

SYCAMORE TOWNSHIP, OH
DEPARTMENT OF PLANNING & ZONING
8540 KENWOOD ROAD, CINCINNATI, OH 45236
513.792.7250 PHONE 513.792.8571 FAX

PLANNING & ZONING

NOV 19 2018

RECEIVED

ZONING COMMISSION APPLICATION

APPLICATION NUMBER

FEES:

ZONE CHANGE	\$1,000	MINOR ADJUSTMENT TO A PUD	\$200
PUD I	\$1,000	MAJOR ADJUSTMENT TO A PUD	\$1,000
PUD II	\$1,200	MINOR ADJUSTMENT TO LASR	\$200
LASR	\$1,000	MAJOR ADJUSTMENT TO LASR	\$1,000

2018-19P2

DO NOT WRITE IN THIS SPACE

THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN

1. PROJECT ADDRESS: 7796 Montgomery Road, Cincinnati, OH **ZIP CODE:** 45236

2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER
OWNER <i>Stagge</i> BSM Kenwood LLC, David Baker	3001 Armory Drive, Suite 120	Nashville	TN	37204	615-627-3963
CONTRACTOR To be determined					
DESIGNER Infinity Engineering Group, LLC.	1208 E Kennedy Blvd., Suite 230	Tampa	FL	33602	813-434-4770
APPLICANT Brett Nevaril	1208 E Kennedy Blvd., Suite 230	Tampa	FL	33602	813-434-4770
APPLICANTS E-MAIL ADDRESS	Permitting@IEGroup.net				

3. ZONING COMMISSION ACTION REQUESTED:

ZONE CHANGE ☐ FROM ZONE ☐ TO ZONE ☐

PUD I ☐ PUD II ☒ LASR ☐

MAJOR ADJUSTMENT TO A PUD ☐ MINOR ADJUSTMENT TO A PUD ☐

MAJOR ADJUSTMENT TO A LASR ☐ MINOR ADJUSTMENT TO A LASR ☐

4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:

Demolish existing building (429 - Other Retail Structures).

Construction of a 7,691 SF financial building with associated parking, driveways, utilities and landscaping.

5. SQUARE FEET: 7,691 SF **6. USE:** Financial Institution **7. HEIGHT:** 35 ft

8. EST. START DATE: June 2019 **9. EST. FINISH DATE:** March 2020 **10. # OF SIGNS:** 3

THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Zoning Commission application.

NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.

BSM Stagge, LLC, by David F. Baker, Secretary of BSM Investments IV, LLC, its Managing Member

APPLICANT'S SIGNATURE

DATE

* See enclosed authorization letter.

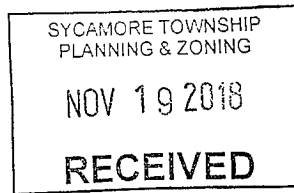
PROPERTY OWNER'S SIGNATURE

DATE

November 16, 2018

Kenwood Ground Up
Bank of America Kenwood
7796 Montgomery Road,
Cincinnati, Ohio 45236

Sycamore Township,
Hamilton County



INFINITY ENGINEERING
GROUP, LLC

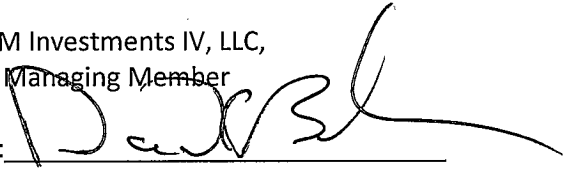
To Whom It May Concern:

This letter serves as confirmation that **Brett Nevaril, Dick LaRosa, and Krysten La Croix of Infinity Engineering Group** are authorized to act as agents on behalf of **BSM Stagge, LLC** for the purpose of making application submittals for permits, negotiating conditions for the above referenced project, and making payments for the project.

Respectfully,

BSM Stagge, LLC

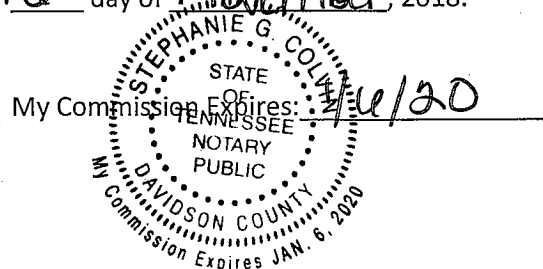
By: BSM Investments IV, LLC,
Its Managing Member


By: 
David F. Baker, its Secretary

STATE OF TENNESSEE
COUNTY OF DAVIDSON

Before me, Stephanie G. Colvin, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared David F. Baker, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged himself to be the Secretary of BSM Investments IV, LLC, the Managing Member of BSM Stagge, LLC the within named bargainor, a Delaware limited liability company, and that he as such Secretary of the Managing member being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the limited liability company by himself as the Secretary of its Managing Member.

16 WITNESS my hand and seal at office in Nashville, Tennessee, this the
day of November, 2018.




Notary Public

NOV 19 2018

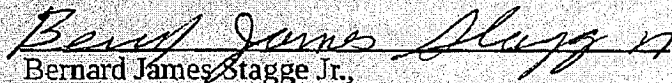
RECEIVED

AUTHORIZATION

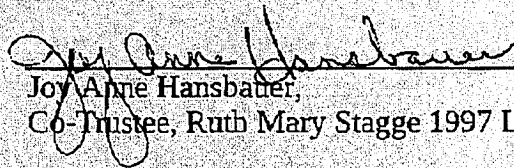
Tina Borchard, Trustee of the Rita C. Stagge Trust under agreement dated October 21, 1992, and Bernard James Stagge Jr. and Joy Anne Hansbauer, Co-Trustees of The Ruth Mary Stagge 1997 Living Trust dated May 13, 1997 are the owners of the property located at 7796 Montgomery Road, Cincinnati, Ohio and identified as Parcel # 600-0211-0336-00 (the "Property") and hereby authorize any of Jim Stagge, Tony Stagge, BSM Stagge, LLC or its representatives to apply for permits, variances and other governmental approvals in connection with the proposed development of the Property.



Tina Borchard,
Trustee, Rita C. Stagge Trust



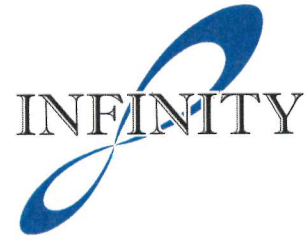
Bernard James Stagge Jr.,
Co-Trustee, Ruth Mary Stagge 1997 Living Trust



Joy Anne Hansbauer,
Co-Trustee, Ruth Mary Stagge 1997 Living Trust

November 19, 2018

Sycamore Township
Beth Gunderson
8540 Kenwood Road
Cincinnati, Ohio 45236
513-792-7250



INFINITY ENGINEERING
GROUP, LLC

**RE: Letter of Intent
PUD II Submittal
7796 Montgomery Road
Cincinnati, Ohio 45236**

Dear Ms. Gunderson,

Please accept this Letter of Intent for the above referenced project.

The following is a summary of the project site:

<u>SITE DATA</u>	
<u>PROPERTY</u>	7796 Montgomery Road Cincinnati, Ohio 45236 Parcel No. 600-0211-0336-00
<u>LOT AREA</u>	28,466 SF or 0.65 Acres
<u>EXISTING ZONING</u>	E – Retail Business District
<u>EXISTING USE</u>	One (1) commercial building occupied by multiple restaurant and retail tenants

The accompanying PUD II submittal is made in connection with a redevelopment proposal for the project site. As described in the accompanying plans, the redeveloped project site would continue to be occupied by a single commercial building. Occupants of the project site would be consistent with uses currently permitted under the existing E – Retail Business District zoning designation.

The character of the development will be similar to those of surrounding properties, each of which are existing commercial uses.

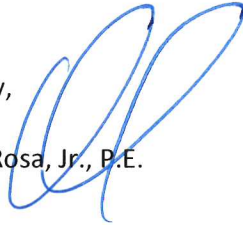
As currently developed, the project site does not meet requirements of the existing E – Retail Business District zoning with respect to Impervious Surface Area. As a result, a PUD II zoning is necessary for the proposed redevelopment of the property.

The density of the project site following the proposed redevelopment will be similar to the existing density. We do not anticipate that the development will have an adverse impact on the character of the immediate area, public services or facilities.

Should you have any questions or require any additional information, please do not hesitate to contact us at (813) 434-4770.

Sincerely,

Dick La Rosa, Jr., P.E.

A handwritten signature in blue ink, appearing to be 'DLR', written over the printed name.

Infinity Engineering Group, LLC.



KENWOOD GROUND UP PUD II PLAN SET

7796 Montgomery Road
Cincinnati, Ohio 45236

IEG Project Number: 10-786.00

BSM Stagge, LLC
Developer
3011 Armory Drive, Suite 120
Nashville, Tennessee 37204
615-627-3963
Attn: David Baker

Infinity Engineering Group, LLC
Civil Engineer
1208 East Kennedy Boulevard, Suite 230
Tampa, FL 33602
813.434.4770
Attn: Brett Nevaril

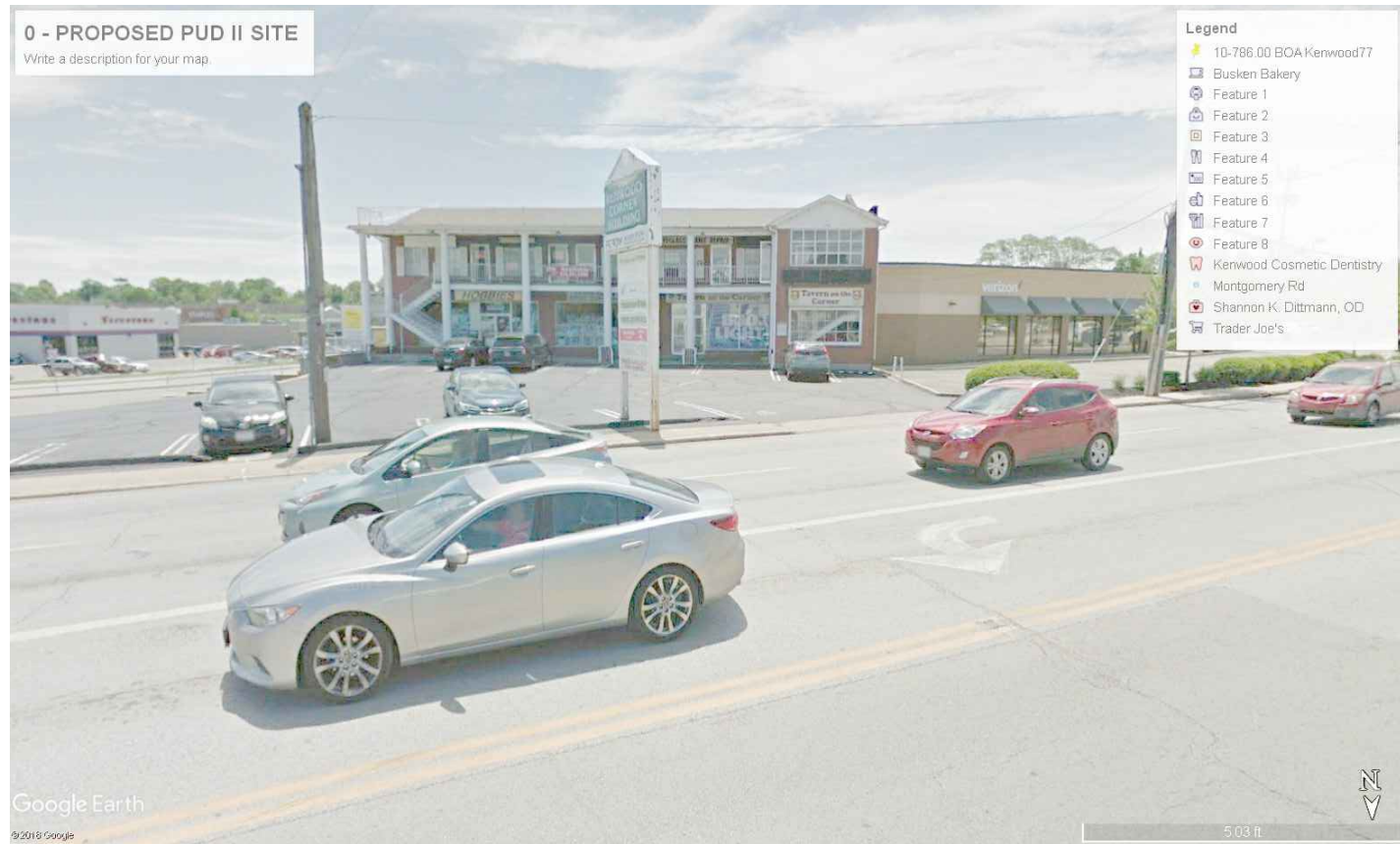
Architectural Design Collaborative, Inc.
Architect
945 North Pennsylvania avenue
Winter Park, FL 32789
407.629.1188
Attn: Jose F. Perez

P&G Engineering Design
Consulting Engineers
MEP
21 SW 102 Ct.
Miami, FL 33174
786.863.7091
Attn: Luis O. Perez

DRAWING INDEX

CS.1	COVER SHEET
Z00.01	OVERALL ZONING & USE PLAN
Z00.02	EXISTING CONDITIONS / DEMOLITION PLAN
Z00.03	ZONING PLAN - PUD II
L01.00	SITE LANDSCAPE PLAN
E-0.0	ELECTRICAL SITE AND PHOTOMETRIC LAN
E-0.1	DETAILS
A02-01	FLOOR PLAN LEVEL 1
A02-02	FLOOR PLAN LEVEL 2
A09-11A	EXTERIOR ELEVATIONS
A09-11B	EXTERIOR ELEVATIONS
	ALTA/NSPS LAND TITLE SURVEY

