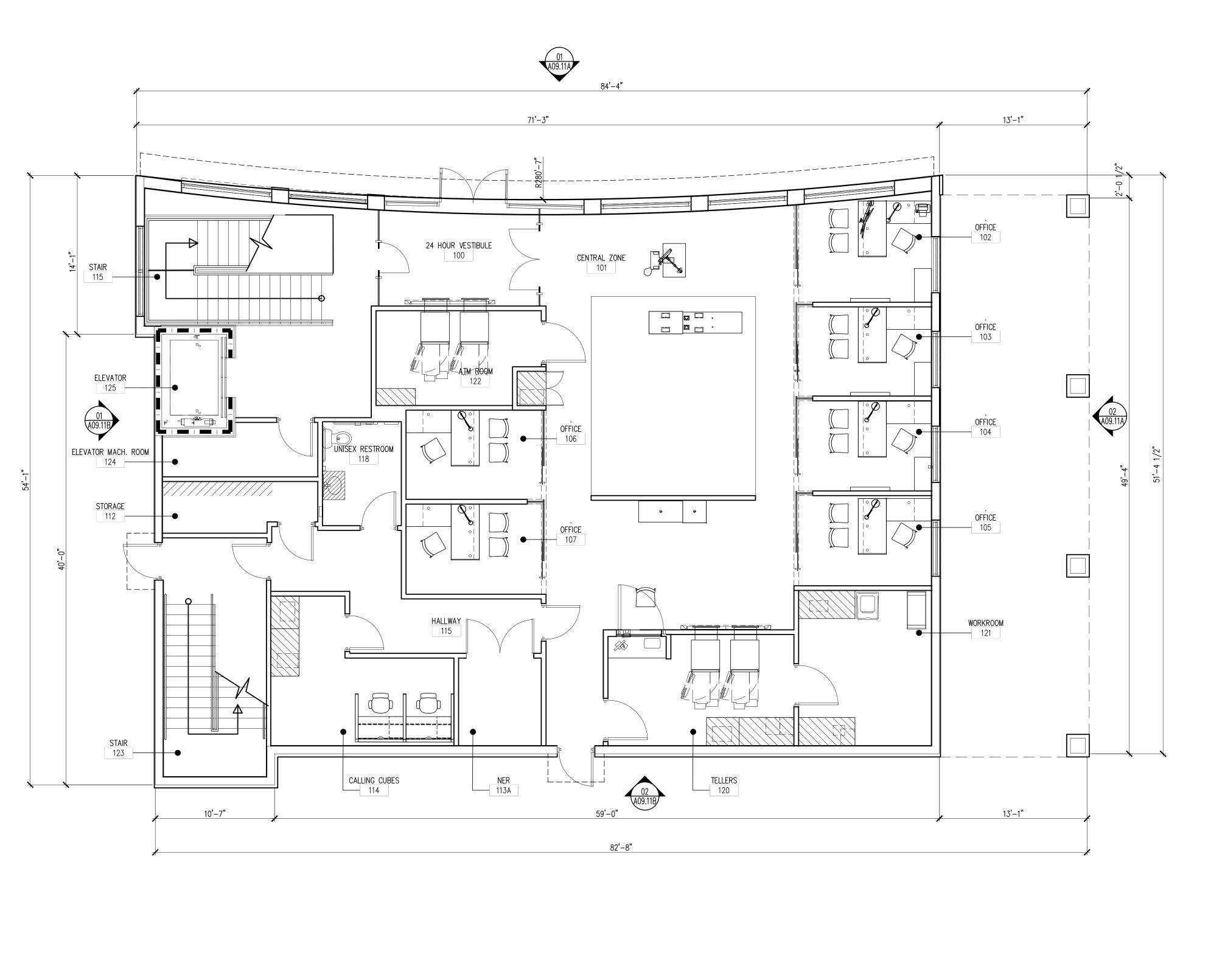


**CREE XSPW** 



#### **CREE EDGE- SEC-3**





#### **KEY NOTES**

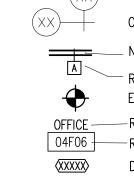
- (01) INSTALL ROLLER SHADE. REFER TO DET. 6/A12.02. 102 INSTALL F.R. BLOCKING TO INSTALL MEDIA WALL,
- AS REQ'D. (03) PROVIDE FIRE-RATED 3/4" PLYWOOD BACKBOARD
- ON ALL WALLS, H=8'-0". GROUND MOUNTED SIGN BY OWNER.
- PROVIDE HEAVY DUTY FLOOR STOP PER SPEC. IF SAFE DOOR DOES NOT PROVIDE DOOR STOP.

  (06) LADDER TO ROOF HATCH — SEE DETAIL 12/A09.32
- (07) ROOF HATCH ABOVE SEE DETAIL 8/A09.32
- (08) BOLLARD SEE DETAIL 9/A09.32
- (9) 4"HIGH PRECAST CONCRETE PAD PER
- SPECIFICATION. COORDINATE LOCATION WITH ELECTRICAL CENTRAL INVERTER

  (10) ADD 3/4" PLYWOOD ONLY AT SIDE WHERE
- FURNITURE IS LOCATED. REFER TO FURNITURE PLAN FOR LOCATION, AS REQ'D
  ARCHITECT TO VERIFY THE PROPOSED ATM TYPE &
  SURROUND AND PROVIDE OPENING LOCATION &
- DIMENSION ON A08.11

  ACCESSIBLE ATM SHALL COMPLY WITH DISABILITY
- ACT 2010
  (13) HEADER CURB
- CLEAN OUT LOCATION 24"AFF, REFER TO PLUMBING DRAWINGS.

  (15) REFET TO CIVIL DRAWINGS FOR SLOPE DIRECTION
- ) LOCATION OF THE TRASH CONTAINER
- LOCATION OF THE MOP BUCKET (18) LOCATION OF LEED BUILDING SIGN
- **GRAPHIC SYMBOLS**



COLUMN GRID

NEW PARTITION REFERENCE TO PARTITION TYPE ELEVATION DATUM POINT

-ROOM NAME -ROOM NUMBER

DOOR NUMBER (WITH SCHEDULE)

ALIGN WITH ESTABLISHED SURFACES

SHEET NOTE

MILLWORK SCHEDULE TAG (IF USED) FIRE EXTINGUISHER WITHOUT CABINET FIRE EXTINGUISHER CABINET JAMB CAMERA

EXTERIOR ELEVATION INDICATION

ROW ON ELEVATION SHEET WHERE SHOWN
DIRECTION OF ELEVATION - SHEET WHERE SHOWN

INTERIOR ELEVATION INDICATION

LOCATION ON ROW WHERE SHOWN - DIRECTION OF ELEVATION ROW ON ELEVATION SHEET WHERE SHOWN SHEET WHERE SHOWN

DETAIL NUMBER DESCRIPTION OF SIMILAR OR OPPOSITE - AREA TO BE DETAILED

— DIRECTION OF SECTION/ELEVATION — SHEET WHERE SHOWN "

#### **SHEET NOTES**

- A. ALL PARTITIONS TO BE TYPE "A", UNLESS OTHERWISE
- B. REFER TO SHEET A12.01. FOR ADDITIONAL GENERAL NOTES,
- LEGENDS AND SCHEDULES, REFERENCE A00.00.
- C. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 6" FROM ADJACENT PERPENDICULAR PARTITION.
- D. REFER TO DRAWING A08.11 FOR BANKING EQUIPMENT, VERIFY ALL EQUIPMENT WITH VENDOR.
- E. CONTRACTOR SHALL PROVIDE F.R. BLOCKING FOR ALL
- EQUIPMENT AND ACCESSORIES MOUNTED ON WALLS.

#### Bank Of America Kenwood New Store - Flagship

7796 Montgomery Rd. Sycamore Twp, Ohio

SERIAL NUMBER: OHW-NRSP VERSION: 02-2018 BULLETIN:



945 NORTH PENNSYLVANIA AVENUE
WINTER PARK, FL 32789
OFFICE: (407) 629-1188
FAX: (407) 388-1220
WWW. ADCINTERNATIONAL.NET





Bankof America

Issue	Client Date & Issue Description	Ву	Chec
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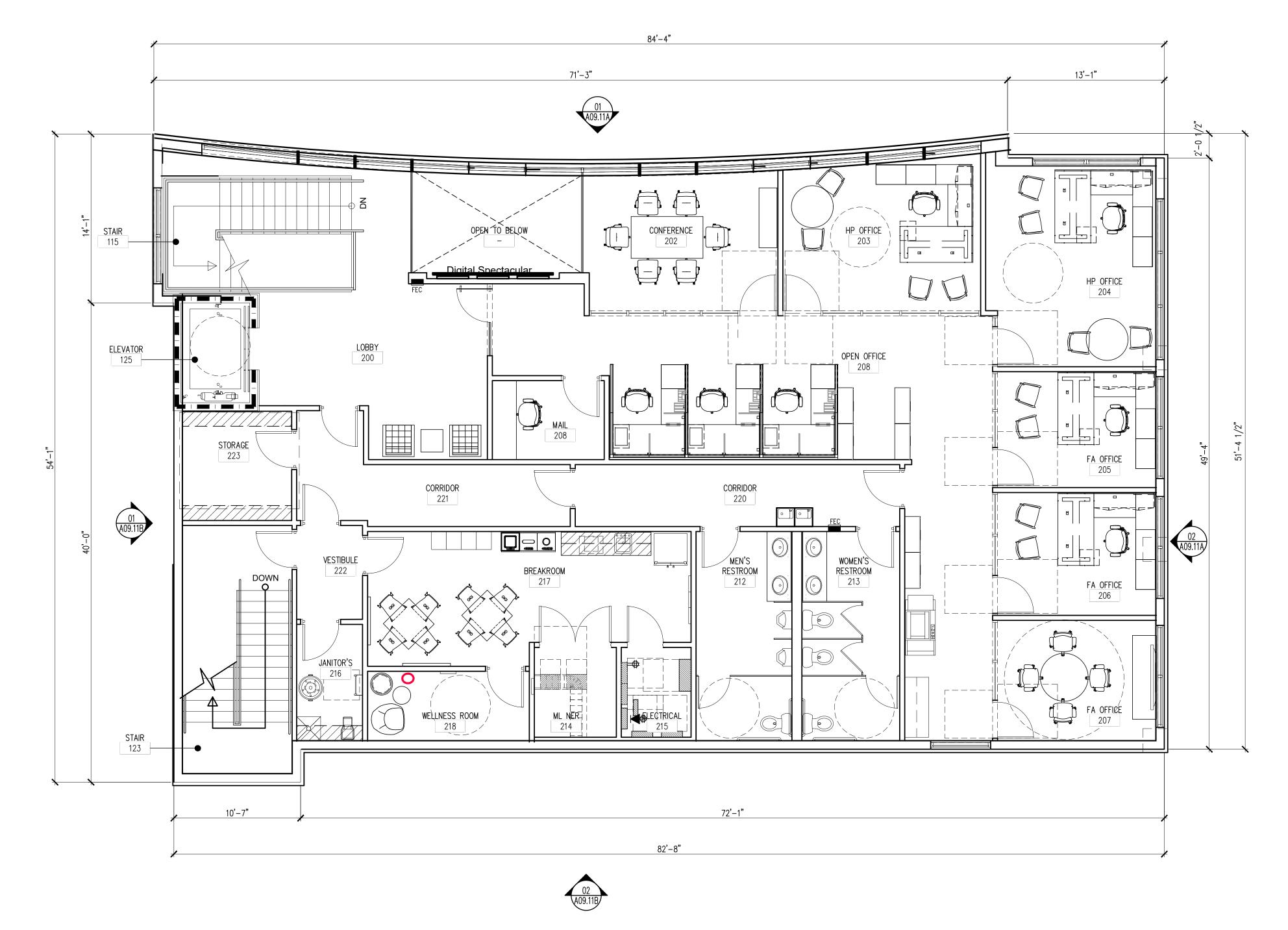
RAYMUNDO FEITO, R.A. STATE OF OHIO CERTIFICATE NO.: ARC.1817206