SITE SIGNAGE, COLORED LANDSCAPING PLANS AND COLORED BUILDING
RENDERINGS PROVIDED SEPARATELY



0- PROPOSED PUD II SITE



1- VERIZON STORE



2 - PEP BOYS AUTOMOTIVE PARTS AND SERVICES



3 -TERRY BRYAN TRAINING CENTER



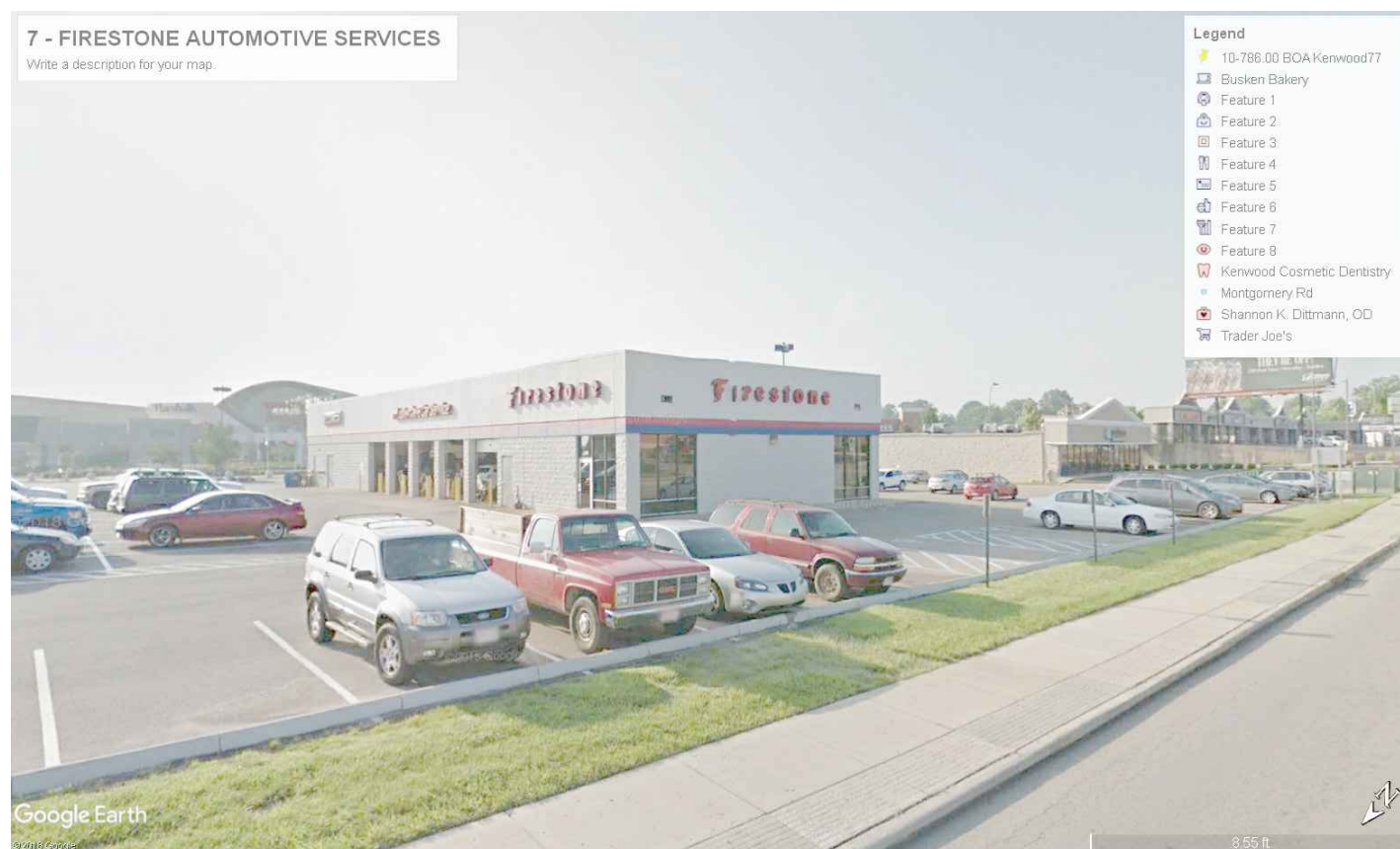
4 - BP GAS STATION



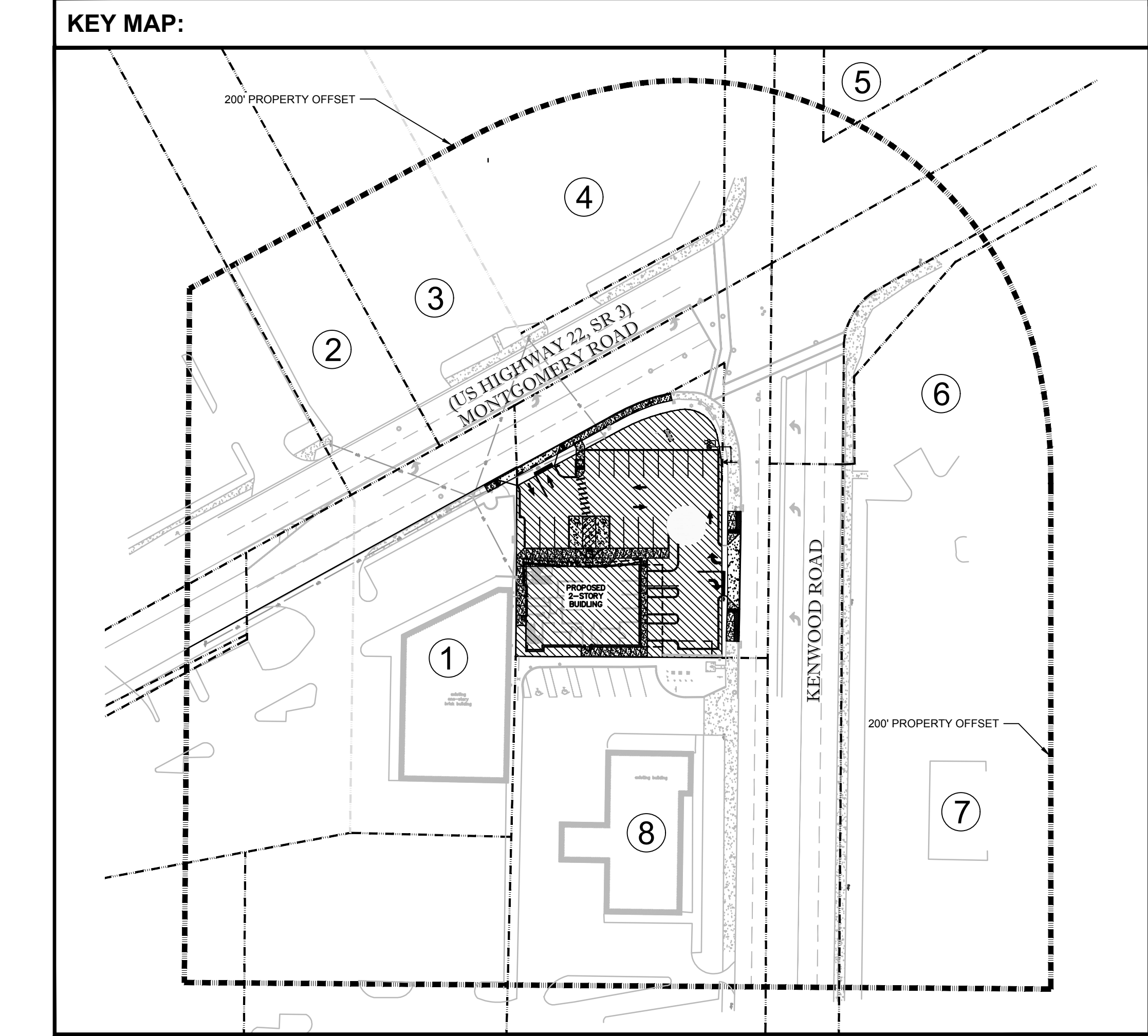
5 - NORDSTORM RETAIL CLOTHING AND APPAREL



6 - JARED JEWELERS

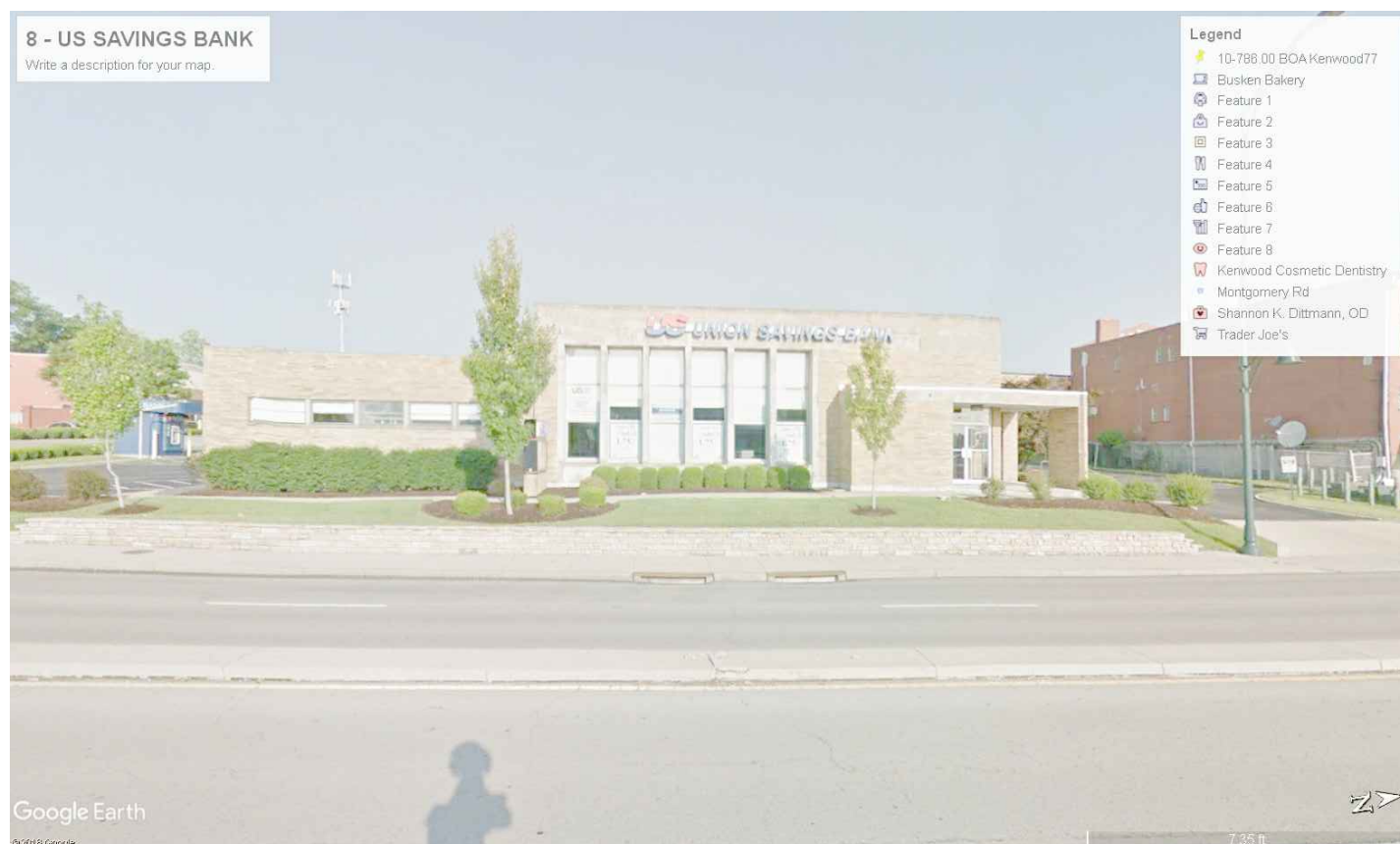


7 - FIRESTONE AUTOMOTIVE SERVICES

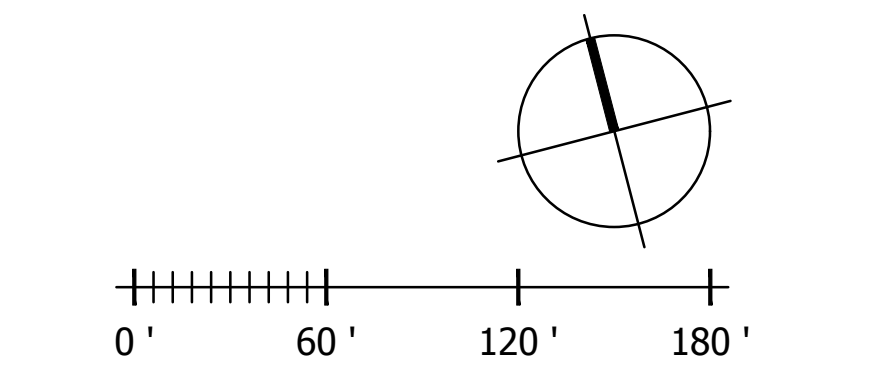


SITE DATA AND KEY MAP

PROPERTY 0: OWNER NAME: PARCEL NUMBER: EXISTING ZONING: PROPOSED ZONING: PROPOSED USE: SITE AREA (DEED): *SITE AREA (NOT WITHIN R/W): *IMPERVIOUS SURFACE RATIO: *IMPERVIOUS SURFACE RATIO:	STAGGE RUTH M TR 600-0211-0336-00 E-RETAIL BUSINESS PUD-2 (PLANNED UNIT DEVELOPMENT) PROPOSED PUD II SITE, BANK/FINANCIAL 28,466 SF OR 0.65 AC 16,608 SF OR 0.38 AC 0.5 MAXIMUM .02 PROVIDED	PROPERTY 4: OWNER NAME: PARCEL NUMBER: EXISTING ZONING: ZONING:	MONTGOMERY CINCINNATI LLC 600-0211-0103 E-RETAIL BUSINESS, BP GAS STATION PUD-2 (PLANNED UNIT DEVELOPMENT)
PROPERTY 1: OWNER NAME: PARCEL NUMBER: EXISTING ZONING: EXISTING USE:	MONTGOMERY ROAD 7783 LLC 600-0211-0645 E-RETAIL BUSINESS, VERIZON STORE PUD-2 (PLANNED UNIT DEVELOPMENT)	PROPERTY 5: OWNER NAME: PARCEL NUMBER: EXISTING USE: ZONING:	KENWOOD MALL LLC 600-0080-0285 E-RETAIL BUSINESS, NORDSTORM RETAIL- CLOTHING AND APPAREL PUD-2 (PLANNED UNIT DEVELOPMENT)
PROPERTY 2: OWNER NAME: PARCEL NUMBER: EXISTING ZONING: EXISTING USE:	SYCAMORE TOWNSHIP HAMILTON COUNTY 600-0211-0028 E-RETAIL BUSINESS, PEP BOYS AUTO PARTS AND SERVICE PUD-2 (PLANNED UNIT DEVELOPMENT)	PROPERTY 6: OWNER NAME: PARCEL NUMBER: EXISTING USE: ZONING:	BRE DDR CROCODILE SYCAMOR PLAZA LLC 600-0080-0748 E-RETAIL BUSINESS, JARED JEWELERS PUD-2 (PLANNED UNIT DEVELOPMENT)
PROPERTY 3: OWNER NAME: PARCEL NUMBER: EXISTING ZONING: EXISTING USE:	MONTGOMERY CINCINNATI LLC 600-0211-0149 E-RETAIL BUSINESS, TERRY BRYAN TRAINING CENTER PUD-2 (PLANNED UNIT DEVELOPMENT)	PROPERTY 7: OWNER NAME: PARCEL NUMBER: EXISTING USE: ZONING:	BRE DDR CROCODILE SYCAMOR PLAZA LLC 600-0080-0748 E-RETAIL BUSINESS, FIRESTONE AUTOMOTIVE SERVICES PUD-2 (PLANNED UNIT DEVELOPMENT)
PROPERTY 8: OWNER NAME: PARCEL NUMBER: EXISTING USE: ZONING:	UNION SAVINGS BANK 600-0211-0333 E-RETAIL BUSINESS, UNION SAVINGS BANK PUD-2 (PLANNED UNIT DEVELOPMENT)	PROPERTY 9: OWNER NAME: PARCEL NUMBER: EXISTING USE: ZONING:	



8 - US SAVINGS BANK



SERIAL NUMBER:
NRSP VERSION:
BULLETIN:

ADC
ARCHITECTURAL DESIGN COLLABORATIVE
ARCHITECTURAL DESIGN COLLABORATIVE, INC.
945 NORTH PENNSYLVANIA AVENUE
WINTER PARK, FL 32789
OFFICE: (407) 629-1188
FAX: (407) 388-1220
WWW.ADCINTERNATIONAL.NET

INFINITY
Infinity Engineering Group, LLC
1208 E. Kennedy Boulevard
Suite 230
Tampa, FL 33602
P: (813) 434-4770
F: (813) 445-4211
OH Certificate of Auth. No.: 2430423

Issue	Client Date & Issue Description	By	Check
01	11/16/2018 CLIENT REVIEW	RO	DL

Issue	Jurisdiction Date & Issue Description	By	Check
01	11/16/2018 PUD ISSUANCE	RO	DL

Seal/Signature

Project Name

Prototype Layout

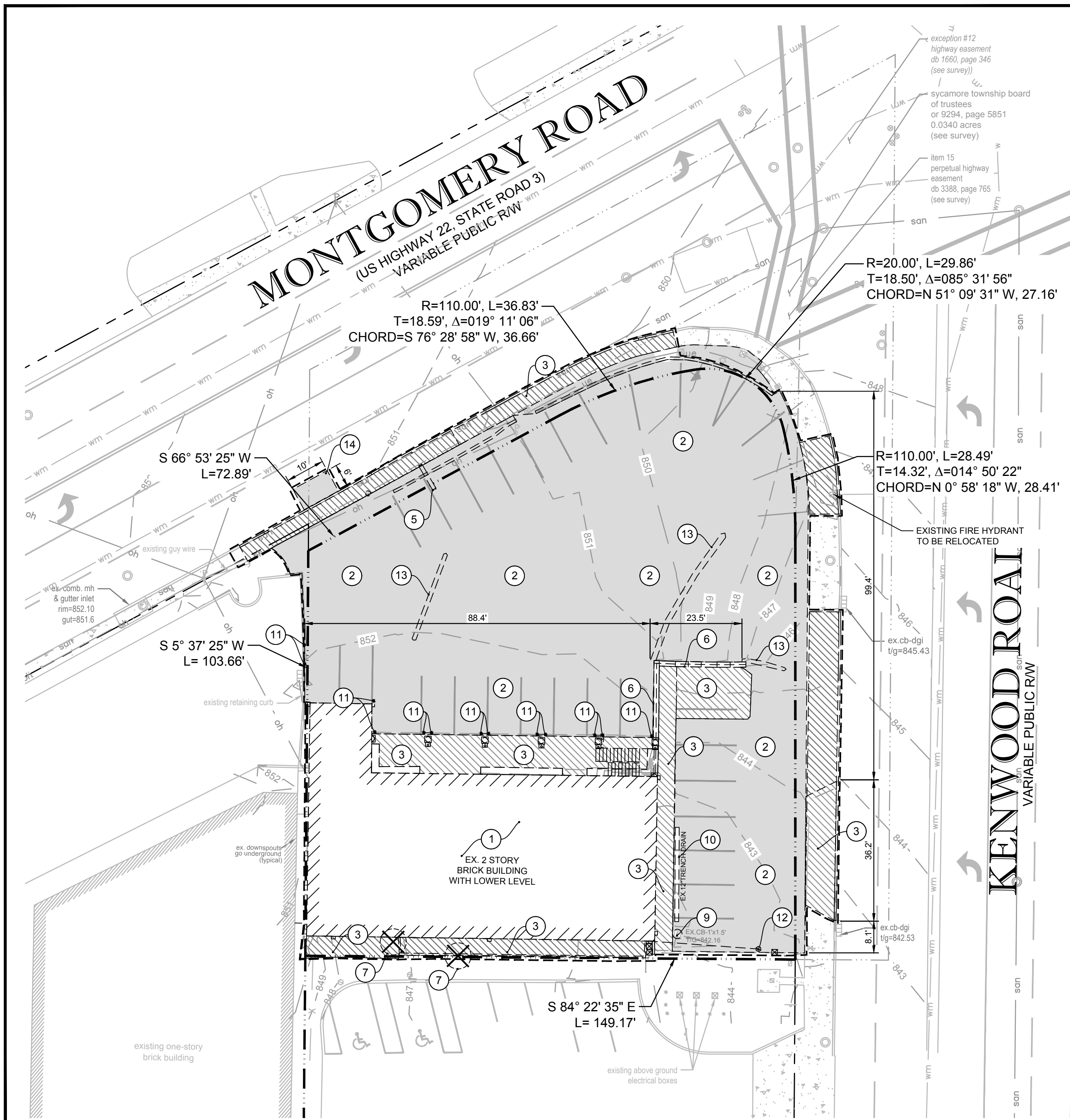
Project Number
10-786.00

CAD File Name

Description
OVERALL ZONING & USE PLAN

Scale
AS INDICATED

Z00.01



EXISTING CONDITIONS DEMOLITION PLAN

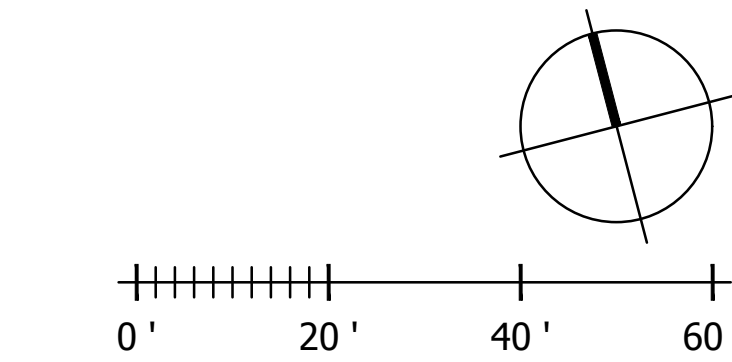
SCALE
1" = 20'

KEYED NOTES:

- EXISTING BUILDING TO BE DEMOLISHED AND ASSOCIATED UTILITIES TO BE REMOVED. GC TO COORDINATE WITH LOCAL UTILITY PROVIDERS.
- ASPHALT PAVEMENT TO BE SAWCUT AND REMOVED. BASE AND SUB-BASE TO BE REMOVED AND FILLED WITH CLEAN FILL IN AREAS OF PROPOSED LANDSCAPE. SEE SITE PLAN, SHEET C02.01.
- CONCRETE SIDEWALK AND RAMPS TO BE SAWCUT AND REMOVED.
- EXISTING CURB TO BE SAWCUT AND REMOVED.
- EXISTING ID SIGN TO BE REMOVED.
- EXISTING RETAINING WALL TO BE REMOVED.
- EXISTING TREE TO BE REMOVED
- NOT USED
- EXISTING CATCH BASIN TO REMAIN.
- EXISTING TRENCH DRAIN TO BE REMOVED.
- EXISTING BOLLARDS TO BE REMOVED (TYPICAL OF 13).
- EXISTING ID SIGN AND ASSOCIATED POWER LINES TO BE REMOVED.
- EXISTING SPEED BUMPS TO BE REMOVED.
- SEE MOT DETAIL, SHEET C06.05

LEGEND:

- PROPERTY LINE
- EXISTING CONCRETE TO REMAIN
- REMOVE EXISTING ASPHALT
- REMOVE EXISTING CONCRETE
- EXISTING TO BE REMOVED
- LIMITS OF DEMOLITION
- EXISTING TO REMIAN
- EXISTING GAS
- EXISTING SANITARY
- EXISTING TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD LINE
- EXISTING WATER
- EXISTING CONTOUR
- EXISTING TREE TO BE REMOVED



SERIAL NUMBER:
NRSP VERSION:
BULLETIN:

ADC
ARCHITECTURAL DESIGN COLLABORATIVE

ARCHITECTURAL DESIGN COLLABORATIVE, INC.
945 NORTH PENNSYLVANIA AVENUE
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Infinity Engineering Group, LLC
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Issue	Jurisdiction Date & Issue Description	By	Check
01	11/16/2018 PUD ISSUANCE	RO	DL

Seal/Signature

Project Name

Prototype Layout

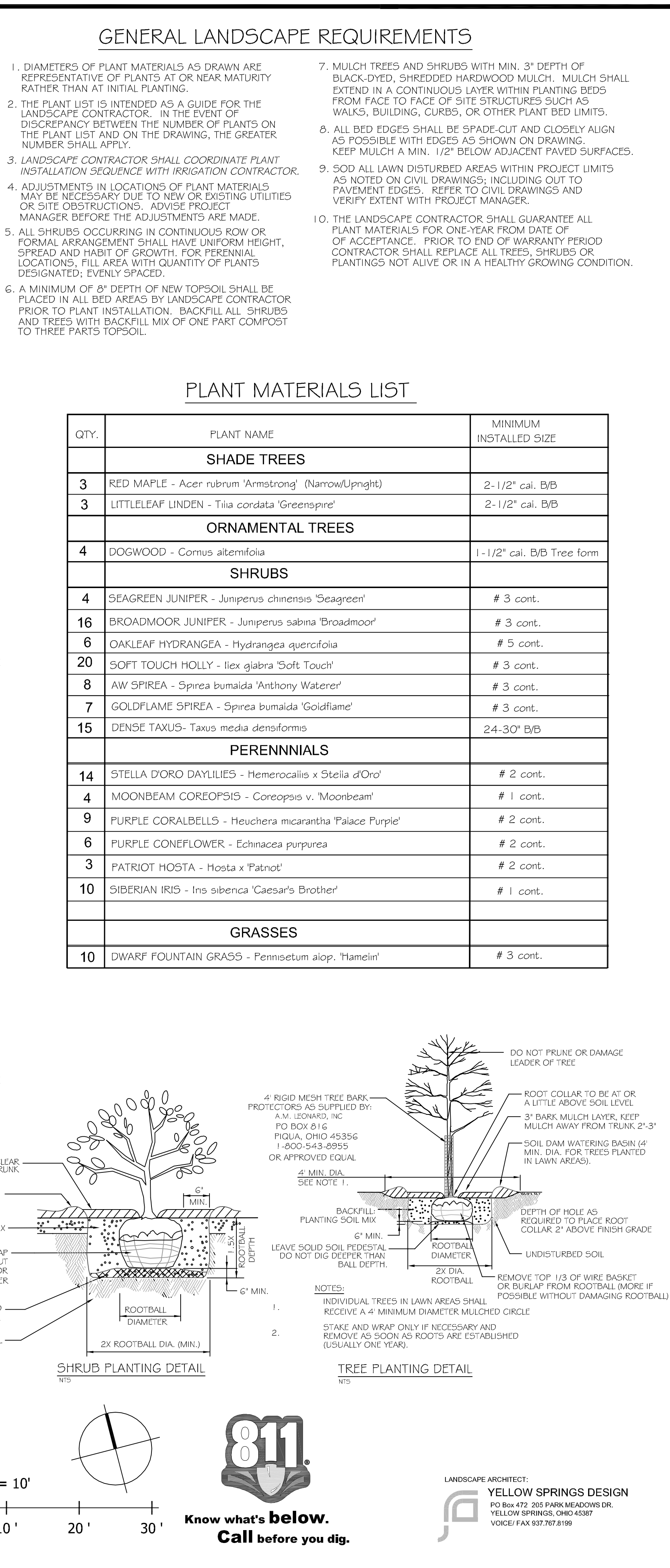
Project Number
10-786.00

CAD File Name

Description
EXISTING CONDITIONS / DEMOLITION PLAN

Scale
AS INDICATED

Z00.02



L01.00



LANDSCAPE ARCHITECT:
 **YELLOW SPRINGS DESIGN**
 PO Box 472 205 PARK MEADOWS DR.
 YELLOW SPRINGS, OHIO 45387
 VOICE/ FAX 937.767.8199








Pole Schedule	Footcandles calculated using predicted lumen values after 50K hours of operation					
(2) PS4S2C1BZ (2Z' X 4' X .125" STEEL SQUARE POLE)	Label	Avg	Max	Min	Avg/Min	Max/Min
Proposed poles meet 130 MPH sustained winds.	Off Pavement	0.95	9.3	0.0	N.A.	N.A.
(1) PS4S2C2BZ (2Z' X 4' X .125" STEEL SQUARE POLE)	Paved Area	6.71	18.8	0.8	8.39	23.50
Proposed poles meet 120 MPH sustained winds.	5' RAD	12.70	12.7	12.7	1.00	1.00
	60' RAD	8.73	18.8	3.7	2.36	5.08

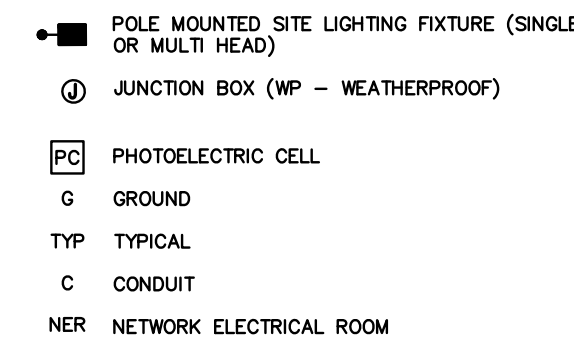


- # KEY NOTES
- | | |
|---|---|
| 1 | REFER TO CIVIL PLANS FOR LOCATION OF UTILITY COMPANY'S POLE MOUNTED TRANSFORMER. FIELD VERIFY EXACT LOCATION OF EQUIPMENT WITH UTILITY COMPANY. FIELD COORDINATE ALL ASPECTS OF SERVICE ENTRANCE WITH UTILITY COMPANY. REFER TO PACKAGED INFORMER DETAIL ON THIS SHEET FOR ADDITIONAL INFORMATION. |
| 2 | INFORMING UNDERGROUND SECONDARY ELECTRICAL SERVICE. REFER TO ELECTRICAL Riser DIAGRAM FOR ADDITIONAL INFORMATION. INSTALL ADDITIONAL HANDHOLES AS REQUIRED. |
| 3 | TELEPHONE UTILITY SERVICE CONDUIT. PROVIDE 6" x 4" CONDUITS FROM TELEPHONE EQUIPMENT BACKBOARD TO PROPERTY LINE. FIELD VERIFY EXACT LOCATION OF TERMINATION WITH TELEPHONE COMPANY REPRESENTATIVE. FIELD COORDINATE ALL ASPECTS OF SERVICE ENTRANCE WITH UTILITY COMPANY. PROVIDE IN/ON PULL RINGS. |
| 4 | REFER TO DRAWING E-4 FOR EXACT LOCATION OF CONDUIT STUB-UPS IN BUILDING. |
| 5 | EXTEND CIRCUITS INDICATED THRU EXTERIOR LIGHTING CONTROLLER. REFER TO DRAWINGS E-4 FOR CONTACTOR DETAIL. |
| 6 | FIELD COORDINATE EXACT LOCATION OF SIGNAGE STUB-UP. COORDINATE WITH ARCHITECT BANK SIGNAGE. PROVIDE FINAL ELECTRICAL CONNECTION. PROVIDE WATER TIGHT JUNCTION BOX AND DISCONNECT SWITCH FOR MOUNTION SIGN. COORDINATE EXACT LOCATION WITH CIVIL DRAWINGS. |
| 7 | NOT USED. |

- # GENERAL NOTES
1. CONTRACTOR PROPOSING TO UNDERTAKE WORK UNDER THIS DIVISION SHALL VISIT THE SITE OF THE WORK AND FURNISH INFORMATION CONCERNING THE CONDITIONS THAT EFFECT THE WORK AND COST THEREOF, AND EXAMINE THE DRAWINGS AND SPECIFICATIONS AS RELATIVE TO THE SITE CONDITIONS.
 2. CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISUNDERSTANDINGS OF THE AMOUNT OF WORK TO BE PERFORMED, TENDER OF PROPOSAL, OR MONEY FULL AGREEMENT TO THE ITEMS AND CONDITIONS INDICATED ON THE DRAWINGS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS, HE SHALL IMMEDIATELY OBTAIN CLARIFICATION FROM THE ENGINEER AND/OR OWNER'S REPRESENTATIVE PRIOR TO SUBMITTING HIS PROPOSAL.
 3. FIELD VERIFY EXACT NAMEPLATE DATA ON ALL EQUIPMENT FURNISHED UNDER OTHER DIVISIONS AND/OR BY THE TENDERS (E.G. HVAC EQUIPMENT, KITCHEN EQUIPMENT, ETC.) PRIOR TO THE INSTALLATION OF THE EQUIPMENT. WORK AND MAKE ANY ADJUSTMENTS TO OUTLETS, CONDUITS, WIRE, AND/OR BREAKERS TO CORRESPOND TO MATCH EQUIPMENT ACTUALLY FURNISHED.
 4. REFER TO ELECTRICAL RISER DIAGRAM ON SHEET E-4 FOR MORE INFORMATION.
 5. REFER TO PANEL SCHEDULES ON SHEET E-7 FOR SITE LIGHTING ORCULATING.
 6. REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E-5 FOR MORE INFORMATION.
 7. ALL UNDERGROUND WIRING SHALL BE LOCATED WITHIN 12" OF BACK OF CURB BY ALL CONDUCTORS.
 8. FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF POLE BASES AND UNDERGROUND CONDUIT.
 9. POLE BASES SHALL BE INSTALLED 4'-0" BEHIND BACK OF CURB TO CENTER OF POLE BASE.
 10. PANEL MFD IS LOCATED IN ELECTRICAL ROOM - SEE SHEET E-5 FOR EXACT LOCATION.
 11. ALL CONDUCTORS SHALL BE COPPER CONDUCTORS FOR ABOVE GROUND SERVICE SHALL BE THIN - THWN. CONDUCTORS FOR BELOW GRADE SERVICE SHALL BE THW OR XHHW. CONDUCTORS #10 AND SMALLER SHALL BE SOLID CONDUCTORS #8 AND LARGER SHALL BE STRANDED.
 12. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED:
FORWARD THROW TYPE IV DISTRIBUTION, POLE-MOUNTED LIGHTS AHEAD OF THE BUILDING'S FACADE, AND UNSHIELDED DOWNLIGHTS.
 13. ALL EXTERIOR LIGHT FIXTURES CIRCUITS ARE CONTROLLED BY IC3 SYSTEM. EXTERIOR LIGHTING CONTRACTORS AND PHOTOCELL.