Project Name ,KENWOOD Prototype Layout NEW STORE - FLAGSHIP Project Number 18165 CAD File Name X:\DWGS\18165 BOA KENWOOD\CAD\SHEETS\A02-01.DWG

A02.01 FLOOR PLAN LEVEL 1

AS SHOWED





#### **KEY NOTES**

- (1) INSTALL ROLLER SHADE. REFER TO DET. 6/A12.02.
- 02 INSTALL F.R. BLOCKING TO INSTALL MEDIA WALL,
  AS REQ'D.
  03 PROVIDE FIRE-RATED 3/4" PLYWOOD BACKBOARD
  ON ALL WALLS, H=8'-0".
- (04) LADDER TO ROOF HATCH SEE DETAIL 12/A09.32
- (05) ROOF HATCH ABOVE SEE DETAIL 8/A09.32
- 66 ADD 3/4" PLYWOOD ONLY AT SIDE WHERE FURNITURE IS LOCATED. REFER TO FURNITURE PLAN FOR LOCATION, AS REQ'D LOCATION OF THE TRASH CONTAINER
- LOCATION OF THE MOP BUCKET

**GRAPHIC SYMBOLS** 

NEW PARTITION

04F06 ROOM NUMBER

COLUMN GRID

-ROOM NAME

SHEET NOTE

JAMB CAMERA

EXTERIOR ELEVATION INDICATION

INTERIOR ELEVATION INDICATION

DETAIL NUMBER

AREA TO BE DETAILED

REFERENCE TO PARTITION TYPE

DOOR NUMBER (WITH SCHEDULE)

- MILLWORK SCHEDULE TAG (IF USED) FIRE EXTINGUISHER WITHOUT CABINET

FIRE EXTINGUISHER CABINET

ROW ON ELEVATION SHEET WHERE SHOWN - DIRECTION OF ELEVATION SHEET WHERE SHOWN

ALIGN WITH ESTABLISHED SURFACES

ELEVATION DATUM POINT

#### Bank Of America Kenwood New Store - Flagship

7796 Montgomery Rd. Sycamore Twp, Ohio

SERIAL NUMBER:OHW-NRSP VERSION: **BULLETIN:** 02-2018



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WINTER PARK, FL 32789
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FAX: (407) 388-1220
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## Merrill Lynch Bank of America Corporation

Issue Jurisdiction Date & Issue Description By Check

-LOCATION ON ROW WHERE SHOWN — DIRECTION OF ELEVATION

— ROW ON ELEVATION SHEET WHERE SHOWN

— SHEET WHERE SHOWN DESCRIPTION OF SIMILAR OR OPPOSITE

- DIRECTION OF SECTION/ELEVATION SHEET WHERE SHOWN SYMBOL REMARKS NEW NON RATED WALL TO DECK ABOVE, U.N.O. NEW NON RATED WALL TO DECK ABOVE, U.N.O.

NEW 2 HOUR RATED WALL TO DECK ABOVE ■ | ■ NEW 1 HOUR RATED WALL TO DECK ABOVE NOTE: SEE WALL SECTIONS AND DETAILS ON SHEET A12.01 FOR MORE INFORMATION.

#### **SHEET NOTES**

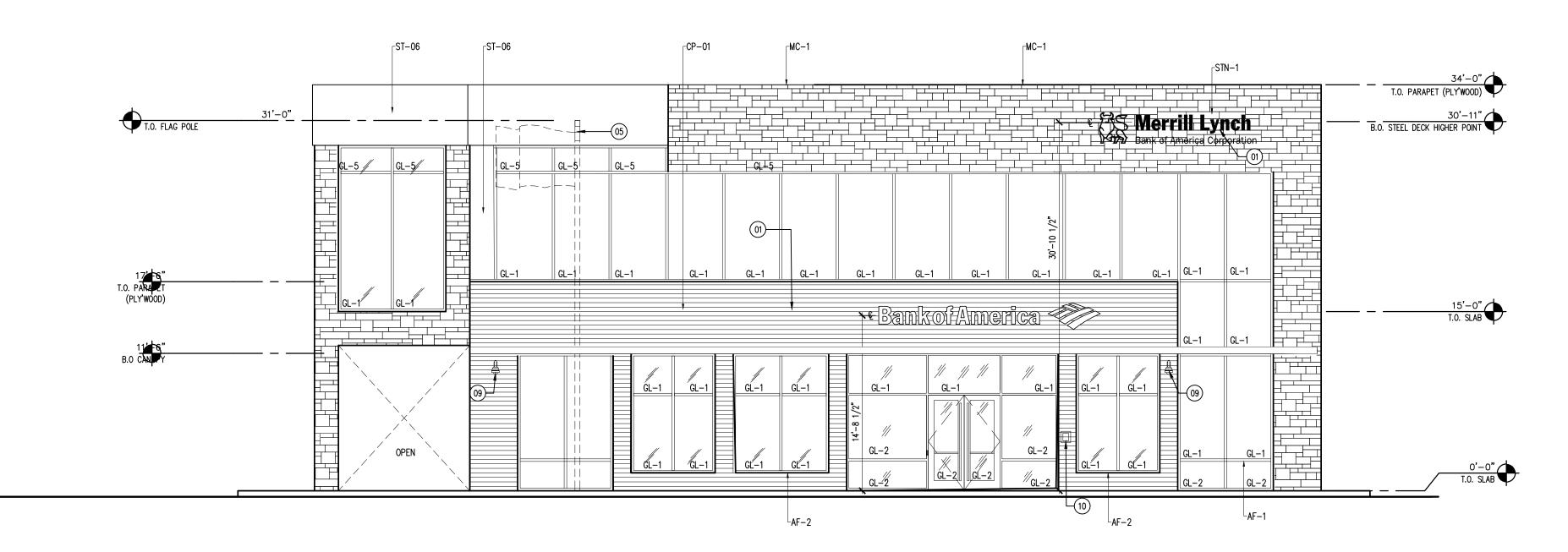
- B. REFER TO SHEET A12.01. FOR ADDITIONAL GENERAL NOTES,
- C. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL
- D. REFER TO DRAWING A08.11 FOR BANKING EQUIPMENT,
- VERIFY ALL EQUIPMENT WITH VENDOR.

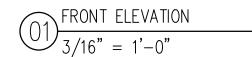
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RAYMUNDO FEITO, R.A.
STATE OF OHIO CERTIFICATE NO.: ARC.1817206 Project Name

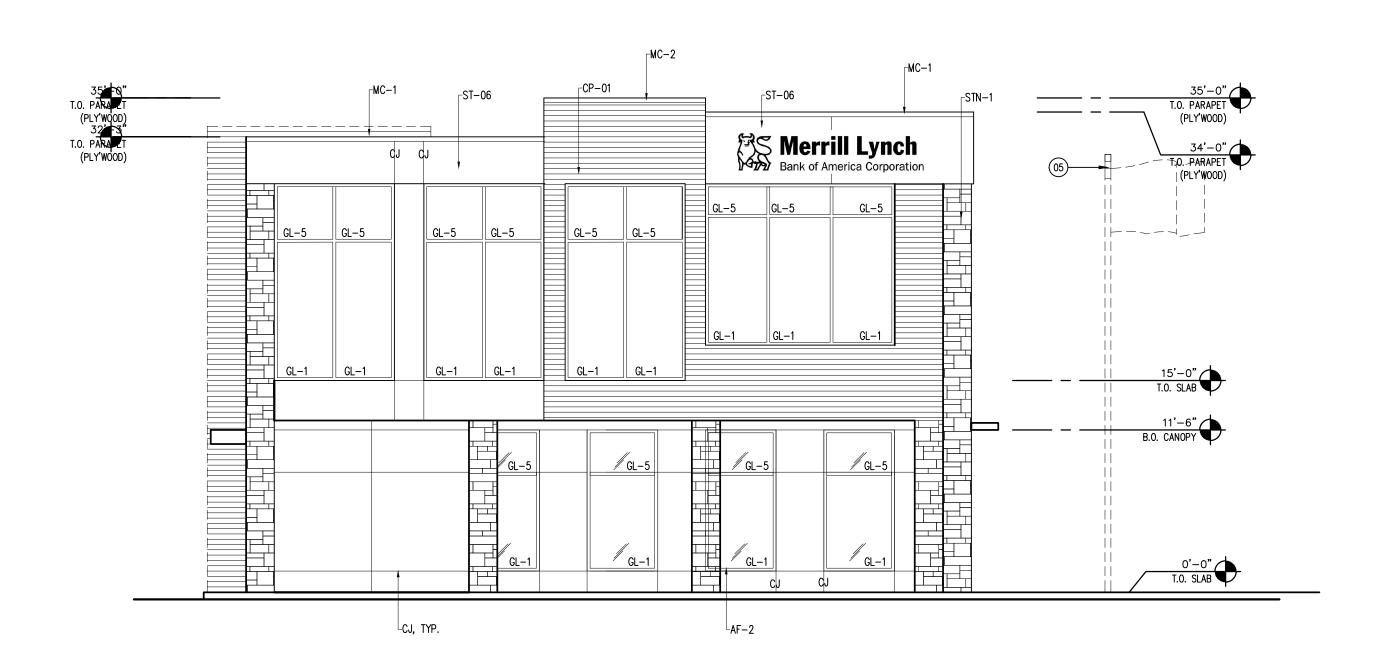
KENWOOD Prototype Layout NEW STORE - FLAGSHIP Project Number ,18165 CAD File Name X:\DWGS\18165 BOA KENWOOD\CAD\SHEETS\A02-02.DWG

A02.02 FLOOR PLAN LEVEL 2

- A. ALL PARTITIONS TO BE TYPE "A", UNLESS OTHERWISE
- LEGENDS AND SCHEDULES, REFERENCE A00.00.
- DOORS 6" FROM ADJACENT PERPENDICULAR PARTITION.
- E. CONTRACTOR SHALL PROVIDE F.R. BLOCKING FOR ALL
- EQUIPMENT AND ACCESSORIES MOUNTED ON WALLS.







#### **BAC STANDARD EXTERIOR FINISHES** AC-42 "GRAND TETON WHITE" SAND SMOOTH FINISH BENJAMIN MOORE ALUMINUM COMPOSITE METAL PANEL (BASED ON APOLIC) [BAC PRESCRIPTIVE/BASIS OF DESIGN] "CLEAR SATIN ANODIZED" METAL SERIES I: STANDARD ANODIZED CITADEL ARCHITECTURAL PRODUCTS INC. CONTACT: ORION DANIEL, 704.363.9897 **GLAZING [BAC PERFORMANCE]** 1" HEAT STRENGTHENED CLEAR INSULATED GLAZING AS SPECIFIED 1" TEMPERED INSULATED SPANDREL GLAZING AS SPECIFIED ALUMINUM GLAZING FRAMES [BAC PRESCRIPTIVE/BASIS OF DESIGN] CURTAINWALL SYSTEM AS SPECIFIED - KYNAR 500 METAL CITADEL ARCHITECTURAL PRODUCTS SERIES F, RESERVE WHITE STOREFRONT SYSTEM AS SPECIFIED - KYNAR 500 METAL CITADEL ARCHITECTURAL PRODUCTS SERIES F, RESERVE WHITE METAL COPING [BAC PERFORMANCE] PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH STN-1 - STONE COLOR PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH CP-01 - TRESPA COLOR STONE

KASOTA GREY VEIN SPLIT LINEAR STONE, SIZE: KASOTA STONE. CONTACT: KIRK MEYER, KIRK@KASOTASF.COM

TRESPA PURA NFC WITH CONCEALED FASTENERS. COLOR PU17 AGED ASH FLUSH

**CLADDING PANEL** 

#### **KEY NOTES**

- (01) SIGN BY OWNER
- (02) DRIVE THROUGH ATM
- (03) VACUUM AIR TUBE (VAT)
- 04) METAL PANEL SYSTEM
- (05) 31-FT FLAG POLE AND MOUNTING BRACKETS PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- 66 S-TYPE REGULATORY DIRECTIONAL/INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN = CENTERLINE OF LANE.
- (97) LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE.
- (8) LED LANE LIGHTS PROVIDED BY EQUIPMENT VENDOR. CENTERLINE OF SIGN = CENTERLINE OF LANE.
- (9) EXTERIOR SECURITY CAMERA
- 10 FIREMAN'S LOCKBOX COORDINATE WITH FIRE OFFICIAL THE MOUNTING HEIGHT AND LOCATION PRIOR TO INSTALLATION
- SIGNAGE ON DOOR THAT READS "NO SMOKING WITHIN 25 FEET OF THE ENTRANCE" PROVIDED BY OWNER.
- (12) CLEAN OUT LOCATIONS