- ## GRAPHIC SYMBOLS
- | | |
|---|---|
|  | POLE MOUNTED SITE LIGHTING FIXTURE (SINGLE OR MULTI HEAD) |
|  | JUNCTION BOX (WP - WEATHERPROOF) |
|  | PHOTOELECTRIC CELL |
|  | GROUND |
|  | TYPICAL |
|  | CONDUIT |
|  | NETWORK ELECTRICAL ROOM |



Scale AS NOTED

0 1' 2' 4' 8'

Plan North

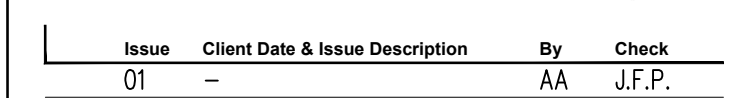
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A02.01

A02.02

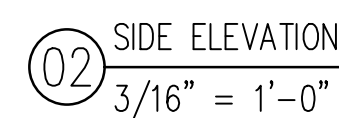
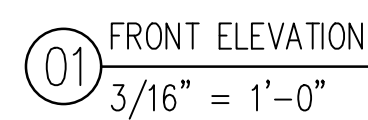
7796 Montgomery Rd.
Sycamore Twp, Ohio

ADC
ARCHITECTURAL DESIGN COLLABORATIVE

[illegible]Seal/Signature

Scale
AS SHOWN

1



- (01) SIGN BY OWNER
- (02) DRIVE THROUGH ATM
- (03) VACUUM AIR TUBE (VAT)
- (04) METAL PANEL SYSTEM
- (05) 31'-FT FLAG POLE AND MOUNTING BRACKETS – PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- (06) S-TYPE REGULATORY DIRECTIONAL/INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN = CENTERLINE OF LANE.
- (07) LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE.
- (08) LED LANE LIGHTS PROVIDED BY EQUIPMENT VENDOR. CENTERLINE OF SIGN = CENTERLINE OF LANE.
- (09) EXTERIOR SECURITY CAMERA
- (10) FIREMAN'S LOCKBOX COORDINATE WITH FIRE OFFICIAL THE MOUNTING HEIGHT AND LOCATION PRIOR TO INSTALLATION
- (11) SIGNAGE ON DOOR THAT READS "NO SMOKING WITHIN 25 FEET OF THE ENTRANCE" PROVIDED BY OWNER.
- (12) CLEAN OUT LOCATIONS

- A. CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- B. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-5 TYPE LETTERSET.
- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET.
- D. REFER TO A12.11 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM
- E. REFER TO SHEET A09.31 FOR TYPICAL CEMENT PLASTER DETAILS
- F. REFER TO DETAIL 1/A09.32 FOR TYP. WINDOW FASHING DETAILS

7796 Montgomery Rd.
Sycamore Twp, Ohio

ARCHITECTURAL DESIGN COLLABORATIVE

Bank of America

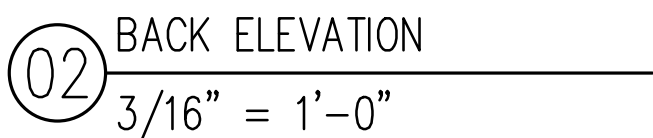
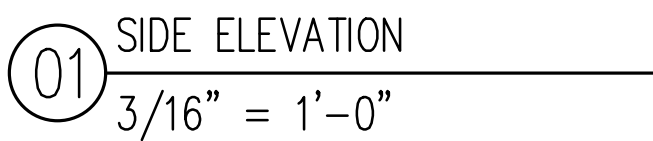
[illegible]Seal/Signature

KENWOOD
Prototype Layout

NEW STORE – FLAGSHIP
Project Number

Scale _____

AS SHOWED _____



- 01 SIGN BY OWNER
- 02 DRIVE THROUGH ATM
- 03 VACUUM AIR TUBE (VAT)
- 04 METAL PANEL SYSTEM
- 05 31-FT FLAG POLE AND MOUNTING BRACKETS - PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- 06 S-TYPE REGULATORY DIRECTIONAL/INFORMATIONAL MONICLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN = CENTERLINE OF LANE.
- 07 LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE.
- 08 LED LANE LIGHTS PROVIDED BY EQUIPMENT VENDOR. CENTERLINE OF SIGN = CENTERLINE OF LANE.
- 09 EXTERIOR SECURITY CAMERA
- 10 FIREMAN'S LOCKBOX COORDINATE WITH FIRE OFFICIAL THE MOUNTING HEIGHT AND LOCATION PRIOR TO INSTALLATION
- 11 SIGNAGE ON DOOR THAT READS "NO SMOKING WITHIN 25 FEET OF THE ENTRANCE" PROVIDED BY OWNER.
- 12 CLEAN OUT LOCATIONS

A. CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER, SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).

B. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-5 TYPE LETTERSET.

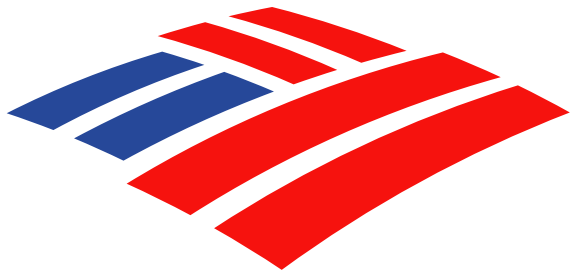
C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET.

D. REFER TO A12.11 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM

E. REFER TO SHEET A09.31 FOR TYPICAL CEMENT PLASTER DETAILS

F. REFER TO DETAIL 1/A09.32 FOR TYP. WINDOW FASHING DETAILS

Bank of America



7796 MONTGOMERY RD.
CINCINNATI, OH 45236



10101 Reunion Place
Suite 500
San Antonio, TX 78216
P 210. 886. 0644
waltonsignage.com
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Client: BANK OF AMERICA
Address: 7796 MONTGOMERY RD.
City/State: CINCINNATI, OH 45236
Sales: BP Designer: RH
Date: 10.17.18 PM EN

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Revision:	
R1)	10/24/18 Add letters on side elevation - RH
R2)	11/01/18 Revise letter placement / vinyl - RH
R3)	11/05/18 Revise ML letters - RH
R4)	11/06/18 Revise site plan - RH
R5)	11/09/18 Revise elevations - RH

Signs will be manufactured with 120 or 277 Volts A/C. All Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

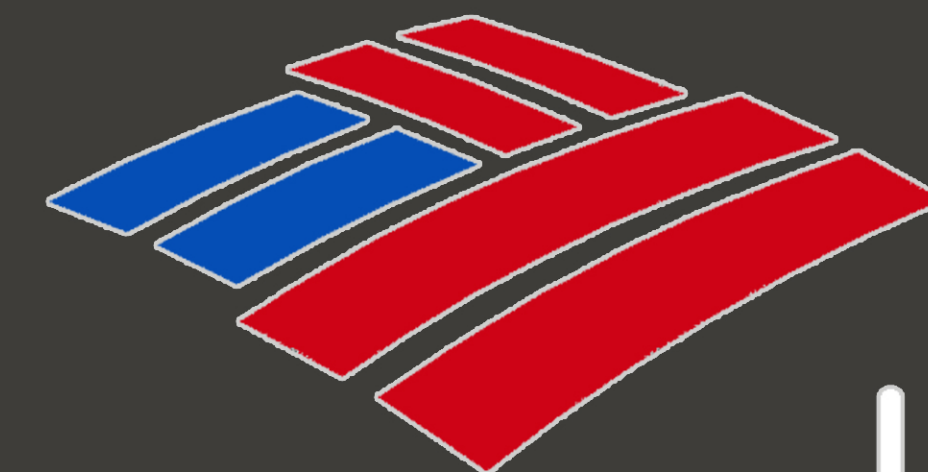
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

PAGE SIZE: 11" x 17"

Approvals:	
Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:

CID203495
Sheet: 1 of 12

Bank of America
Kenwood, Ohio

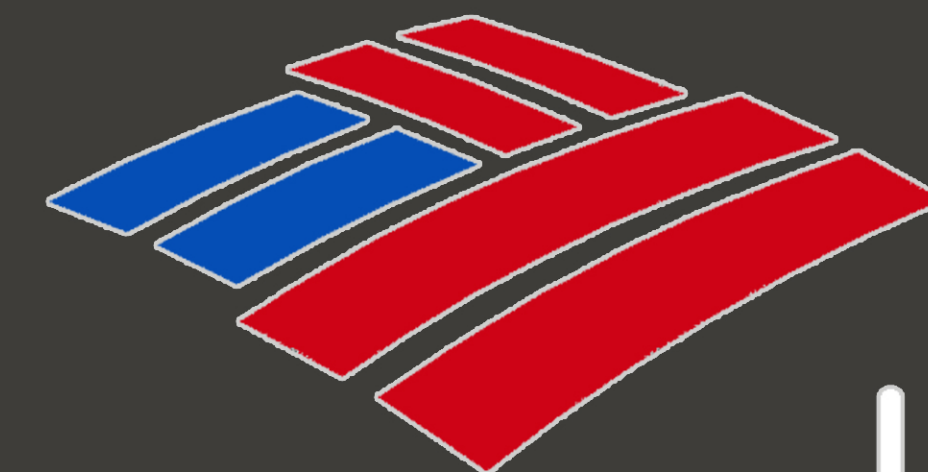


Back Elevation



Side Elevation

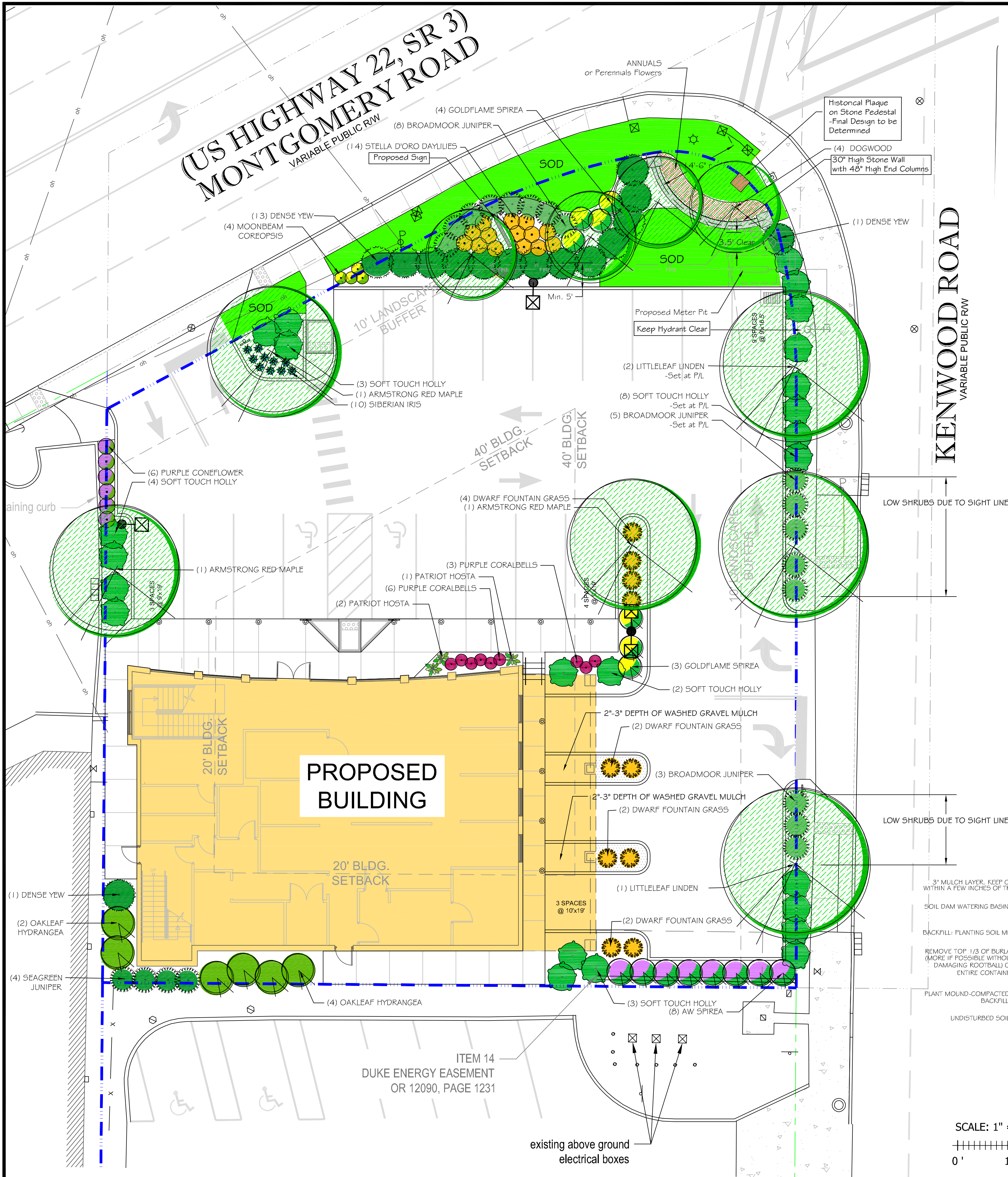
Bank of America
Kenwood, Ohio



Front Elevation



Side Elevation

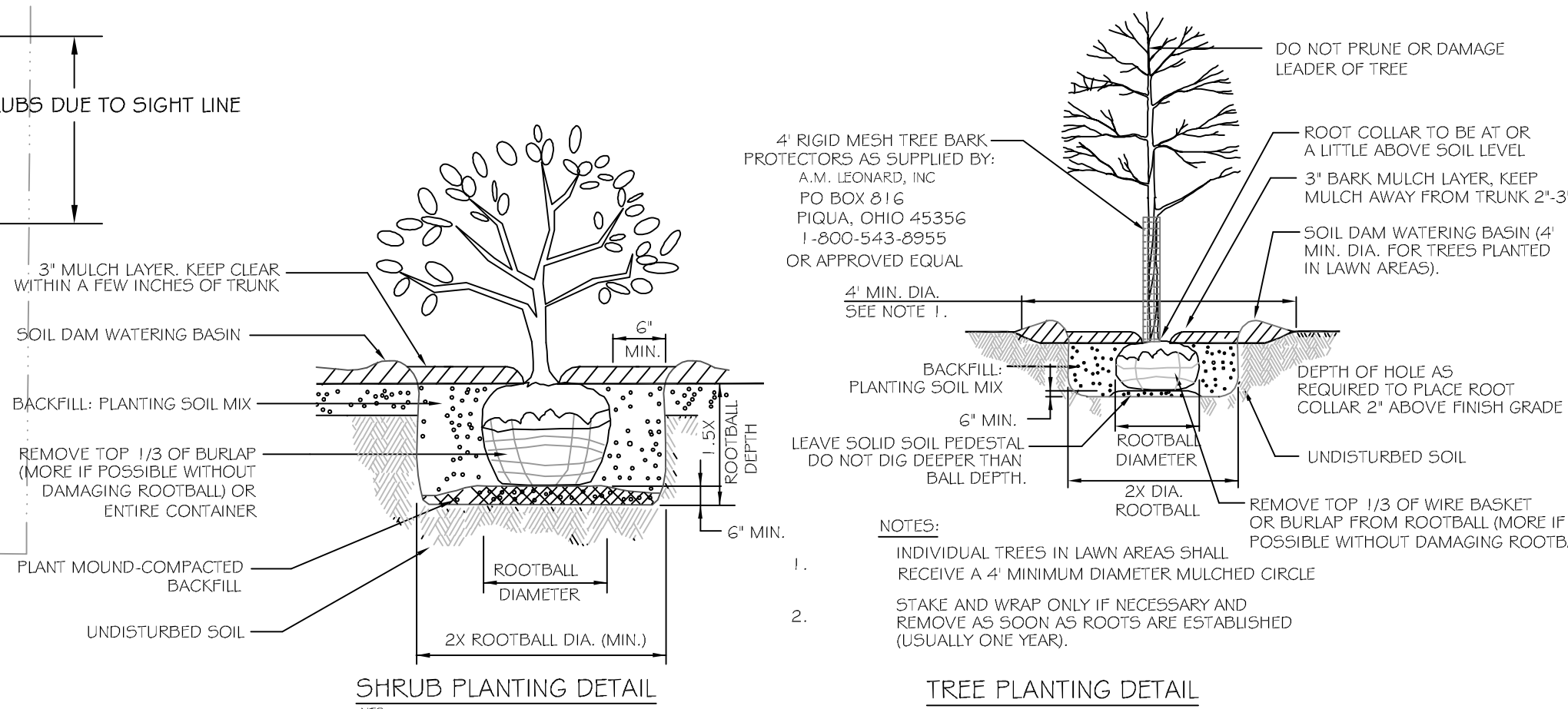


GENERAL LANDSCAPE REQUIREMENTS

1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANT INSTALLATION SEQUENCE WITH IRRIGATION CONTRACTOR.
4. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. ADVISE PROJECT MANAGER BEFORE THE ADJUSTMENTS ARE MADE.
5. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR PERENNIAL LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
6. A MINIMUM OF 8" DEPTH OF NEW TOPSOIL SHALL BE PLACED IN ALL BED AREAS BY LANDSCAPE CONTRACTOR PRIOR TO PLANT INSTALLATION. BACKFILL ALL SHRUBS AND TREES WITH BACKFILL MIX OF ONE PART COMPOST TO THREE PARTS TOPSOIL.
7. MULCH TREES AND SHRUBS WITH MIN. 3" DEPTH OF BLACK-DYED, SHREDDED HARDWOOD MULCH. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES SUCH AS WALKS, BUILDING, CURBS, OR OTHER PLANT BED LIMITS.
8. ALL BED EDGES SHALL BE SPADE-CUT AND CLOSELY ALIGN AS POSSIBLE WITH EDGES AS SHOWN ON DRAWING. KEEP MULCH A MIN. 1/2" BELOW ADJACENT PAVED SURFACES.
9. SOD ALL LAWN DISTURBED AREAS WITHIN PROJECT LIMITS AS NOTED ON CIVIL DRAWINGS; INCLUDING OUT TO PAVEMENT EDGES. REFER TO CIVIL DRAWINGS AND VERIFY EXTENT WITH PROJECT MANAGER.
10. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF OF ACCEPTANCE. PRIOR TO END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.

PLANT MATERIALS LIST

QTY.	PLANT NAME	MINIMUM INSTALLED SIZE
SHADE TREES		
3	RED MAPLE - <i>Acer rubrum</i> 'Armstrong' (Narrow/Upright)	2-1/2" cal. B/B
3	LITTLELEAF LINDEN - <i>Tilia cordata</i> 'Greenspire'	2-1/2" cal. B/B
ORNAMENTAL TREES		
4	DOGWOOD - <i>Cornus alternifolia</i>	1-1/2" cal. B/B Tree form
SHRUBS		
4	SEAGREEN JUNIPER - <i>Juniperus chinensis</i> 'Seagreen'	# 3 cont.
16	BROADMOOR JUNIPER - <i>Juniperus sabina</i> 'Broadmoor'	# 3 cont.
6	OAKLEAF HYDRANGEA - <i>Hydrangea quercifolia</i>	# 5 cont.
20	SOFT TOUCH HOLLY - <i>Ilex glabra</i> 'Soft Touch'	# 3 cont.
8	AW SPIREA - <i>Spiraea bumalda</i> 'Anthony Waterer'	# 3 cont.
7	GOLDFLAME SPIREA - <i>Spiraea bumalda</i> 'Goldflame'	# 3 cont.
15	DENSE TAXUS - <i>Taxus media densiformis</i>	24-30" B/B
PERENNIALS		
14	STELLA D'ORO DAYLILIES - <i>Hemerocallis x Stella d'Oro</i>	# 2 cont.
4	MOONBEAM COREOPSIS - <i>Coreopsis v. 'Moonbeam'</i>	# 1 cont.
9	PURPLE CORALBELLS - <i>Heuchera micrantha</i> 'Palace Purple'	# 2 cont.
6	PURPLE CONEFLOWER - <i>Echinacea purpurea</i>	# 2 cont.
3	PATRIOT HOSTA - <i>Hosta x 'Patriot'</i>	# 2 cont.
10	SIBERIAN IRIS - <i>Iris sibirica</i> 'Caesar's Brother'	# 1 cont.
GRASSES		
10	DWARF FOUNTAIN GRASS - <i>Pennisetum alopecuroides</i> 'Hamelin'	# 3 cont.



Bank of America
Kenwood
Ground Up

7796 Montgomery Road
Cincinnati, Ohio 45236

SERIAL NUMBER:
NRSP VERSION:
BULLETIN:



ARCHITECTURAL DESIGN COLLABORATIVE, INC.
945 NORTH PENNSYLVANIA AVENUE
WINTER PARK, FL 32789
OFFICE: (407) 629-1188
FAX: (407) 388-1220
WWW.ADCINTERNATIONAL.NET

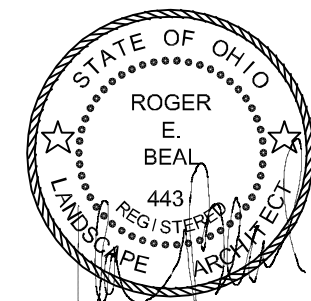


Infinity Engineering Group, LLC
1208 E. Kennedy Boulevard
Suite 230
Tampa, FL 33602
P: (813) 434-4770
F: (813) 445-4211
OH Certificate of Auth. No.: 2430423

Issue	Client Date & Issue Description	By	Check
01	10/18/2018 Client Review	REB	REB
02	10/28/2018 Client Review	REB	REB
03	11/06/2018 PERMIT	REB	REB

Issue	Jurisdiction Date & Issue Description	By	Check
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Seal/Signature

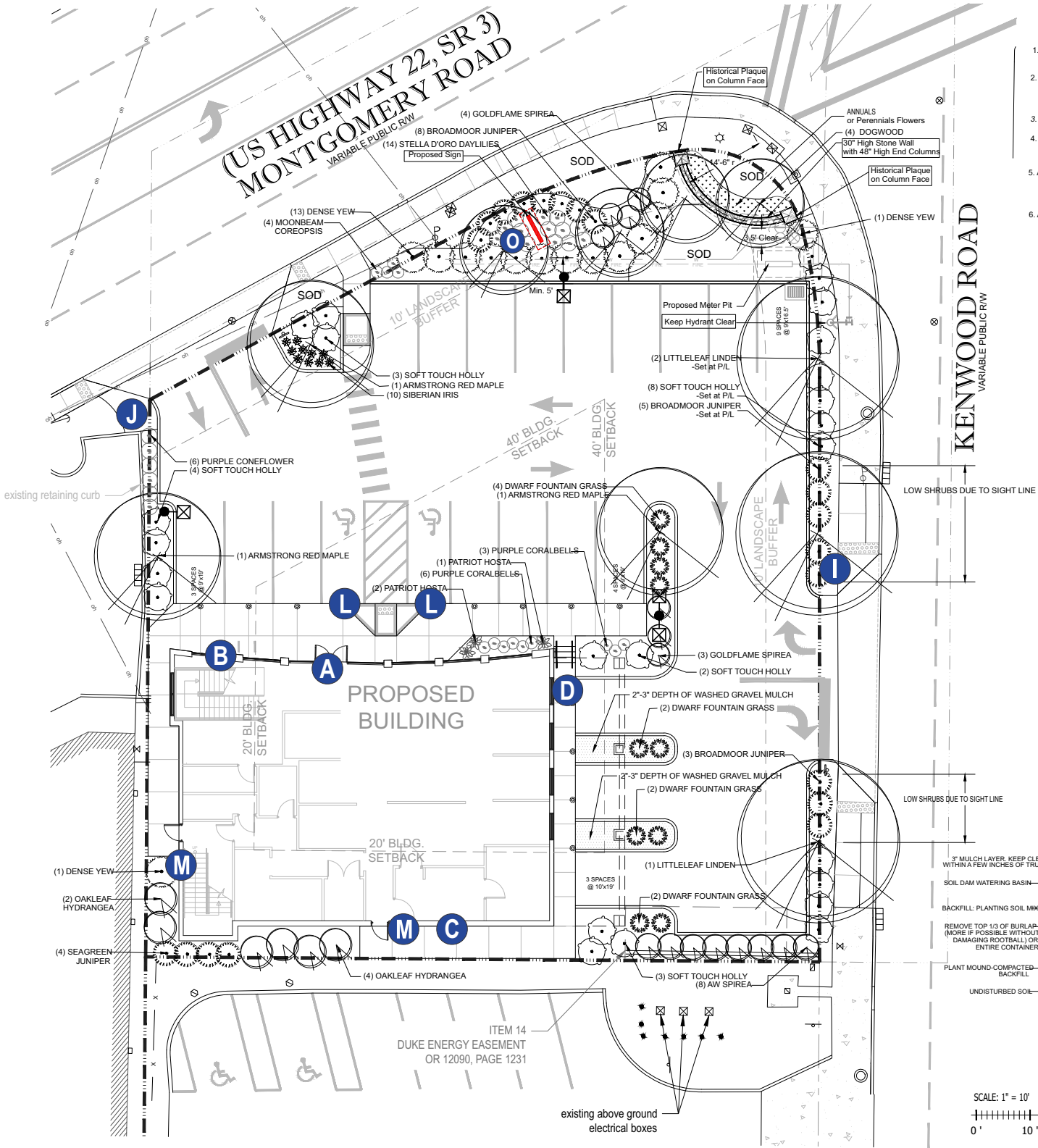


Project Name	KENWOOD
Prototype Layout	GROUND UP
Project Number	10-786.00
CAD File Name	

Description
SITE LANDSCAPE PLAN

Scale
AS INDICATED

L01.00



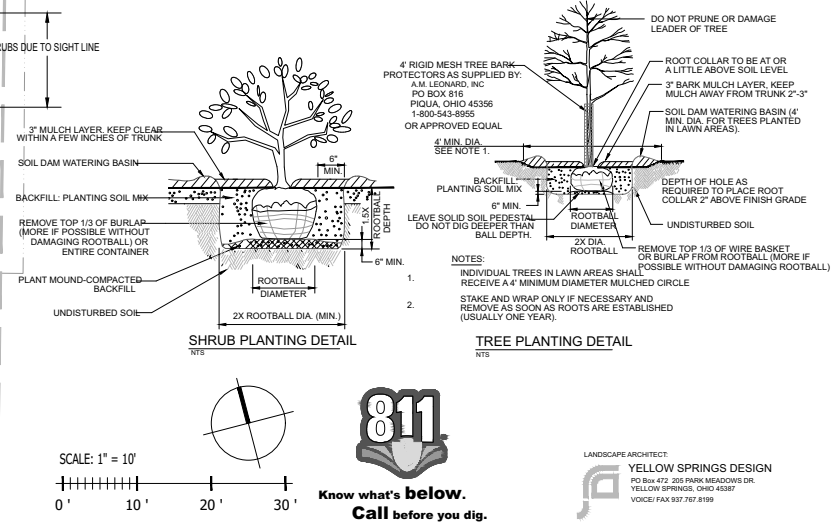
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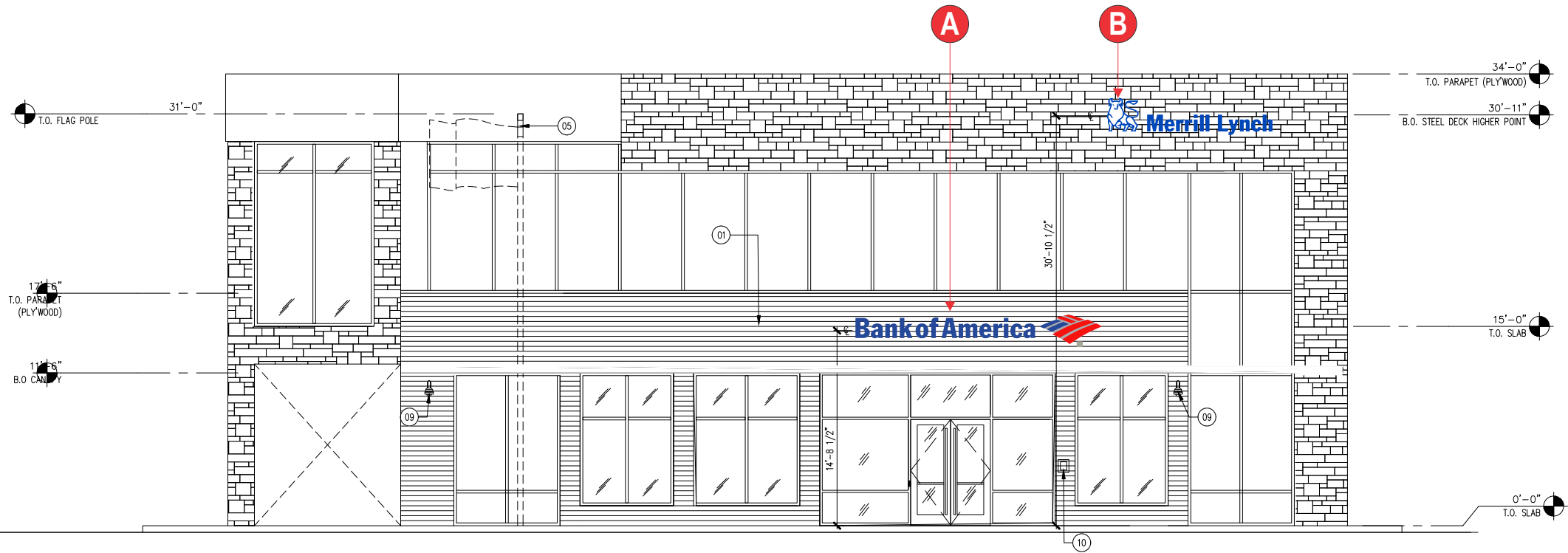
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GRASSES		
10	DWARF FOUNTAIN GRASS - Pennisetum alopecuroides 'Hamelin'	# 3 cont.

- A C** K3 CHANNEL LETTERS
- B D** MERRILL LYNCH CHANNEL LETTERS
- E F** ENTRANCE DOOR GRAPHICS
- G** DOOR ADDRESS VINYL
- H** CARD READER DECAL
- I** DIRECTIONAL SIGNAGE P1
- J** DIRECTIONAL SIGNAGE P1
- K** NOT USED
- L** DOT HANDICAP PARKING SIGNS
- M** NO SMOKING SIGN
- N** DISTRACTION VINYL
- O** B3W MONUMENT SIGN



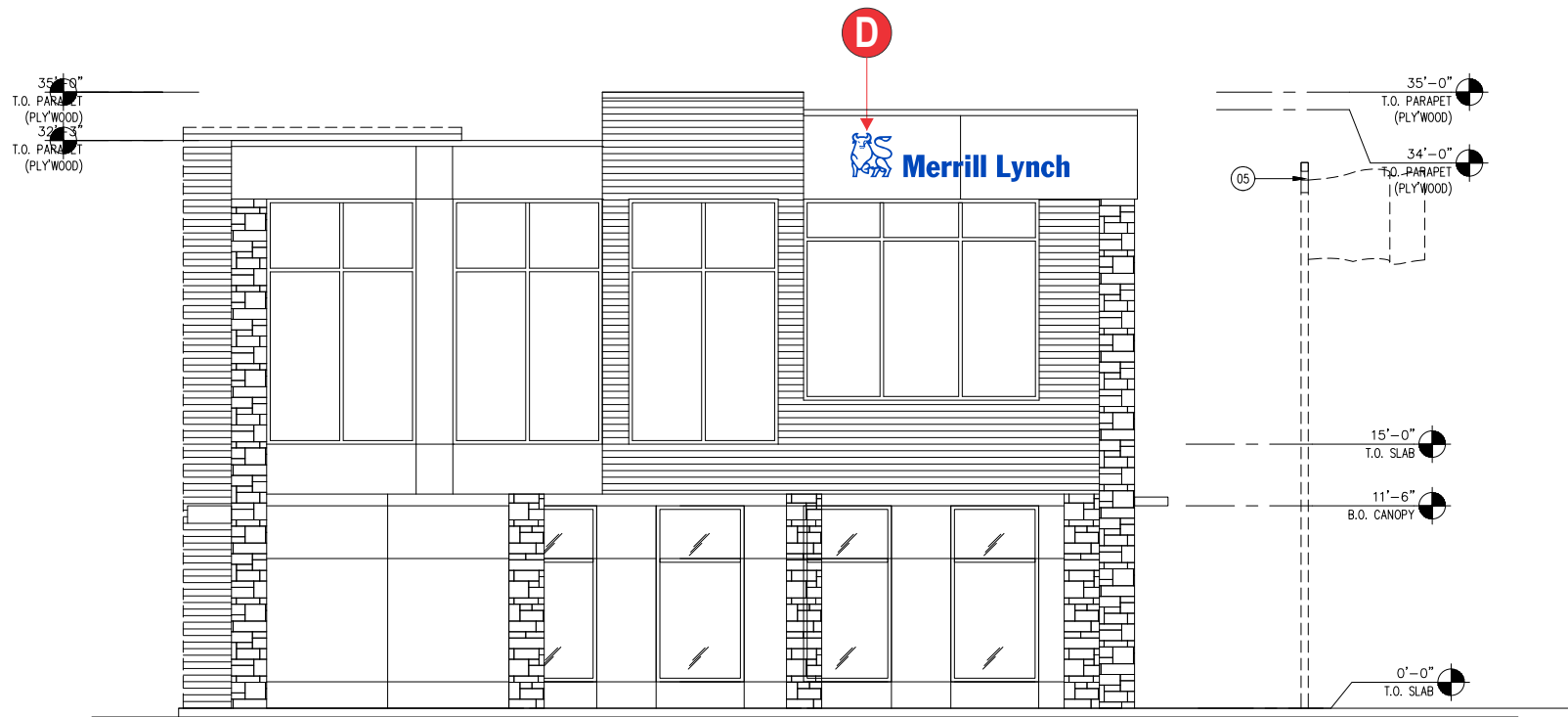
SITE PLAN

Scale: Not to Scale



FRONT ELEVATION

Scale: 3/32" = 1'-0"



SIDE ELEVATION

Scale: 3/32" = 1'-0"



10101 Reunion Place
Suite 500
San Antonio, TX 78216
P 210. 886. 0644
waltonsignage.com

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Client: **BANK OF AMERICA**
Address: **7796 MONTGOMERY RD.**
City/State: **CINCINNATI, OH 45236**
Sales: **BP** Designer: **RH**
Date: **10.17.18** PM **EN**

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Revision:

- R1) 10/24/18 Add letters on side elevation - RH
- R2) 11/01/18 Revise letter placement / vinyl - RH
- R3) 11/05/18 Revise ML letters - RH
- R4) 11/06/18 Revise site plan - RH
- R5) 11/09/18 Revise elevations - RH

Signs will be manufactured with 120 or 277 Volts A/C. All Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

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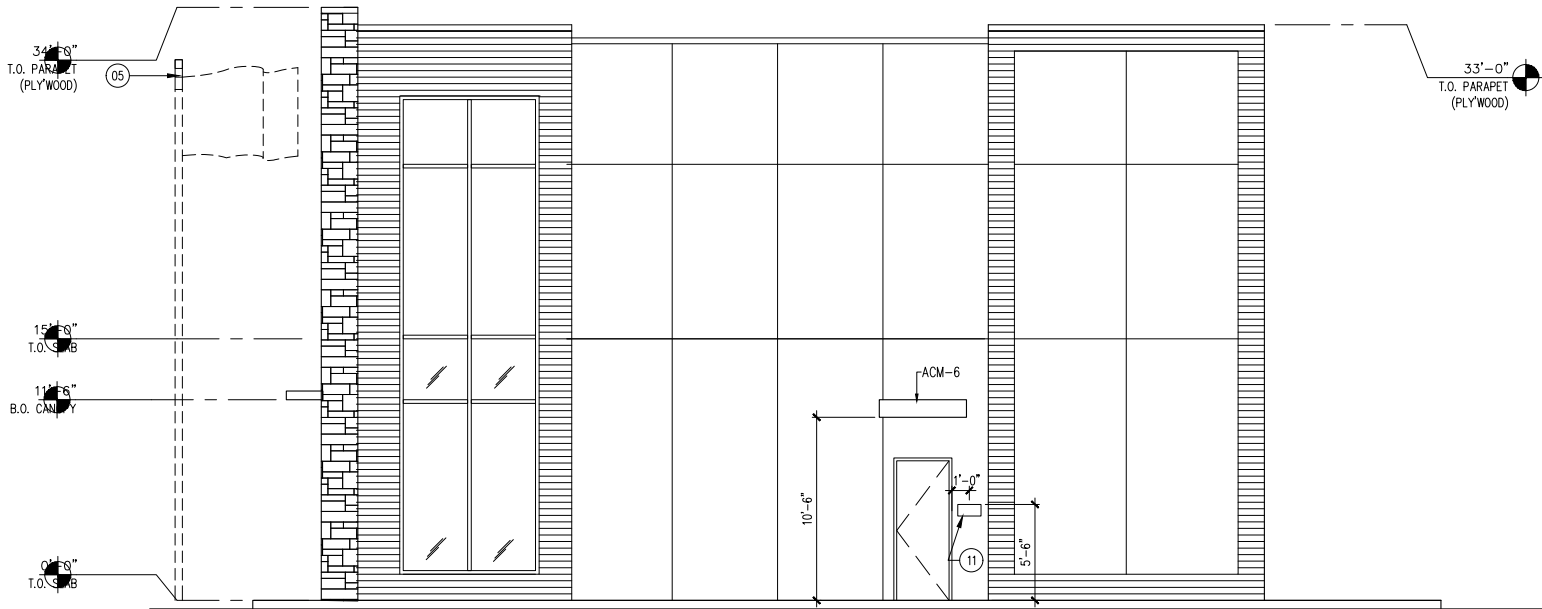
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Approvals:

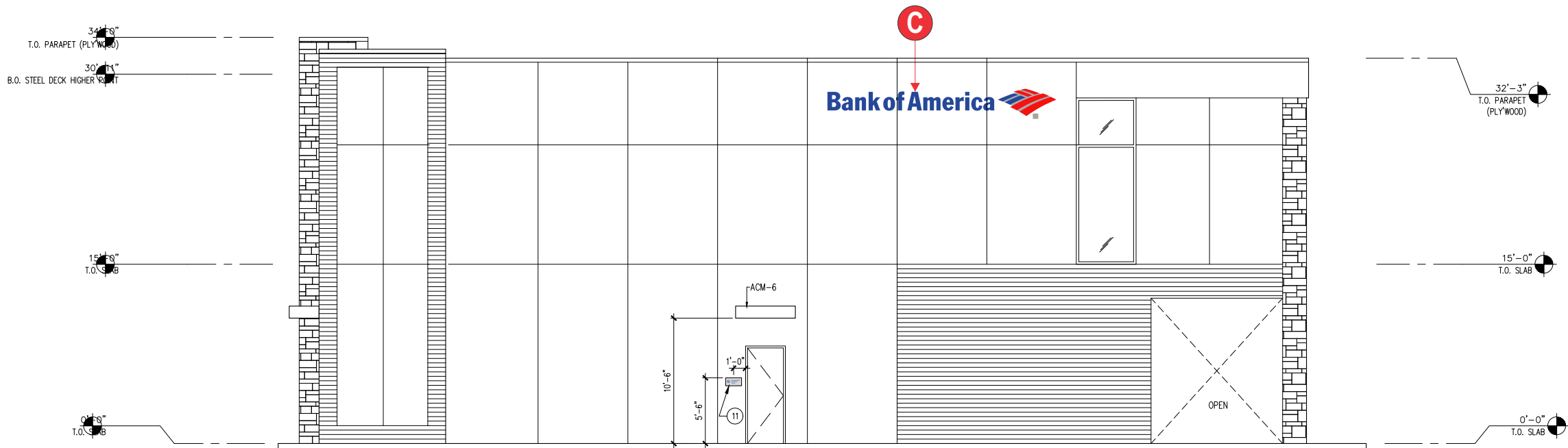
Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:

CID203495

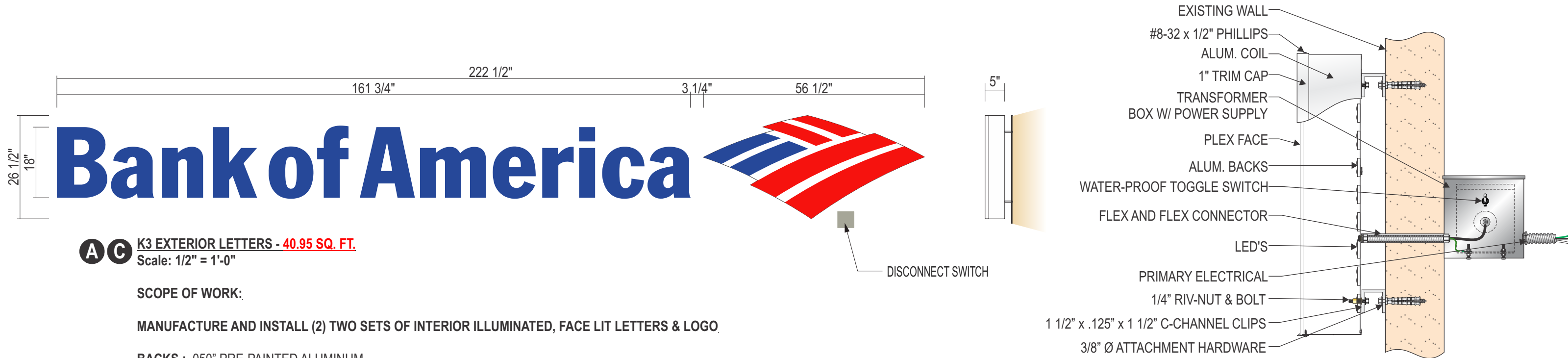
Sheet: 3 of 12



SIDE ELEVATION
Scale: 3/32" = 1'-0"



BACK ELEVATION
Scale: 3/32" = 1'-0"



CIRCUIT LOAD
@ 120V = 0.2 AMPS

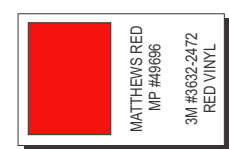
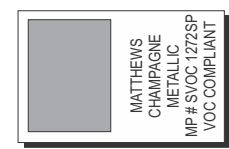
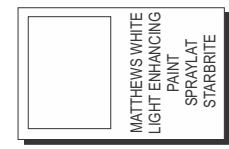
SECTION DETAIL @ CHANNEL LETTERS:
SCALE 1 1/2" = 1'-0"

A C K3 EXTERIOR LETTERS - 40.95 SQ. FT.
Scale: 1/2" = 1'-0"

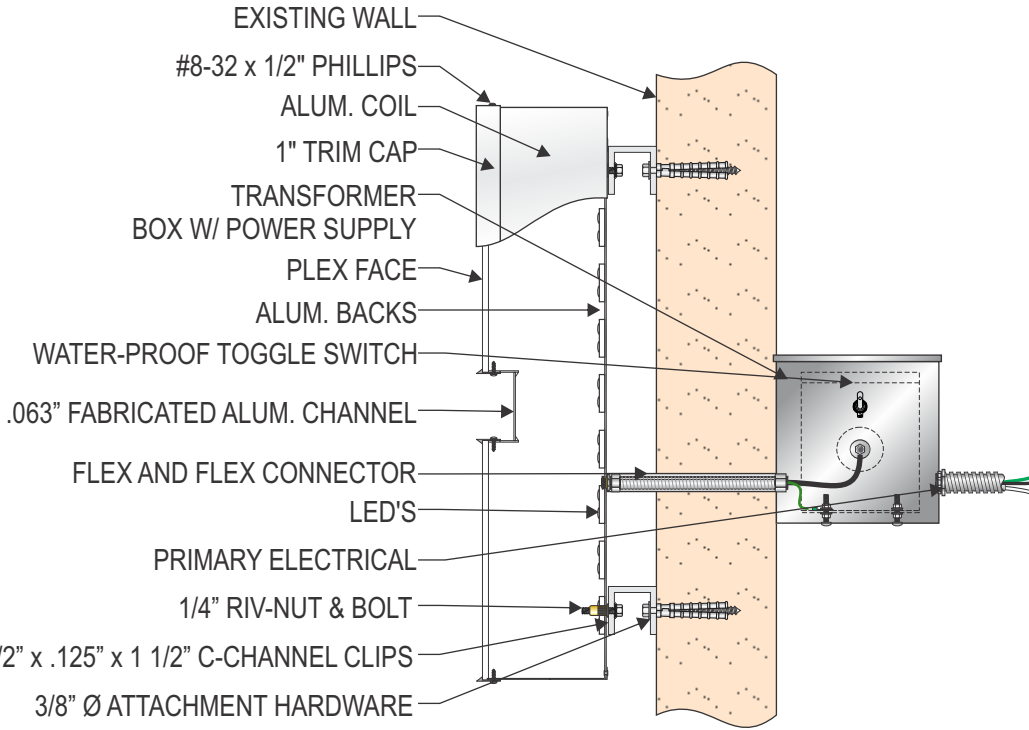
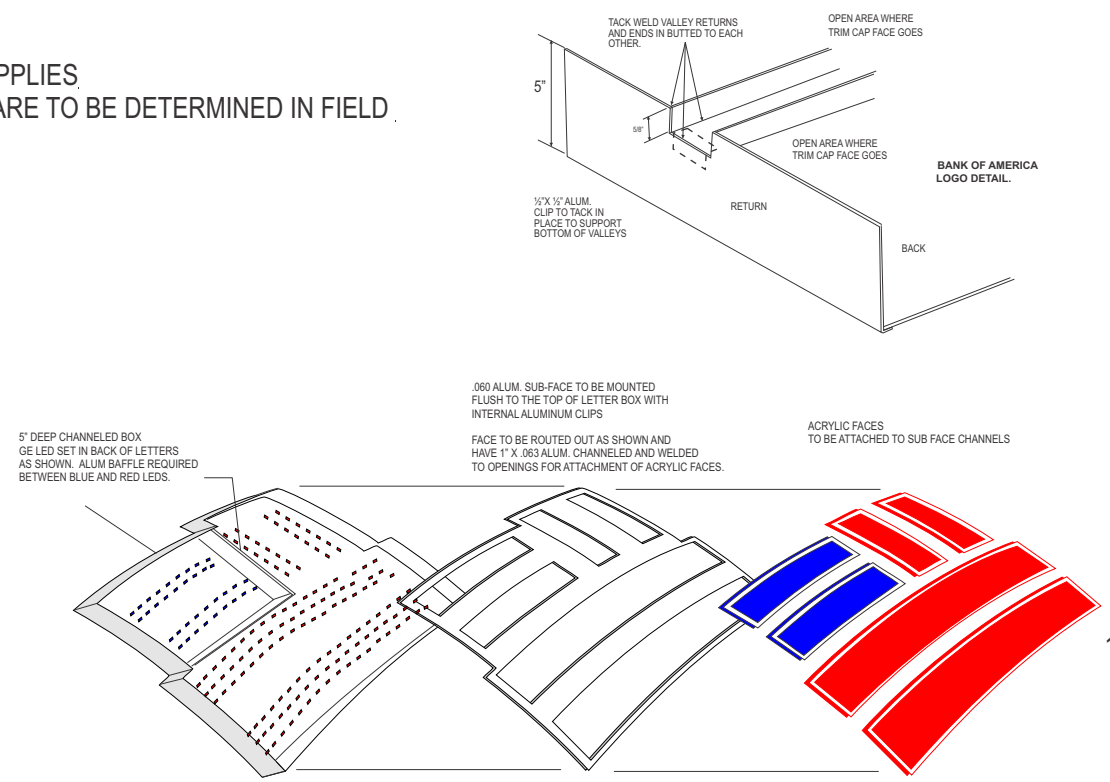
SCOPE OF WORK:

MANUFACTURE AND INSTALL (2) TWO SETS OF INTERIOR ILLUMINATED, FACE LIT LETTERS & LOGO.