#### **SHEET NOTES**

- A. CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- B. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-5 TYPE LETTERSET.
- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET.
- D. REFER TO A12.11 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM
- E. REFER TO SHEET A09.31 FOR TYPICAL CEMENT PLASTER DETAILS
- F. REFER TO DETAIL 1/A09.32 FOR TYP. WINDOW FLASHING DETAILS

#### Bank Of America Kenwood New Store - Flagship

7796 Montgomery Rd. Sycamore Twp, Ohio

SERIAL NUMBER:OHW-\_ NRSP VERSION: **BULLETIN:** 02-2018



ARCHITECTURAL DESIGN COLLABORATIVE, INC. 945 NORTH PENNSYLVANIA AVENUE WINTER PARK, FL 32789
OFFICE: (407) 629-1188
FAX: (407) 388-1220
WWW. ADCINTERNATIONAL.NET





Issue Jurisdiction Date & Issue Description By

Seal/Signature



RAYMUNDO FEITO, R.A. STATE OF OHIO CERTIFICATE NO.: ARC.1817206
Project Name

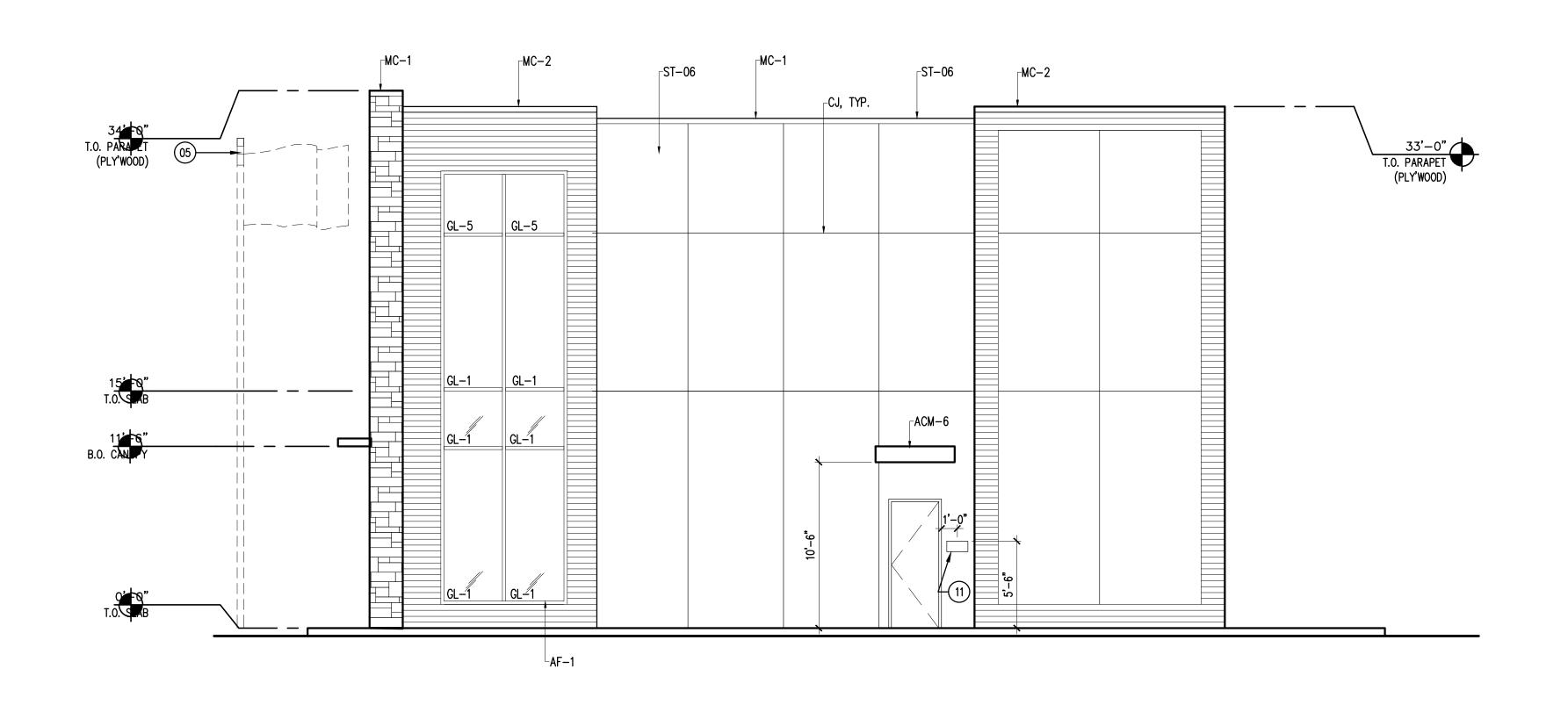
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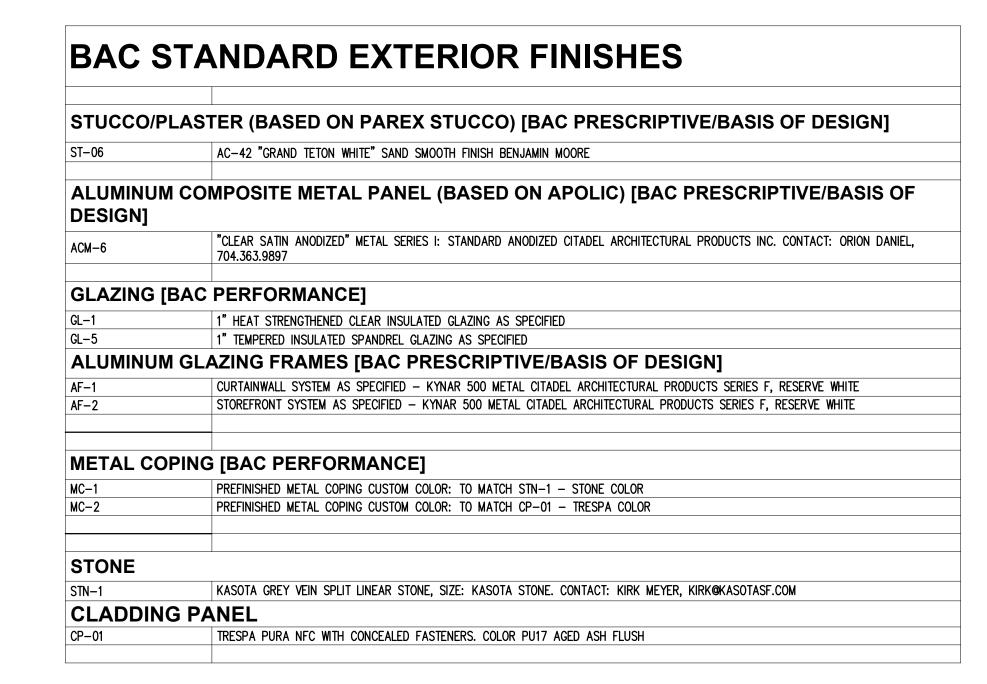
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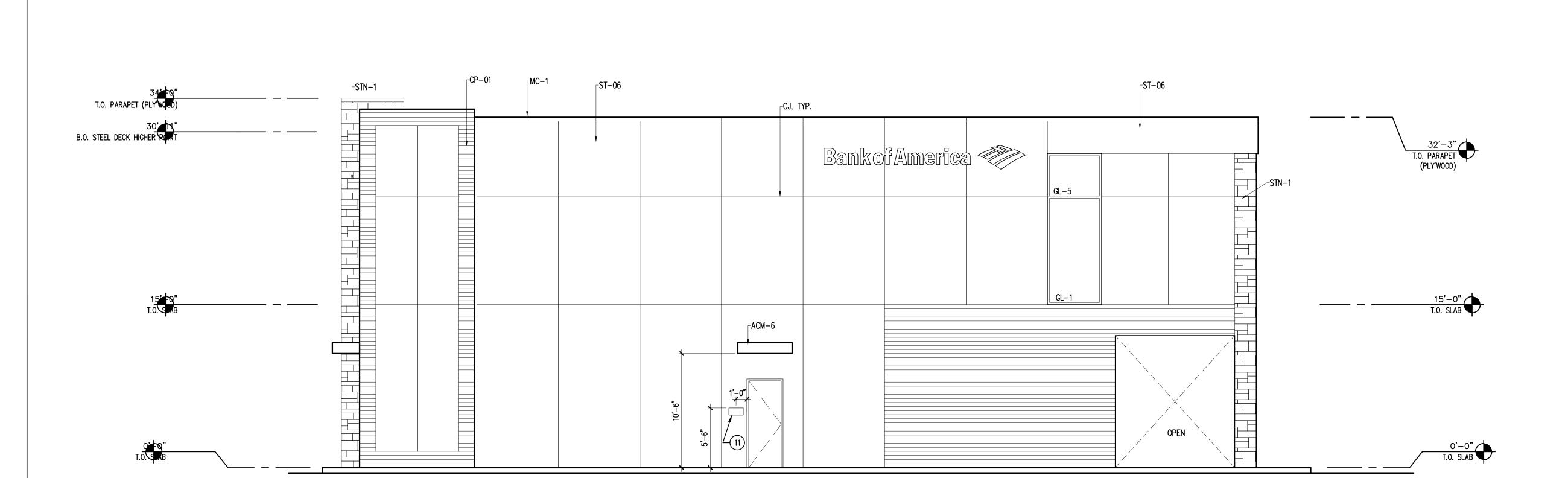
A09.11A EXTERIOR ELEVATIONS

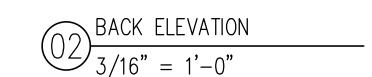
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#### **KEY NOTES**

- (01) SIGN BY OWNER
- (02) DRIVE THROUGH ATM
- (03) VACUUM AIR TUBE (VAT)
- 04) METAL PANEL SYSTEM
- (05) 31-FT FLAG POLE AND MOUNTING BRACKETS PROVIDED BY CONTRACTOR (FLAG FURNISHED BY
- OWNER, INSTALLED BY CONTRACTOR)
- $_{06}$  S-TYPE REGULATORY DIRECTIONAL/INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN = CENTERLINE OF LANE.
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- (9) EXTERIOR SECURITY CAMERA
- 10) FIREMAN'S LOCKBOX COORDINATE WITH FIRE OFFICIAL THE MOUNTING HEIGHT AND LOCATION PRIOR TO INSTALLATION
- (1) SIGNAGE ON DOOR THAT READS "NO SMOKING WITHIN 25 FEET OF THE ENTRANCE" PROVIDED BY OWNER.
- 12 CLEAN OUT LOCATIONS

#### **SHEET NOTES**

- A. CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH
- OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S). STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-5 TYPE LETTERSET.
- STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE
- CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET. REFER TO A12.11 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM
- REFER TO SHEET A09.31 FOR TYPICAL CEMENT PLASTER DETAILS
- F. REFER TO DETAIL 1/A09.32 FOR TYP. WINDOW FLASHING DETAILS

Bank Of America Kenwood

New Store - Flagship

7796 Montgomery Rd. Sycamore Twp, Ohio

SERIAL NUMBER:OHW-\_\_\_ NRSP VERSION: 02-2018 **BULLETIN:** 



ARCHITECTURAL DESIGN COLLABORATIVE, INC. 945 NORTH PENNSYLVANIA AVENUE WINTER PARK, FL 32789 OFFICE: (407) 629-1188 FAX: (407) 388-1220 WWW. ADCINTERNATIONAL.NET





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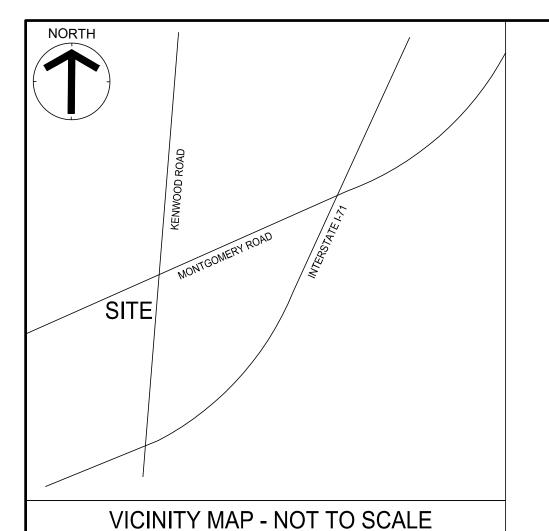
RAYMUNDO FEITO, R.A.

STATE OF OHIO CERTIFICATE NO.: ARC.1817206

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AS SHOWED

A09.11B



#### **ALTA/NSPS LAND TITLE SURVEY**

STATE OF OHIO, COUNTY OF HAMILTON, MIAMI PURCHASE, SYCAMORE TOWNSHIP PART OF LOT 6, JOHN JONES ESTATE SECTION 13, TOWNSHIP 4, ENTIRE RANGE 1

MONTGOMERY ROAD

T=18.50', △ =085° 31′ 56"

Chord=N 51° 09' 31" W, 27.16'

FF=842.73

PERPETUAL HIGHWAY

DB 3388, PAGE 765 (HATCHED AREA)

R=110.00', L=28.49' T=14.32', △ =014° 50' 22"

DUKE ENERGY EASEMENT OR 12090, PAGE 1231

Chord=N 0° 58' 18" W, 28.41'

SYCAMORE TOWNSHIP BOARD <

EXCEPTION #12 -

HIGHWAY EASEMENT

DB 1660, PAGE 346

R.J. ACE LLC

OR 12968. PAGE 1816

0.505 ACRES

SAVAGE WALKER SURVEY

JULY 26, 1994

EX. 1 STORY

BRICK BUILDING

EX. DOWNSPOUTS GO UNDERGROUND

IRON PI

EX. ASPH. DRIVE & PARKING

(HATCHED AREA)

CORNER BUILDING WITH TENANTS

BRİCK PLANTER

OF TRUSTEES OR 9294, PAGE 5851 0.0340 ACRES

R=110.00', L=36.83'

DRIVE & PARKING

OF THE RUTH MARY STAGGE 1997 LIVING

TRUST, DATED MAY 13, 1997 PART OF LOT 6 OF THE SUBDIVISION OF JOHN JONES ESTATE

OR 8218, PAGE 952

0.65 ACRES (DEED)

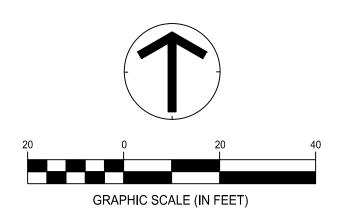
BRICK
PLANTER

UNION SAVINGS BANK OR 12449, PAGE 130 0.871 ACRES

BRICK BUILDING

WITH LOWER LEVEL

\$// RUTH MARY STAGGE, PRIMARY TRUSTEE



#### SCHEDULE B - SECTION II:

BASED UPON CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO: 38180114 DATED MARCH 13, 2018 AT 06:59 AM

#### ITEMS 1-11, 16-17 ARE NOT SURVEY RELATED ITEMS.

ITEM 12. Easement for Highway Purposes to State of Ohio in Deed Book 1660, Page 346, Recorder's Office, Hamilton County, Ohio.

#### EASEMENT IS ON SURVEYED PARCEL AND SHOWN HEREON

ITEM 13. Temporary Slope Easements contained in Hamilton County Common Pleas Case No. A182112 Journal Entry on Settlement filed June 26, 1962, Clerk's Office, Hamilton County, Ohio.

UNABLE TO PLOT TEMPORARY EASEMENTS FROM RECORD DOCUMENT. ODOT PLANS FOR U.S. 22, SECTION 10.61 ARE NEEDED.

ITEM 14. Grant of Easement to Duke Energy Ohio, Inc. of record in Official Record 12090, Page 1231, Recorder's Office, Hamilton County, Ohio.

#### EASEMENT IS ON SURVEYED PARCEL AND SHOWN HEREON

ITEM 15. Easement contained in deed from Bernard James Stagge and Ruth M. Stagge to John A. Bechtold of record in Deed Book 3388, Page 765, Recorder's Office, Hamilton County, Ohio.

#### EASEMENT IS ON SURVEYED PARCEL, AND SHOWN HEREON

ALL SET PROPERTY CORNERS ARE MARKED WITH 5/8" DIAMETER REBAR WITH A CESO

THIS PROPERTY HAS ACCESS TO A DEDICATED PUBLIC RIGHT-OF-WAY VIA MONTGOMERY ROAD AND KENWOOD ROAD.

AS SHOWN ON SURVEY, THERE ARE NO GAPS OR GORES BETWEEN TRACTS.

#### BASIS OF BEARING

THE BEARINGS SHOWN ON THIS SURVEY WERE ESTABLISHED BY UTILIZING THE OHIO VIRTUAL REFERENCE SYSTEM (VRS), U.S. STATE PLANE, OHIO SOUTH (3204) ZONE, NAD 1983, GEOID12A. COORDINATES TAKEN TO GROUND AT LATITUDE N39°11'55.27997", LONGITUDE W84°22'50.22252", PROJECT HEIGHT 737.665 WITH A GROUND SCALE FACTOR OF 1.0000940779804.

BY UTILIZING FEMA FLOOD MAP SERVICE CENTER, THIS PROPERTY WAS FOUND TO BE LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN] BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 39061C0234E. THE FLOOD MAP FOR THIS LOCATION HAS A STATUS OF NOT PRINTED.

THE UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION

NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION

NO INFORMATION PROVIDED TO THE SURVEYOR OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AT THE TIME OF THIS SURVEY.

NO EVIDENCE OBSERVED IN THE FIELD OF A WETLAND DELINEATION CONDUCTED BY A

TO: BSM STAGGE, LLC, A DELAWARE LIMITED LIABILITY COMPANY; CHICAGO TITLE COMPANY, LLC;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1

THE FIELD WORK WAS COMPLETED ON MARCH 26, 2018

28 REGULAR MARKED PARKING SPOTS AND 0 ADA MARKED SPOTS OBSERVED AT THE TIME OF THIS SURVEY

#### UTILITY DISCLAIMER:

AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES LOCATED HERE ON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES LOCATED ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.

QUALIFIED SPECIALISTS.

BANK OF AMERICAN, NATIONAL ASSOCIATION

2, 3, 4, 5, 8, 9, 11, 13, 14, 16, 17, 18, 19, AND 20 OF TABLE A THEREOF.

michael.wilson@cesoinc.com

			ALT	A/NSPS LAN	D TITLE SUF	RVEY
REVISIONS  NO. DATE DESCRIPTION		PART OF LOT 6, JOHN JONES ESTATE				
			MIAMI PURCHAS SYCAMORE TOV		HAMILT	SEC 13, T4, F ON COUNTY, OH
			SCALE: 1"= 20'		DATE: 5/1/2018	
			DESIGN:			JOB NO.: 755111
		DRAWN:	DRAWN:	CES	0	SHEET NO.:
			CHECKED:	WWW.CFS	OINC.COM	1

#### **LEGAL DESCRIPTION**

BASED UPON CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO: 38180114 DATED MARCH 13. 2018 AT 06:59 AM

Legal description not provided in Title Commitment.

Legal description from Official Record 8218, Page 952:

Being located and situate in Sycamore Township, Hamilton County, Ohio and being part of Lot No. 6 of the Subdivision of John Jones Estate in Section 13, Township 4, Entire Range 1, of the Miami Purchase. Beginning on the north line of said lot and the centerline of Montgomery Road at a point 639.82 feet northeast from the west line of said lot measured in the center line of said road; thence S. 2 deg. 5 min. W. parallel with the west line of said lot one hundred and fifty (150) feet; thence S. 87 deg. 55 min. E. one hundred and forty-nine and 17/100 (149.17) feet to the east line of said Lot No. 6; thence with said east line N. 2 deg. 5 min. E two hundred and thirty-one and 72/100 (231.72) feet to the center line of Montgomery Road the north line of said lot; thence with said lines S 63 deg. 21 min. W. one hundred seventy (170) feet to the beginning. Containing .65 of an acre of ground and being subject to all legal highways.

#### LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
W	WATER LINE
OHL	OVERHEAD ELECTRIC
SAN	SANITARY LINE
⊠	X-NOTCH FOUND
<b>©</b>	PIPE FOUND
Δ	MAG NAIL SET
•	$\frac{5}{8}$ " IRON PIN SET
P	POWER POLE
©	CLEAN OUT
$\otimes$	WATER VALVE
4	SIGN
<b>©</b>	STORM MANHOLE
<b>\(\phi\)</b>	YARD DRAIN
<u>s</u>	SANITARY MANHOLE
•	BENCHMARK

TREE

## BankofAmerica

7796 MONTGOMERY RD. CINCINNATI, OH 45236



Client: BANK OF AMERICA

Address: 7796 MONTGOMERY RD

Sales: BP Date: 10.17.18

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gns will be manufactured with 120 or 277 Volts A/C Primary electrical service to the sign,and final nnection thereof, is the responsibility of the buyer. Ill work is to be done in accordance with the purchase greement attached hereto. In case of variance ween the specifications of the purchase agree nd this drawing, the drawing shall prevail.

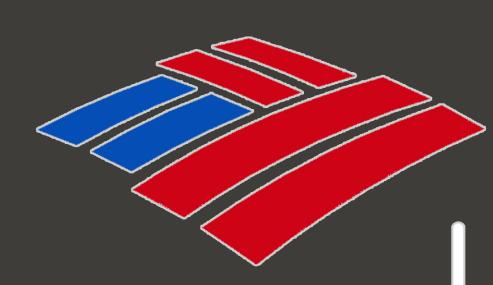
This sign is intended to be installed in accordance with the requirements of Sales: Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Date: Date: Date: PAGE SIZE: 11" x 17" Date:

Sheet: 1 of 12

## Bank of America







**Back Elevation** 

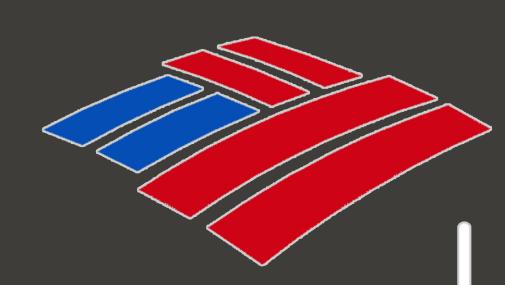


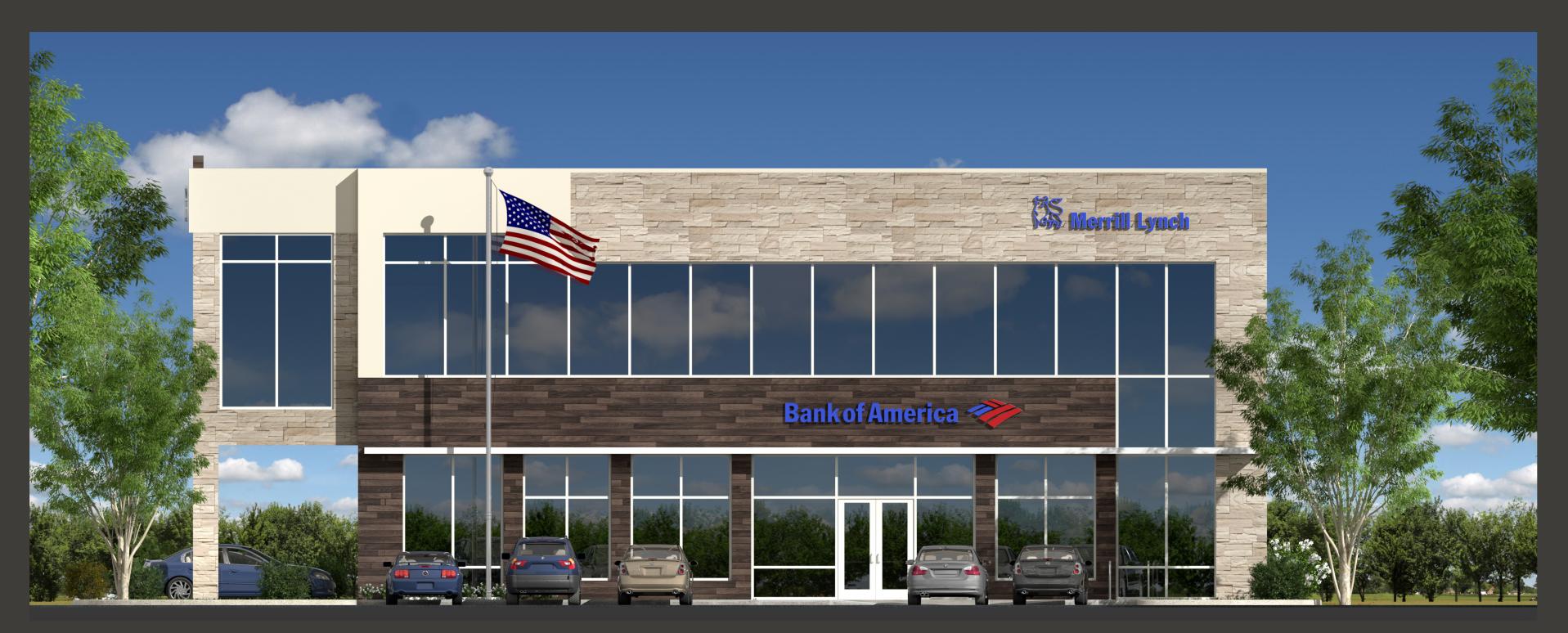
**Side Elevation** 

Architectural Design Collaborative, Inc -

## Bank of America





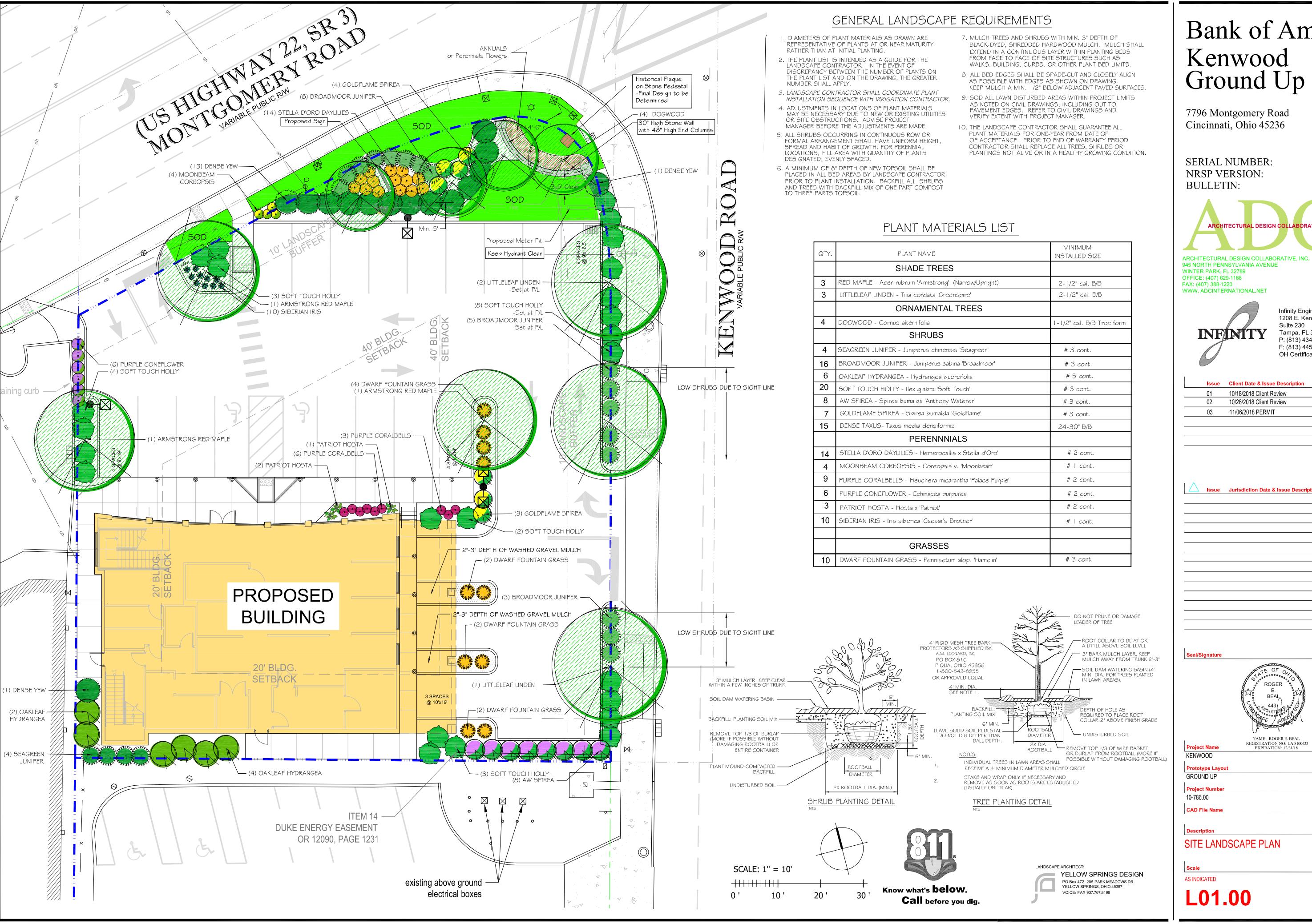


**Front Elevation** 



**Side Elevation** 

Architectural Design Collaborative, Inc -



## Bank of America



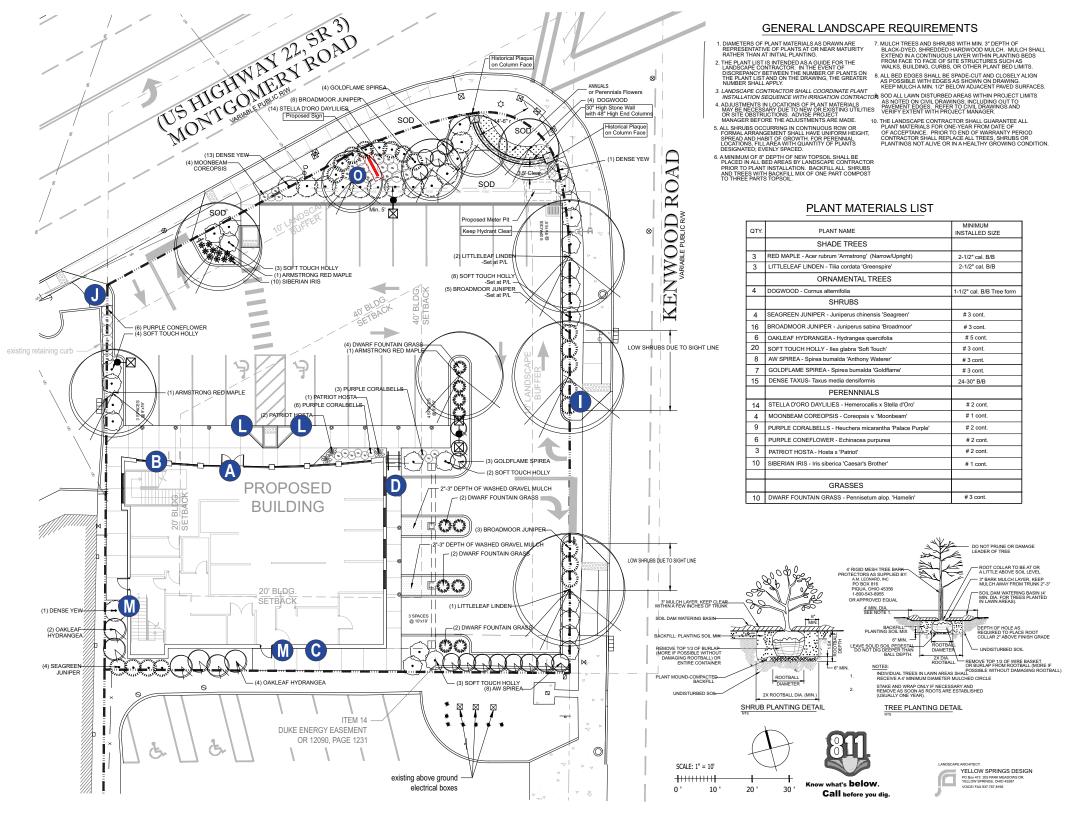
Infinity Engineering Group, LLC 1208 E. Kennedy Boulevard Suite 230 Tampa, FL 33602 P: (813) 434-4770 F: (813) 445.4211 OH Certificate of Auth. No.: 2430423

Issue	Client Date & Issue Description	Ву	Check	
01	10/18/2018 Client Review	REB	REB	
02	10/28/2018 Client Review	REB	REB	
03	11/06/2018 PERMIT	REB	REB	

Issue	Jurisdiction Date & Issue Description	Ву	Check



REGISTRATION NO: LA 8100433 EXPIRATION: 12/31/18



A G K3 CHANNEL LETTERS

MERRILL LYNCH CHANNEL LETTERS

**B** ENTRANCE DOOR GRAPHICS

DOOR ADDRESS VINYL

CARD READER DECAL

DIRECTIONAL SIGNAGE P1

**DIRECTIONAL SIGNAGE P1** 

NOT USED

DOT HANDICAP PARKING SIGNS

NO SMOKING SIGN

DISTRACTION VINYL

B3W MONUMENT SIGN

SITE PLAN Scale: Not to Scale

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City/State: CINCINNATI, OH 45236 Sales: BP Date: 10.17.18

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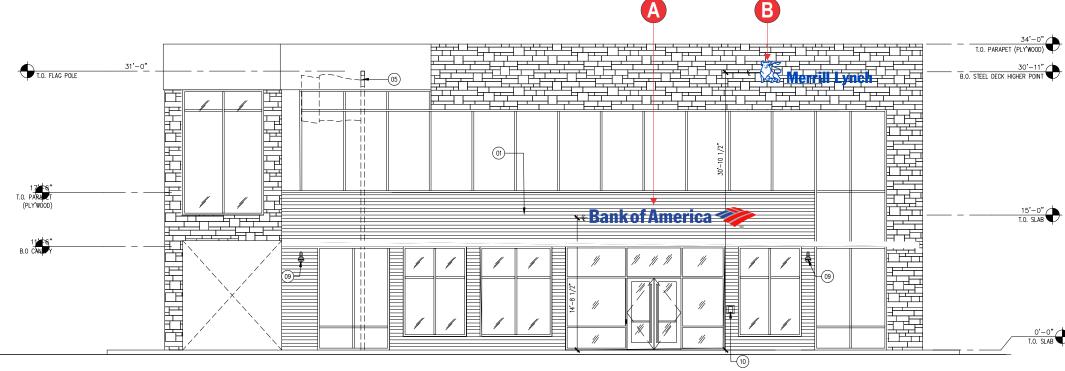
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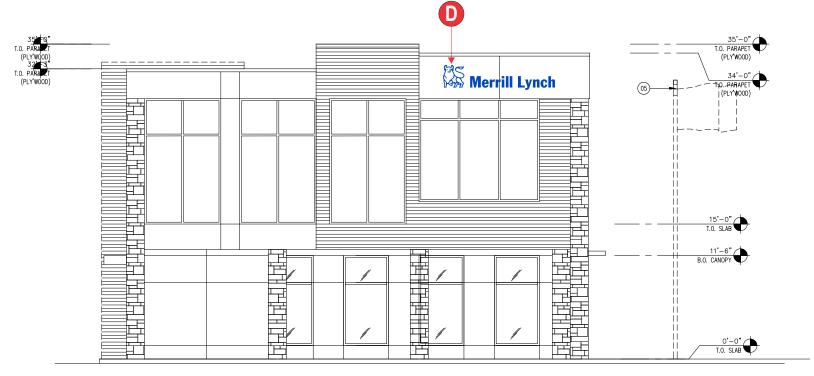
Date: Date: Date: Date: PAGE SIZE: 11" x 17"

Sheet: 2 of 12



#### FRONT ELEVATION

Scale: 3/32" = 1'-0"



**SIDE ELEVATION** Scale: 3/32" = 1'-0"



Client: BANK OF AMERICA Address: 7796 MONTGOMERY RD. City/State: CINCINNATI, OH 45236

Sales: BP Designer: RH Date: 10.17.18

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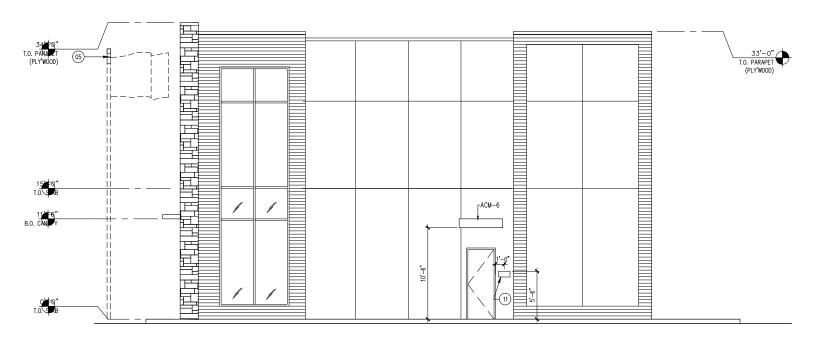
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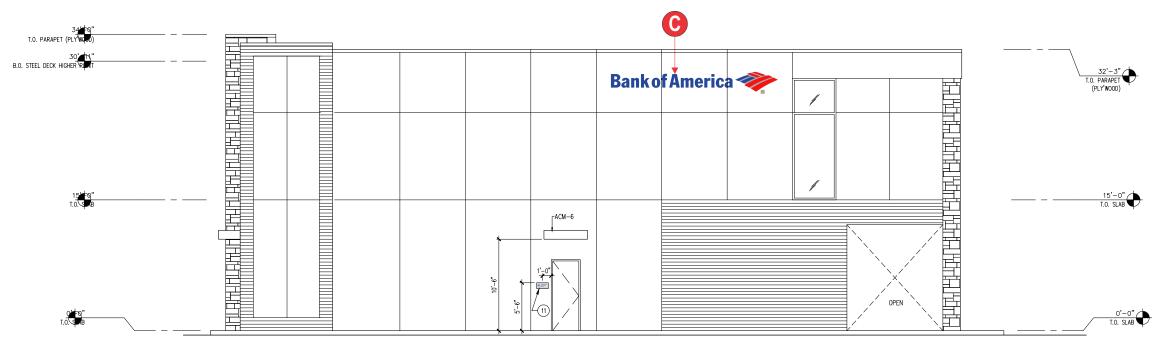
This sign is intended to be installed in accordance with the requirements of Sales: Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Approvals: Date: P.M.: Date: Date: Design: PAGE SIZE: 11" x 17" Client: Date:

Sheet: 3 of 12



**SIDE ELEVATION** Scale: 3/32" = 1'-0"



**BACK ELEVATION** Scale: 3/32" = 1'-0"



Client: BANK OF AMERICA Address: 7796 MONTGOMERY RD.

City/State: CINCINNATI, OH 45236 Sales: BP

Date: 10.17.18

Designer: RH

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igns will be manufactured with 120 or 277 Volts A/C. Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer.
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Approvation accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local

Approvation Sales:

P.M.: codes. This includes proper grounding and bonding of the sign.

Approvals: Date: Date: Date: Design: Date: PAGE SIZE: 11" x 17" Client:

Sheet: 4 of 12

222 1/2" 161 3/4" BankofAmerica

AC K3 EXTERIOR LETTERS - 40.95 SQ. FT. Scale: 1/2" = 1'-0"

#### **SCOPE OF WORK:**

MANUFACTURE AND INSTALL (2) TWO SETS OF INTERIOR ILLUMINATED, FACE LIT LETTERS & LOGO

BACKS: .050" PRE-PAINTED ALUMINUM

**RETURNS**: .050" x 5" DEEP PRE-PAINTED WHITE ALUM. COIL. SATIN FINISH

TRIM CAP: 1" JEWELITE

BLUE LETTERS/LOGO SECTIONS: #6112A INTENSE BLUE

**RED LOGO SECTIONS: #78246 RED** 

FACES: .150" #2447 DIFFUSER WHITE PLEX W/ 1ST SURFACE VINYL (SEE DETAIL)

PAINT: RECESSED FACES OF LOGO TO BE PAINTED DARK GRAY

LETTERS & LOGO: 3M 3632-8222 BLUE VINYL

LOGO: 3632-2472 RED VINYL

**ILLUMINATION:** GE LED'S AS REQUIRED & REMOTE POWER SUPPLIES

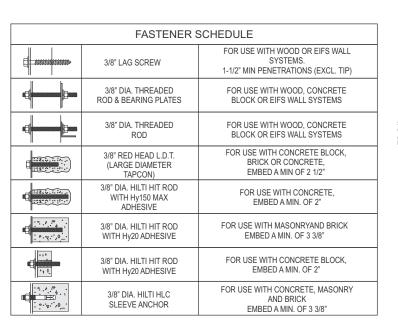
ATTACHMENT: CLIP MOUNT TO EXISTING WALL. 3/8" Ø HARDWARE TO BE DETERMINED IN FIELD

PER WALL CONDITIONS.





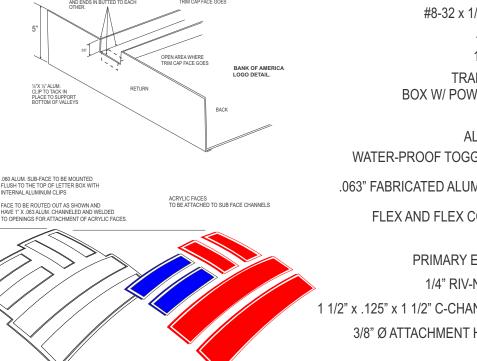


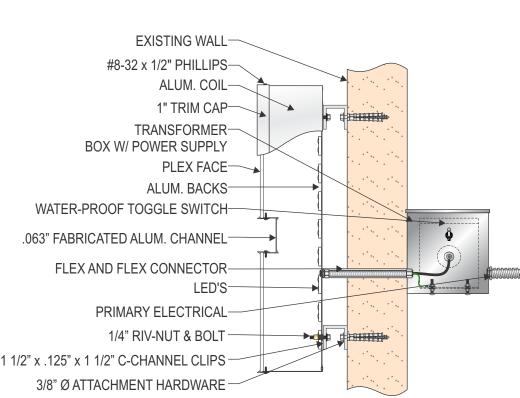


@ 120V = 0.2 AMPS



**DISCONNECT SWITCH** 





EXISTING WALL-

ALUM. COII

1" TRIM CAP

PLEX FACE-

LED'S

SCALE 1 1/2" = 1'-0"

ALUM, BACKS-

TRANSFORMER-

SECTION DETAIL @ CHANNEL LETTERS:

#8-32 x 1/2" PHILLIPS

**BOX W/ POWER SUPPLY** 

WATER-PROOF TOGGLE SWITCH-

1 1/2" x .125" x 1 1/2" C-CHANNEL CLIPS

3/8" Ø ATTACHMENT HARDWARE

FLEX AND FLEX CONNECTOR

PRIMARY ELECTRICAL

1/4" RIV-NUT & BOLT

SECTION DETAIL @ LOGO:

SCALE 1 1/2" = 1'-0"

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Client: BANK OF AMERICA

Sales: BP

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R2) 11/01/18 Revise letter placement / vinyl - RH

R3) 11/05/18 Revise ML letters - RH

R3) 11/05/18 Revise ML letters - RH being planned for you by Walton, but not otherwise. You are not authorized to show the role of the control of t

ins will be manufactured with 120 or 277 Volts A/C Primary electrical service to the sign, and final nection thereof, is the responsibility of the buyer. Il work is to be done in accordance with the purchase preement attached hereto. In case of variance veen the specifications of the purchase agree nd this drawing, the drawing shall prevail.

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PAGE SIZE: 11" x 17"

Date: Date: Date: Date:

Sheet: 5 of 12

H:\Bank of America\ Locations\OH\OH Sycamore Township - Kenwood\Design

**B** ML-LIF-16-W-AL BLUE CHANNEL LETTERS - 35.1 SQ. FT. SCALE: 1/2" = 1'-0"

**SCOPE OF WORK:** 

MANUFACTURE AND INSTALL (2) TWO CHANNEL LETTER SETS

SYMBOL FACE TO BE WHITE TRANSLUCENT ACRYLIC #1328, FIRST SURFACE DECORATE OULINE OF BULL WITH 3M FILM BLUE, USE

ARTWORK PROVIDED BY DESIGNER.

SYMBOL FACE TO BE WHITE TRANSLUCENT ACRYLIC #1328. FIRST SURFACE DECORATE OUTLINE OF BULL WITH 3M FILM BLUE. SECOND SURFACE DECORATE WHITE AREAS OF 'BULL' WITH 3M #3635-70 WHITE DIFFUSER FILM FOR USE WITH BLUE LETTERS ONLY, USE ARTWORK PROVIDED BY DESIGNER.

LETTER FACE TO BE WHITE TRANSLUCENT ACRYLIC #1328. USE ARTWORK PROVIDED BY

DESIGNER.
LETTER FACE TO BE WHITE TRANSLUCENT ACRYLIC #2441. FIRST SURFACE DECORATE WITH 3M FILM BLUE. USE ARTWORK PROVIDED BY DESIGNER.

I" JEWELITE TRIM CAP #6112A INTENSE BLUE. USE ON BLUE LETTERS AND 'BULL'. NOT USED.

1" JEWELITE TRIM CAP WHITE, USE ON WHITE LETTERS.

NOT USED

NOTES:

.050" ALUM. RETURNS. PAINT FINISH ALL EXPOSED EXTERIOR SURFACES BLUE. SATIN FINISH, PAINT ALL INTERIOR SURFACES WITH SPRAY-LAT STARBRITE WHITE LIGHT ENHANCEMENT PAINT OR APPROVED EQUAL

10. .063" ALUM. BACKS. PAINT FINISH EXTERIOR BLUE, SATIN FINISH, PAINT INTERIOR SURFACES WITH SPRAY-LAT STARBRITE WHITE LIGHT ENHANCEMENT PAINT OR APPROVED EQUAL STAPLE TO LETTER RETURNS WITH STAINLESS STEEL STAPLES AS REQ'D.

.050" ALUM. RETURNS. PAINT FINISH ALL EXTERIOR SURFACES SILVER. SATIN FINISH PAINT INTERIOR SURFACES WITH SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT OR APPROVED EQ.

12. .063" ALUM. BACKS. PAINT FINISH EXTERIOR SILVER SATIN FINISH PAINT INTERIOR SURFACES WITH SPRAY-LAT STARBRITE WHITE LIGHT ENHANCEMENT PAINT OR APPROVED EQUAL. STAPLE TO LETTER RETURNS WITH STAINLESS STEEL STAPLES AS REQ'D.

NOT USED.

NOT USED

SECURE TO EXISTING WALL AS REQUIRED USING MOUNTING CLIPS, DO NOT EXCEED 1 1/2"

1/2" SEAL TITE FLEXIBLE CONDUIT AS NEEDED TO MEET ALL U.L. REQUIREMENTS FOR WET LOCATIONS.

J-BOX AS REQ'D.

1/2" RIGID OR FLEXIBLE CONDUIT AS REQ'D. TO MEET U.L. SPECIFICATIONS FOR APPLICATION.

TRANSFORMER TO BE SPECIFIED BY ELECTRALED AS REQ'D

20. NOT USED.

21. PROVIDE WEEP HOLES WITH LIGHT SCREENS AS REQ'D. TO MEET U.L. SPECIFICATIONS.

22. LED LIGHTING SYSTEM TO BE GE WHITE UNITS PER GE SPECIFICATIONS

#### GENERAL NOTES:

- ALL PAINT IS TO BE A TWO PART ACRYLIC POLY-URETHANE BY EITHER AKZO NOBEL OR MATTHEWS PAINT COMPANY. - ALL FILM TO BE 3M OR APPROVED EQUAL UNLESS OTHERWISE STATED.
- ALL STEEL COMPONENTS TO BE PRIMED WITH ZINC INHIBITOR (DEVCON-Z OR APPROVED EQUAL).
- ALL STRUCTURAL COMPONENTS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER TO MEET OR EXCEED ALL LOCAL, STATE, OR NATIONAL CODES.
- ALL ELECTRICAL WORK MUST MEET OR EXCEED U.L. REQUIREMENTS
- ALL EXPOSED FASTENERS TO BE PAINTED TO MATCH ADJACENT AREA.
- ELECTRICAL LEADS FROM THE BACK OF CABINETS TO BE A MINIMUM OF 6'-0' LONG AS MEASURED FROM THE BACK OF THE

#### MATERIAL SPECIFICATIONS:

- DARK CHARCOAL GRAY METALLIC TO BE MATTHEWS MP 24054 OR AKZO NOBEL 357-H3 SATIN FINISH.
- MEDIUM GRAY (PMS 425) TO BE MATTHEWS MP-58477, SATIN FINISH MAY USE AKZO NOBEL OR APPROVED EQUAL
- SILVER PAINT TO BE MATTHEWS PAINT 412425P BRUSHED ALUM.
- RED PAINT TO BE MATTHEWS MP49696, AKZO NOBEL #20129
- BLUE PAINT TO BE MATTHEWS MP #21670R
- WHITE PAINT TO BE MATTHEWS MP21668R
- BRONZE PAINT TO BE MATTHEWS #MP41315PR94T41

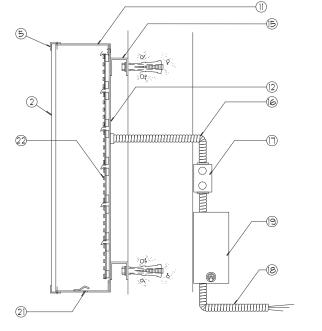
#### VINYLS:

- GOLD VINYL TO BE 3M 3630-141 GOLD
- SILVER FILM TO BE 3M 3630- 121 SILVER - HANDICAP BLUE TO BE 3M 1125-41 INTENSE
- BLUE - BLUE VINYL TO BE 3M 3632-8222
- DUAL COLOR BLUE 3M #DN0025
- RED VINYL TO BE 3M 3632-2472
- WHITE VINYL TO BE 3M 3632-20 - DUAL COLOR BRONZE TO MATCH BRONZE
- PAINT - WHITE DIFFUSER - 3M #3635-70

#### REFLECTIVE FILMS:

- 3M REFLECTIVE 680-64 GOLD
- 3M REFLECTIVE 680-10 WHITE
- 3M REFLECTIVE 680-76 LIGHT BLUE

#### **Channel Letter Sections**



PARTICAL SECTION @ 'BULL'
FOR USE W/ BLUE LETTERS SCALE: | 1/2"=1"-@"



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City/State: CINCINNATI, OH 45236 Sales: BP

Date: 10.17.18

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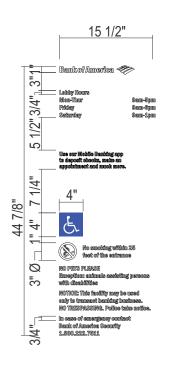
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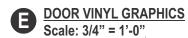
codes. This includes proper grounding and bonding of the sign. PAGE SIZE: 11" x 17"

(4)

This sign is intended to be installed in Date: accordance with the requirements of Sales: Article 600 of the National Electrical Date: Code and/or other applicable local Date: Date:

Sheet: 6 of 12





SCOPE OF WORK:

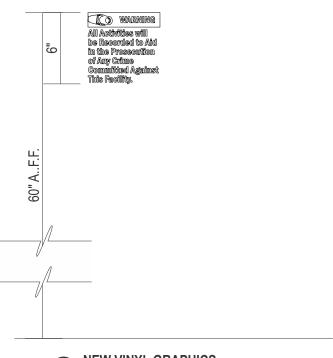
MANUFACTURE AND INSTALL (1) ONE NEW SET OF VINYL GRAPHICS

**GENERAL SPECIFICATIONS:** 

VINYL: 3M #7725-10 WHITE OPAQUE **DIGITAL PRINT**: BLUE TO MATCH PM 7462C **APPLICATION: APPLY FIRST SURFACE** 







**NEW VINYL GRAPHICS** Scale: 3" = 1'-0"

**SCOPE OF WORK:** 

MANUFACTURE AND INSTALL (1) ONE NEW SET OF VINYL GRAPHICS

**GENERAL SPECIFICATIONS:** 

VINYL: 3M #7725-10 WHITE OPAQUE VINYL **APPLICATION:** APPLY FIRST SURFACE



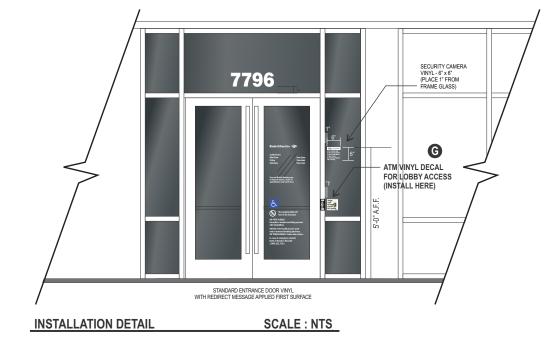
MEW VINYL GRAPHICS
Scale: 1 1/2" = 1'-0"

**SCOPE OF WORK:** 

MANUFACTURE AND INSTALL (1) ONE **NEW SET OF VINYL GRAPHICS** 

**GENERAL SPECIFICATIONS:** 

VINYL: 3M #7725-10 WHITE OPAQUE VINYL **APPLICATION: APPLY FIRST SURFACE** 





Client: BANK OF AMERICA Address: 7796 MONTGOMERY RD City/State: CINCINNATI, OH 45236 Sales: BP

Date: 10.17.18

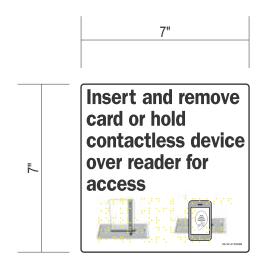
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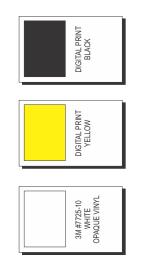
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Date: Date: Date: PAGE SIZE: 11" x 17" Client: Date:



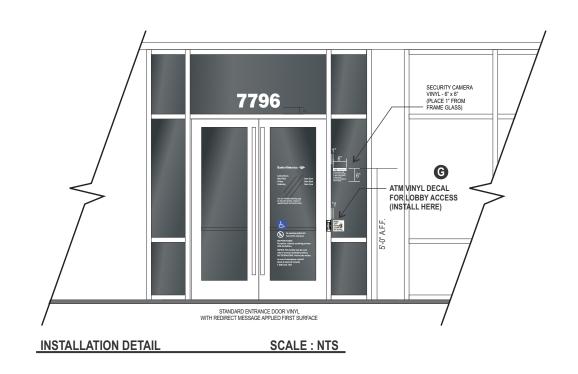
NEW DIP VINYL GRAPHICS Scale: 3" = 1'-0"

#### SUPPLIED BY OTHERS & SHOWN FOR PLACEMENT ONLY





EXAMPLE OF DECAL INSTALLED ON STANDARD GLASS (OR OTHER SMOOTH SURFACE) APPLICATION





Client: BANK OF AMERICA Address: 7796 MONTGOMERY RD. City/State: CINCINNATI, OH 45236

Sales: BP

Date: 10.17.18

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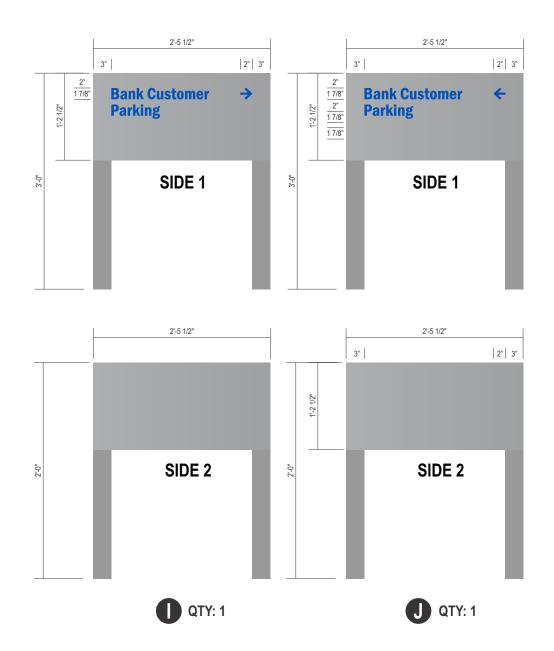
gns will be manufactured with 120 or 277 Volts A/C. Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer.
All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreemer and this drawing, the drawing shall prevail.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Date: Date: Date: PAGE SIZE: 11" x 17" Client: Date:



#### NOTE: ALL COPY AND ARROW DIRECTIONS TO BE CONFIRMED



1#7225-WHITE VINYL





#### **NEW P1 DIRECTIONAL SIGN**

Scale: 3/4" = 1'-0"

SCOPE OF WORK:

MANUFACTURE AND INSTALL (4) FOUR P1 DIRECTIONAL SIGNS

PAINT:

DIRECTIONAL SIGN: PAINT CHAMPAGNE METALLIC, SEMI-GLOSS FINISHED

**VINYL**: 3M VINYL #3632-8222 BLUE LAMINATED OVER WHITE VINYL

ATTACHMENT: DIRECT BURY POLE AND PAINT HEADS TO MATCH.

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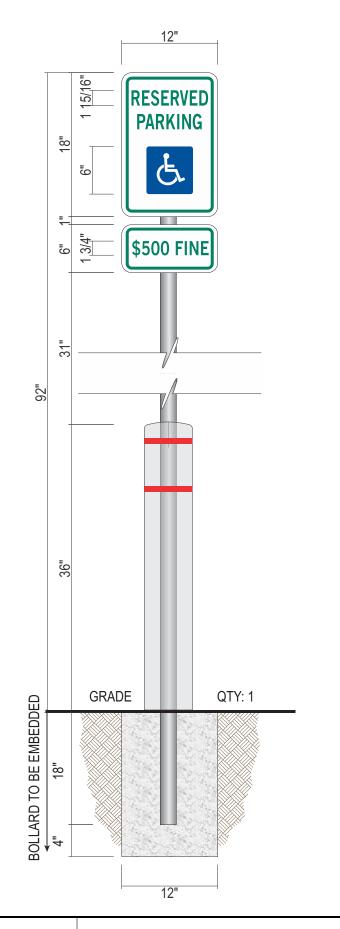
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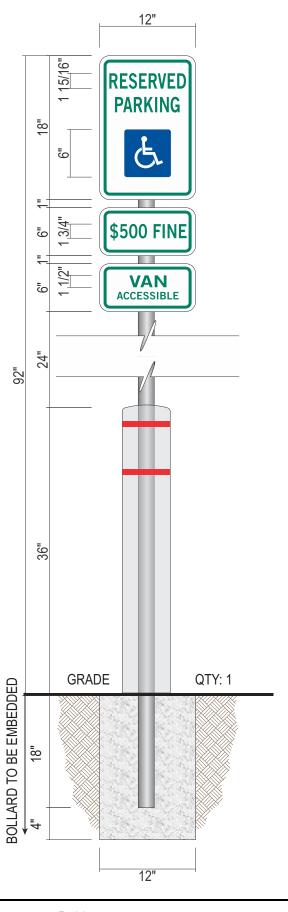
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#### **SCOPE OF WORK:**

#### MANUFACTURE AND INSTALL NON-ILLUM. IDENTIFICATION SIGN.

POST: DIRECT BURIAL 2" DIAMETER POLE WITH INNOPLAST

BOLLARD COVER ON ABOVE GRADE.

PANEL: .080" ALUM. FACE WITH FIRST SURFACE VINYL GRAPHICS.

PAINT: PAINT POST AND PANEL CHAMPAGNE METALLIC, SEMI-GLOSS FINISH

INNOPLAST BOLLARD COVER, YELLOW WITH RED STRIPES.

VINYL: DIGITAL PRINT ON 3M #280-10 REFLECTIVE WHITE.

ATTACHMENT: DIRECT BURY POLE AND ATTACH TO POLE WITH 1/4 - 20 X 2" HEAD HEX MACHINE BOLT WITH FLAT WASHERS AND NUTS. PAINT HEADS TO MATCH



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#### NO SMOKING BULLET SIGN Scale: 3" = 1'-0"

**SCOPE OF WORK:** 

MANUFACTURE AND INSTALL (2) TWO S/F WALL SIGN

**GENERAL SPECIFICATIONS:** 

MATERIAL: .125" BREAK FORMED ALUMINUM

BACKGROUND COLOR: TO MATCH CHAMPAGNE METALLIC, SEMI-GLOSS FINISH LETTERING: 3M 3632-8222 BLUE VINYL LAMINATE OVER 3M 7725-10 WHITE OPAQUE

**ATTACHMENT: 1/4" MOUNTING HARDWARE** 

**NOTE:** SIGN TO BE INSTALLED ON DOORKNOB SIDE

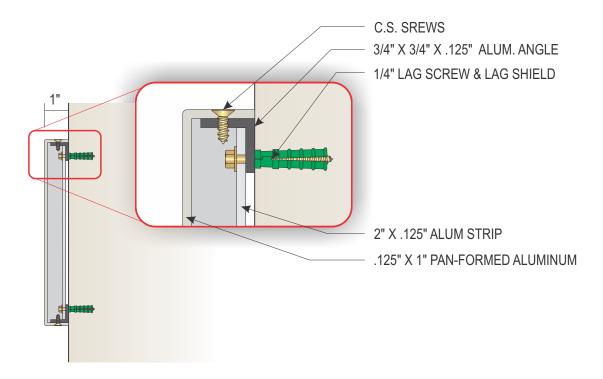












**END VIEW** SCALE 3" = 1'-0"





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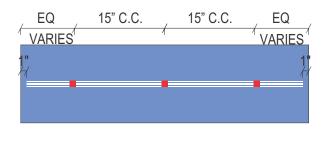
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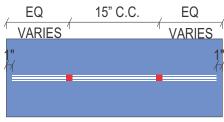
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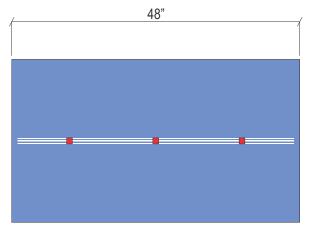
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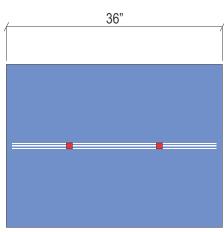
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**DISTRACTION VINYL (APPROX.: 40'-0")** 

Scale: 3/4" = 1'-0"

**SCOPE OF WORK:** 

#### MANUFACTURE AND INSTALL DISTRACTION VINYL GRAPHICS

VINYL: 3M #7725-314 DUSTED CRYSTAL

RED VINYL ORACLE 48" SERIES 8300-032

**APPLICATION**: APPLY 2ND SURFACE

**SQUARE QUANITITIES:** 

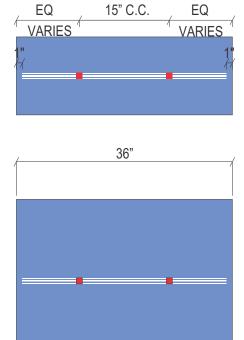
GLASS PANEL WIDTHS UP TO 24" SHALL RECEIVE ONE (1) SQUARE. GLASS PANEL WIDTHS FROM 24" TO 38" SHALL RECEIVE TWO (2) SQUARES. GLASS PANEL WIDTHS FROM 38" AND WIDER SHALL RECEIVE THREE (3) SQUARES.

NOTE:

APPLIED TO GLASS WALL PANELS THAT FORM THE ATM VESTIBULE.







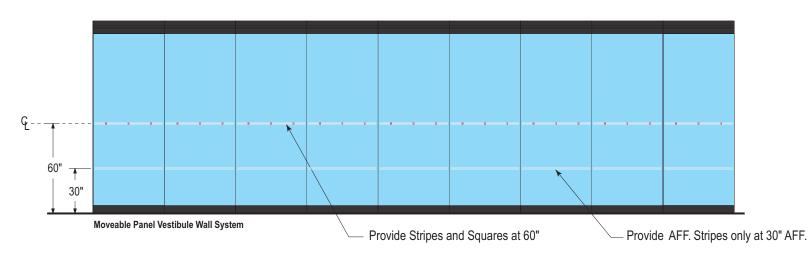
15" C.C. 15" C.C. 1" X 1" RED SQUARE: ORACAL SERIES 8300(032) TRANSPARENT VINYL. APPLIED TO 2ND SURFACE

DO NOT APPLY THE RED TO THE DUSTED CRYSTAL VINYL IN SHOP. THE INSTALLER WILL APPLY INFIELD.

**DISTRACTION STRIPES: 3M DUSTED CRYSTAL VINYL** APPLIED TO 2ND SURFACE CUT BETWEEN RED SQUARE.

#### **SQUARE QUANTITIES:**

GLASS PANEL WIDTH UP TO 24" SHALL RECEIVE ONE(1) SQUARE GLASS PANEL WIDTH FROM 24" TO 38" SHALL RECEIVE TWO(2) SQUARE. GLASS PANEL WIDTH FROM 38" AND WIDER SHALL RECEIVE THREE(3) SQUARE



**TYPICAL ELEVATION - NOT SITE SPECIFIC** 

SCALE: 3/16" = 1'

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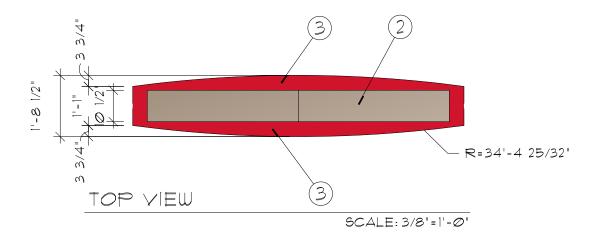
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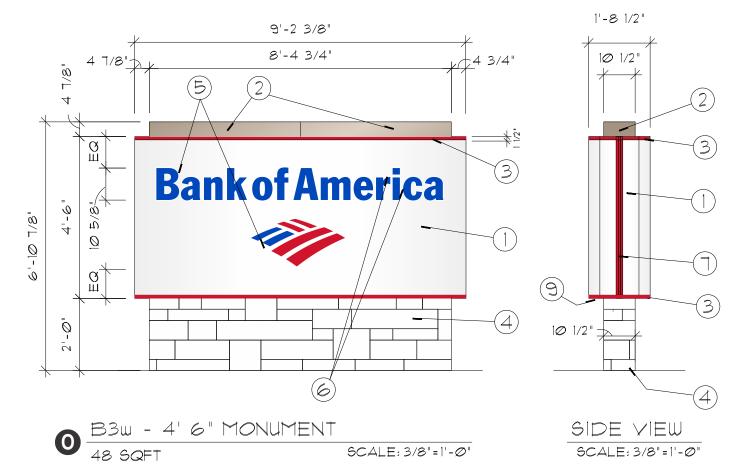
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NOTE:

FOR EMBOSS & DECORATE

DETAILS SEE

SHEET 17.01

SIGN FACE TO BE .177" CLEAR ACRYLIC (ACRYSTEEL OR APPROVED EQUAL). FIRST SURFACE DECORATE WITH 3M 3632-20 WHITE CUT TO THE FULL CHARACTER SIZE INCLUDING OUTLINE BASED ON .022B. OVERLAY WITH 3M BOA BLUE (RED AT FLAGSCAPE) FILM CUT TO THE DIMENSIONED CAP HEIGHT, CENTER IN WHITE BACKGROUND FOR EVEN OUTLINE AT PERIMETER, SECOND SURFACE DECORATE WITH 3M 3632-20 WHITE FILM, WEED OUT LETTERS/FLAGSCAPE TO EXTENT OF OUTLINE. OVERLAY ENTIRE SECOND SURFACE WITH 3M DIFFUSER FILM #3635-70 WHITE, HEAT BEND RETURNS AT ENDS OF FACE, DO NOT THERMOFORM (IT WILL STRETCH THE FILM AND CAUSE DISCOLORATION ON THE RETURN.) CHEM. WELD CONTINUOUS HANGING BAR AT PERIMETER.

.125" BREAKFORMED ALUM. CLADDING/ACCESSPANEL. FORM AS SHOWN. PAINT FINISH CHAMPAGNE METALLIC SEMI-GLOSS FINISH, ATTACH WITH COUNTERSUNK FLATHEAD STAINLESS STEEL SCREWS. PAINT HEADS TO MATCH.

3/16" ALUM. RETAINER, FORM AS SHOWN. PAINT FINISH RED. SATIN FINISH. ATTACH TO CABINET RETURNS WITH COUNTERSUNK FLATHEAD STAINLESS STEEL SCREWS. PAINT HEADS TO MATCH.

4. MASONRY TO MATCH BUILDING CONSTRUCTION

"BANK OF AMERICA" AND PORTION OF FLAGSCAPE TO BE FIRST SURFACE DECORATED WITH 3M FILM BOA BLUE, SEE DETAIL FOR DECORATION AND BEVEL SIZING.

PORTIONS OF FLAGSCAPE TO FIRST SURFACE DECORATED WITH 3M FILM BOA RED. SEE DETAIL FOR DECORATION AND BEVEL SIZING.

1. .125" BREAK FORMED ALUMINUM REVEAL/RETAINER, FORM AS SHOWN, SEE DETAIL. PAINT FINISH RED SATIN FINISH, TWO HALVES CLAMSHELL. WELD ONE HALF TO VERTICAL TUBE BEHIND. MECHANICALLY ATTACH SECOND HALF WITH COUNTERSUNK FLATHEAD STAINLESS STEEL SCREWS, PAINT HEADS TO MATCH.

8. PLACE PRODUCT LABEL HERE. SEE SHEET PL-I FOR DETAILS.

9. RECESSED U.L. APPROVED EMERGENCY

#### GENERAL NOTES:

-FINAL SIZING FOR ALL STRUCTURAL MEMBERS (i.e. COLUMNS, MATCH PLATES, CONNECTION BOLTS, ANCHOR BOLTS, FOUNDATIONS AND REINFORCEMENT) TO BE SIZED BY A LICENSED ENGINEER TO MEET OR EXCEED ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES.

-FABRICATOR IS RESPONSIBLE FOR THE PREVENTION OF ANY LIGHT LEAKS.

-LEADS FROM BACK OF ILLUMINATED LETTERS / SYMBOL SHALL BE A MINIMUM OF 6'-0" IN LENGTH MEASURED FROM THE BACK SURFACE OF THE LETTERS / SYMBOL. INTERIORS OF ALL CABINETS WITH SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT. -ALL PAINT TO BE TWO-PART POLYURETHANE. -COLOR FILM TO BE MATCHED IN 3M #3632 SERIES FILM.

#### MATERIAL SPECIFICATIONS

#### PAINT

-CHAMPAGNE METALLIC - EITHER AKZO-NOBEL \* BNK 250, MATTHEWS \* MP 21314, MATTHEWS #50A61945P, OR MATTHEWS #5VOC12725P (VOC COMPLIANT)

-RED - MATTHEWS RED # MP 49696, AKZO-NOBEL \*SIGN 20129

-BLUE - MATTHEWS BLUE #MP 21670R 6595, -WHITE - MATTHEWS WHITE \* MP 21668R 6595.

-BLUE - 3M \* 3632-8222 -RED - 3M \* 3632-2472 -DIFFUSER - 3M \* 3635-70 -WHITE - 3M# 3632-20

#### ACRYLIC

-CLEAR ACRYSTEEL \*OR APPROVED EQUAL

-FILM DECORATION CHANNEL LETTERS ONLY, ACRYSTEEL #2441 OR APPROVED EQ. -WHITE TRANSLUCENT-ACRYSTEEL #1328 OR APPROVED FO



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