- BACKS :** .050" PRE-PAINTED ALUMINUM
- RETURNS :** .050" x 5" DEEP PRE-PAINTED WHITE ALUM. COIL, SATIN FINISH
- TRIM CAP:** 1" JEWELITE
- BLUE LETTERS/LOGO SECTIONS:** #6112A INTENSE BLUE
- RED LOGO SECTIONS:** #78246 RED
- FACES :** .150" #2447 DIFFUSER WHITE PLEX W/ 1ST SURFACE VINYL (SEE DETAIL)
- PAINT:** RECESSED FACES OF LOGO TO BE PAINTED DARK GRAY VINYL
- LETTERS & LOGO :** 3M 3632-8222 BLUE VINYL
- LOGO :** 3632-2472 RED VINYL
- ILLUMINATION :** GE LED'S AS REQUIRED & REMOTE POWER SUPPLIES
- ATTACHMENT :** CLIP MOUNT TO EXISTING WALL. 3/8" Ø HARDWARE TO BE DETERMINED IN FIELD PER WALL CONDITIONS.



FASTENER SCHEDULE		
	3/8" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
	3/8" DIA. THREADED ROD & BEARING PLATES	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	3/8" DIA. THREADED ROD	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	3/8" RED HEAD L.D.T. (LARGE DIAMETER TAPCON)	FOR USE WITH CONCRETE BLOCK, BRICK OR CONCRETE, EMBED A MIN OF 2 1/2"
	3/8" DIA. HILTI HIT ROD WITH Hy150 MAX ADHESIVE	FOR USE WITH CONCRETE, EMBED A MIN. OF 2"
	3/8" DIA. HILTI HIT ROD WITH Hy20 ADHESIVE	FOR USE WITH MASONRY AND BRICK EMBED A MIN. OF 3 3/8"
	3/8" DIA. HILTI HIT ROD WITH Hy20 ADHESIVE	FOR USE WITH CONCRETE BLOCK, EMBED A MIN. OF 2"
	3/8" DIA. HILTI HLC SLEEVE ANCHOR	FOR USE WITH CONCRETE, MASONRY AND BRICK EMBED A MIN. OF 3 3/8"



SECTION DETAIL @ LOGO:
SCALE 1 1/2" = 1'-0"



B D ML-LIF-16-W-AL BLUE CHANNEL LETTERS - 35.1 SQ. FT.
SCALE: 1/2" = 1'-0"

SCOPE OF WORK:

MANUFACTURE AND INSTALL (2) TWO CHANNEL LETTER SETS

NOTES:

1. SYMBOL FACE TO BE WHITE TRANSLUCENT ACRYLIC #1328. FIRST SURFACE DECORATE OUTLINE OF BULL WITH 3M FILM BLUE. USE ARTWORK PROVIDED BY DESIGNER.
2. SYMBOL FACE TO BE WHITE TRANSLUCENT ACRYLIC #1328. FIRST SURFACE DECORATE OUTLINE OF BULL WITH 3M FILM BLUE. SECOND SURFACE DECORATE WHITE AREAS OF 'BULL' WITH 3M #3635-10 WHITE DIFFUSER FILM FOR USE WITH BLUE LETTERS ONLY. USE ARTWORK PROVIDED BY DESIGNER.
3. LETTER FACE TO BE WHITE TRANSLUCENT ACRYLIC #1328. USE ARTWORK PROVIDED BY DESIGNER.
4. LETTER FACE TO BE WHITE TRANSLUCENT ACRYLIC #2441. FIRST SURFACE DECORATE WITH 3M FILM BLUE. USE ARTWORK PROVIDED BY DESIGNER.
5. 1" JEWELITE TRIM CAP #6112A INTENSE BLUE. USE ON BLUE LETTERS AND 'BULL'.
6. NOT USED.
7. 1" JEWELITE TRIM CAP WHITE. USE ON WHITE LETTERS.
8. NOT USED.
9. Ø50" ALUM. RETURNS. PAINT FINISH ALL EXPOSED EXTERIOR SURFACES BLUE. SATIN FINISH. PAINT ALL INTERIOR SURFACES WITH SPRAY-LAT STARBRITE WHITE LIGHT ENHANCEMENT PAINT OR APPROVED EQUAL.
10. Ø63" ALUM. BACKS. PAINT FINISH EXTERIOR BLUE. SATIN FINISH. PAINT INTERIOR SURFACES WITH SPRAY-LAT STARBRITE WHITE LIGHT ENHANCEMENT PAINT OR APPROVED EQUAL. STAPLE TO LETTER RETURNS WITH STAINLESS STEEL STAPLES AS REQ'D.
11. Ø50" ALUM. RETURNS. PAINT FINISH ALL EXTERIOR SURFACES SILVER. SATIN FINISH. PAINT INTERIOR SURFACES WITH SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT OR APPROVED EQ.
12. Ø63" ALUM. BACKS. PAINT FINISH EXTERIOR SILVER. SATIN FINISH. PAINT INTERIOR SURFACES WITH SPRAY-LAT STARBRITE WHITE LIGHT ENHANCEMENT PAINT OR APPROVED EQUAL. STAPLE TO LETTER RETURNS WITH STAINLESS STEEL STAPLES AS REQ'D.
13. NOT USED.
14. NOT USED.
15. SECURE TO EXISTING WALL AS REQUIRED USING MOUNTING CLIPS. DO NOT EXCEED 1 1/2" STAND OFF.
16. 1/2" SEAL TITE FLEXIBLE CONDUIT AS NEEDED TO MEET ALL U.L. REQUIREMENTS FOR WET LOCATIONS.
17. J-BOX AS REQ'D.
18. 1/2" RIGID OR FLEXIBLE CONDUIT AS REQ'D. TO MEET U.L. SPECIFICATIONS FOR APPLICATION.
19. TRANSFORMER TO BE SPECIFIED BY ELECTRLED AS REQ'D

20. NOT USED.
21. PROVIDE WEEP HOLES WITH LIGHT SCREENS AS REQ'D. TO MEET U.L. SPECIFICATIONS.
22. LED LIGHTING SYSTEM TO BE GE WHITE UNITS PER GE SPECIFICATIONS.

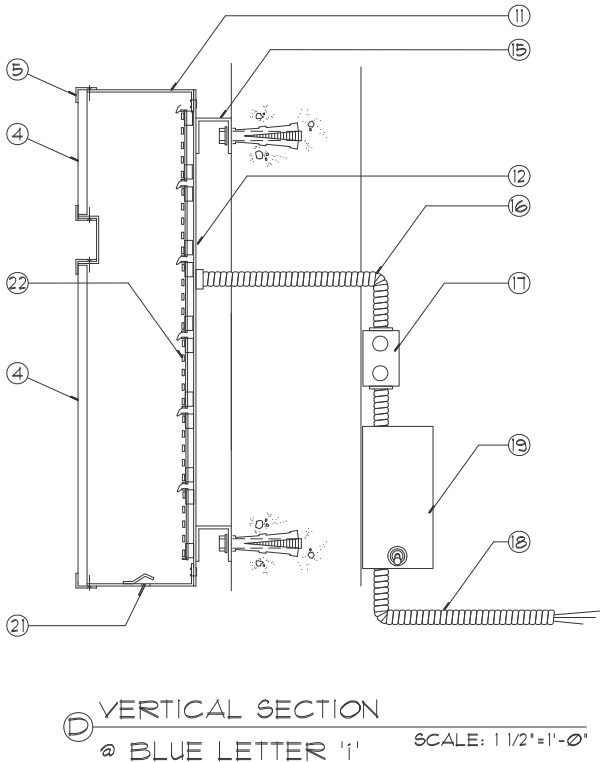
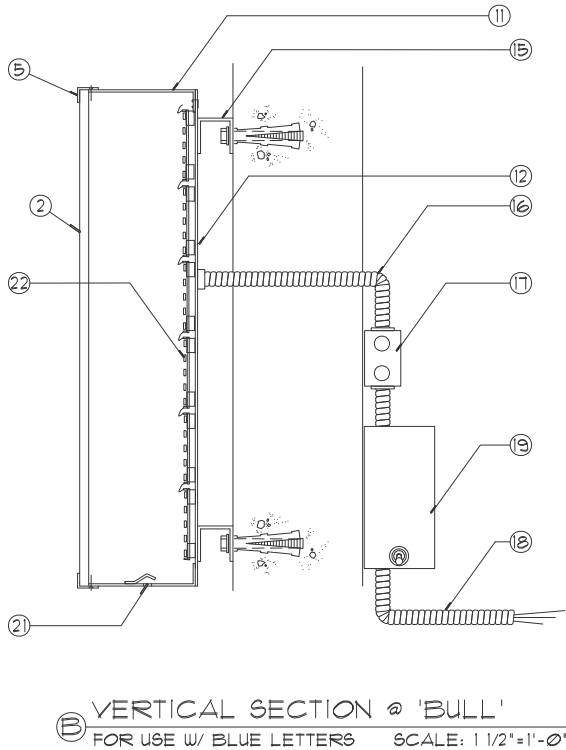
GENERAL NOTES:

- ALL PAINT IS TO BE A TWO PART ACRYLIC POLY-URETHANE BY EITHER AKZO NOBEL OR MATTHEWS PAINT COMPANY. - ALL FILM TO BE 3M OR APPROVED EQUAL UNLESS OTHERWISE STATED.
- ALL STEEL COMPONENTS TO BE PRIMED WITH ZINC INHIBITOR (DEVCON-Z OR APPROVED EQUAL).
- ALL STRUCTURAL COMPONENTS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER TO MEET OR EXCEED ALL LOCAL, STATE, OR NATIONAL CODES.
- ALL ELECTRICAL WORK MUST MEET OR EXCEED U.L. REQUIREMENTS.
- ALL EXPOSED FASTENERS TO BE PAINTED TO MATCH ADJACENT AREA.
- ELECTRICAL LEADS FROM THE BACK OF CABINETS TO BE A MINIMUM OF 6'-0" LONG AS MEASURED FROM THE BACK OF THE LETTER.

MATERIAL SPECIFICATIONS:

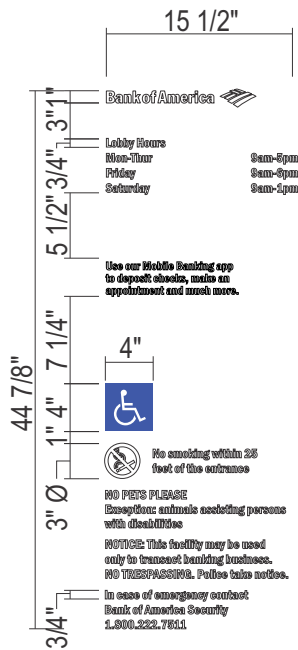
- PAINT:
- DARK CHARCOAL GRAY METALLIC TO BE MATTHEWS MP 24054 OR AKZO NOBEL 351-H3 SATIN FINISH.
 - MEDIUM GRAY (FMS 425) TO BE MATTHEWS MP-58411, SATIN FINISH MAY USE AKZO NOBEL OR APPROVED EQUAL.
 - SILVER PAINT TO BE MATTHEWS PAINT 412428P BRUSHED ALUM.
 - RED PAINT TO BE MATTHEWS MP49696, AKZO NOBEL #20129
 - BLUE PAINT TO BE MATTHEWS MP #21610R 6596
 - WHITE PAINT TO BE MATTHEWS MP21668R 6595
 - BRONZE PAINT TO BE MATTHEWS #MP41316PR34141
- VINYLS:
- GOLD VINYL TO BE 3M 3630-141 GOLD NUGGET
 - SILVER FILM TO BE 3M 3630- 121 SILVER
 - HANDICAP BLUE TO BE 3M 1125-41 INTENSE BLUE
 - BLUE VINYL TO BE 3M 3632-8222
 - DUAL COLOR BLUE - 3M #DN00251
 - RED VINYL TO BE 3M 3632-2412
 - WHITE VINYL TO BE 3M 3632-20
 - DUAL COLOR BRONZE TO MATCH BRONZE PAINT
 - WHITE DIFFUSER - 3M #3635-10

- REFLECTIVE FILMS:
- 3M REFLECTIVE 680-64 GOLD
 - 3M REFLECTIVE 680-10 WHITE
 - 3M REFLECTIVE 680-16 LIGHT BLUE (HANDICAP SIGNS)



Channel Letter Sections

Approvals:



17796

G NEW VINYL GRAPHICS
Scale : 1 1/2" = 1'-0"

SCOPE OF WORK:

MANUFACTURE AND INSTALL (1) ONE NEW SET OF VINYL GRAPHICS

GENERAL SPECIFICATIONS:

VINYL : 3M #7725-10 WHITE OPAQUE VINYL
APPLICATION : APPLY FIRST SURFACE

E DOOR VINYL GRAPHICS
Scale: 3/4" = 1'-0"

SCOPE OF WORK:

MANUFACTURE AND INSTALL (1) ONE NEW SET OF VINYL GRAPHICS

GENERAL SPECIFICATIONS:

VINYL : 3M #7725-10 WHITE OPAQUE
DIGITAL PRINT : BLUE TO MATCH PM 7462C
APPLICATION : APPLY FIRST SURFACE

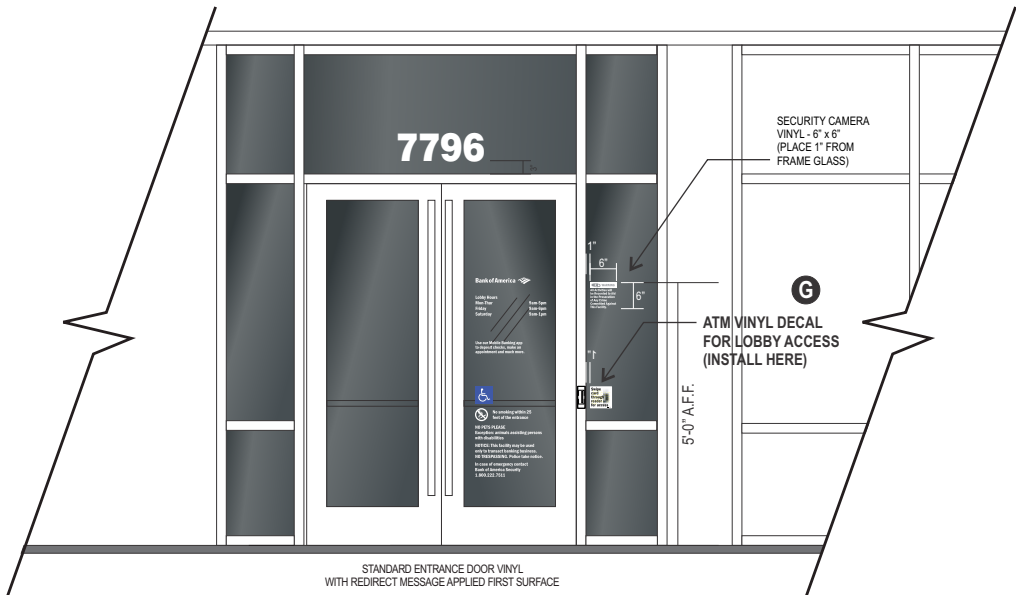
F NEW VINYL GRAPHICS
Scale: 3" = 1'-0"

SCOPE OF WORK:

MANUFACTURE AND INSTALL (1) ONE NEW SET OF VINYL GRAPHICS

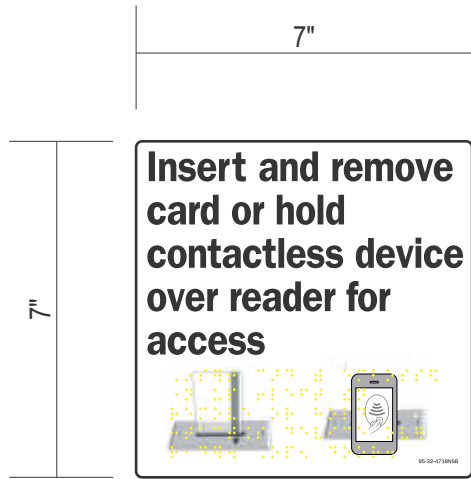
GENERAL SPECIFICATIONS:

VINYL : 3M #7725-10 WHITE OPAQUE VINYL
APPLICATION : APPLY FIRST SURFACE



INSTALLATION DETAIL

SCALE : NTS

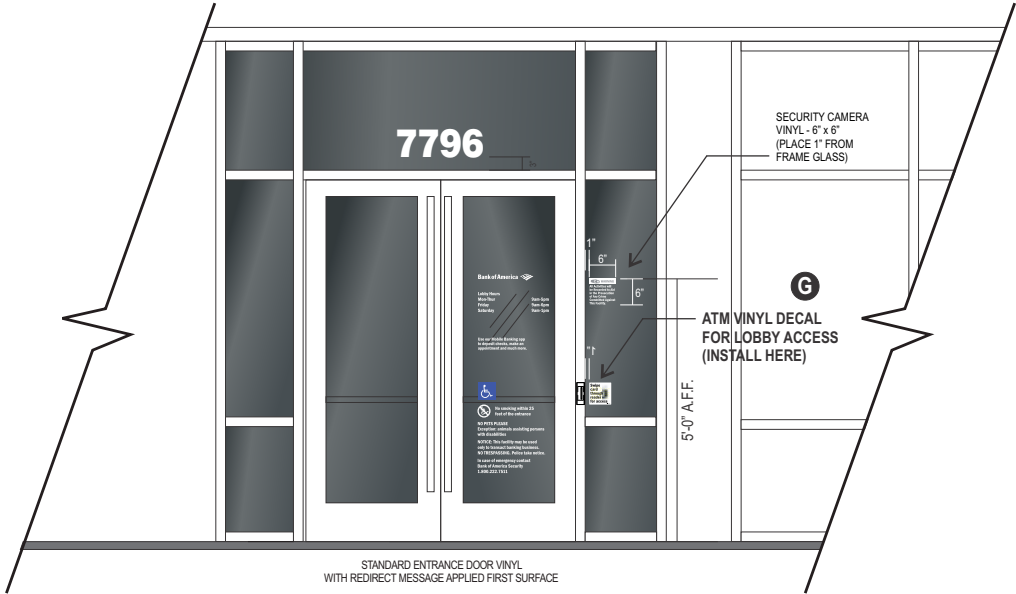
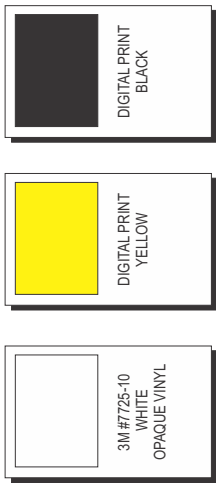


H **NEW DIP VINYL GRAPHICS**
Scale: 3" = 1'-0"

SUPPLIED BY OTHERS & SHOWN FOR PLACEMENT ONLY

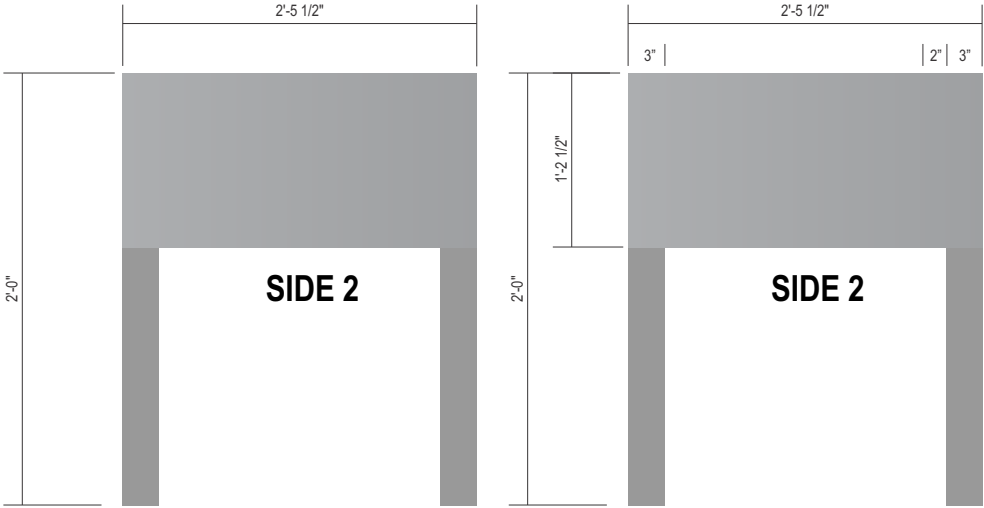
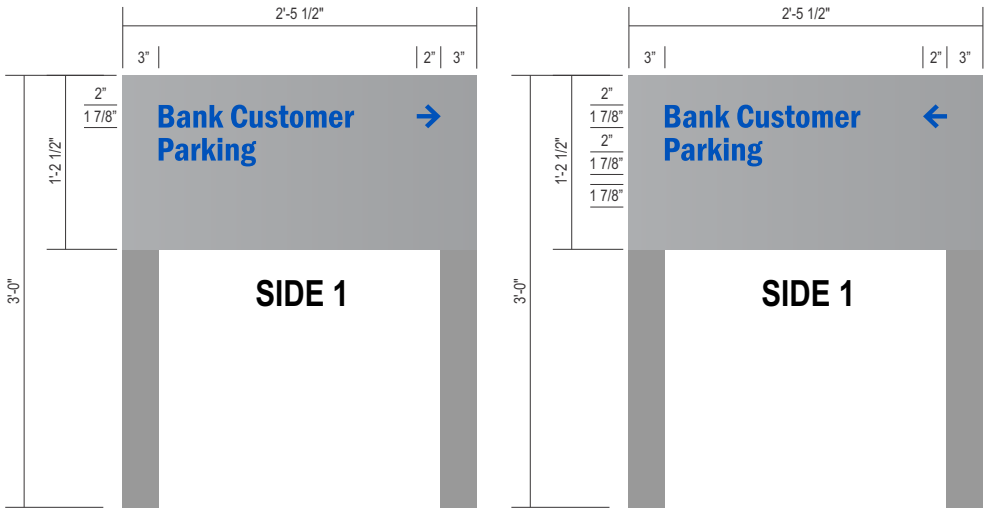


1" Place 1" from frame on wall.
EXAMPLE OF DECAL INSTALLED ON STANDARD GLASS
(OR OTHER SMOOTH SURFACE) APPLICATION



INSTALLATION DETAIL **SCALE : NTS**

NOTE: ALL COPY AND ARROW DIRECTIONS TO BE CONFIRMED



I QTY: 1

J QTY: 1

NEW P1 DIRECTIONAL SIGN

Scale: 3/4" = 1'-0"

SCOPE OF WORK:

MANUFACTURE AND INSTALL (4) FOUR P1 DIRECTIONAL SIGNS

PAINT :

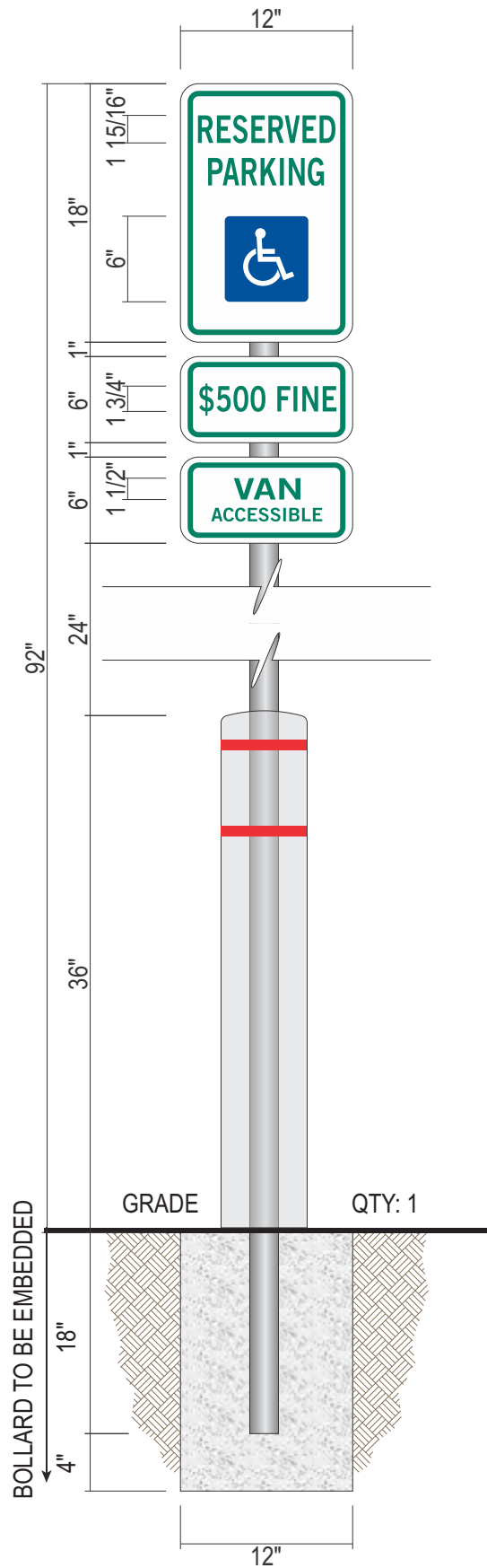
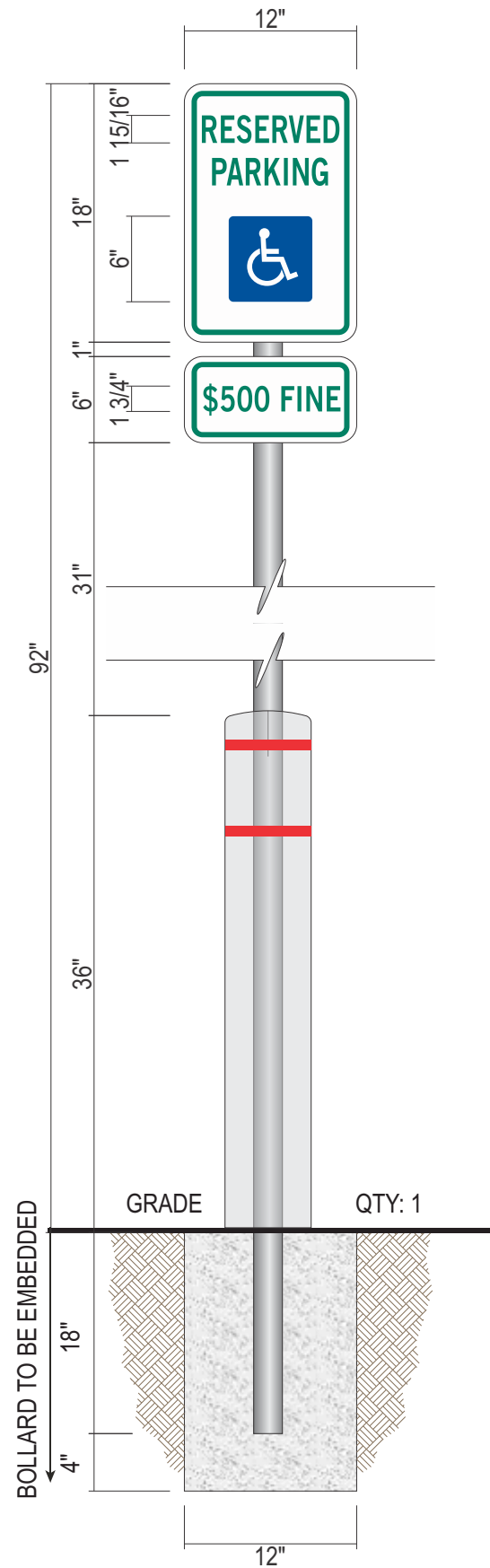
DIRECTIONAL SIGN: PAINT CHAMPAGNE METALLIC, SEMI-GLOSS FINISHED

VINYL : 3M VINYL #3632-8222 BLUE LAMINATED OVER WHITE VINYL

ATTACHMENT : DIRECT BURY POLE AND PAINT HEADS TO MATCH.



Approvals:



L NEW NON-ILLUMINATED IDENTIFICATION SIGN
Scale: 1" = 1'-0"

SCOPE OF WORK:

MANUFACTURE AND INSTALL NON-ILLUM. IDENTIFICATION SIGN.

POST: DIRECT BURIAL 2" DIAMETER POLE WITH INNOPLAST BOLLARD COVER ON ABOVE GRADE.

PANEL : .080" ALUM. FACE WITH FIRST SURFACE VINYL GRAPHICS.

PAINT : PAINT POST AND PANEL CHAMPAGNE METALLIC, SEMI-GLOSS FINISH
INNOPLAST BOLLARD COVER, YELLOW WITH RED STRIPES.

VINYL : DIGITAL PRINT ON 3M #280-10 REFLECTIVE WHITE.

ATTACHMENT : DIRECT BURY POLE AND ATTACH TO POLE WITH 1/4 - 20 X 2" HEAD HEX MACHINE BOLT WITH FLAT WASHERS AND NUTS. PAINT HEADS TO MATCH.



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waltonsignage.com
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Client: **BANK OF AMERICA**
Address: **7796 MONTGOMERY RD.**
City/State: **CINCINNATI, OH 45236**
Sales: **BP** Designer: **RH**
Date: **10.17.18** PM **EN**

This is an original drawing created by Walton. It is submitted for your personal use, however, it shall at all times remain the property of Walton. It may be used in connection with the project being planned for you by Walton, but not otherwise. You are not authorized to show these drawings to anyone outside your organization, nor is it to be reproduced, used, copied or exhibited in any fashion.

Revision:

R1) 10/24/18 Add letters on side elevation - RH
R2) 11/01/18 Revise letter placement / vinyl - RH
R3) 11/05/18 Revise ML letters - RH
R4) 11/06/18 Revise site plan - RH
R5) 11/09/18 Revise elevations - RH

Signs will be manufactured with 120 or 277 Volts A/C. All Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

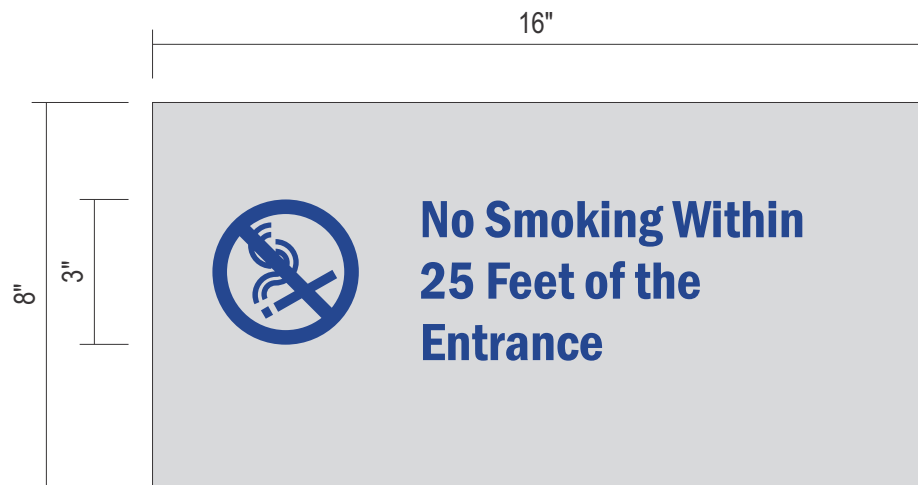
PAGE SIZE: 11" x 17"

Approvals:

Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:

CID203495

Sheet: 10 of 12



M NO SMOKING BULLET SIGN
Scale: 3" = 1'-0"

SCOPE OF WORK:

MANUFACTURE AND INSTALL (2) TWO S/F WALL SIGN

GENERAL SPECIFICATIONS:

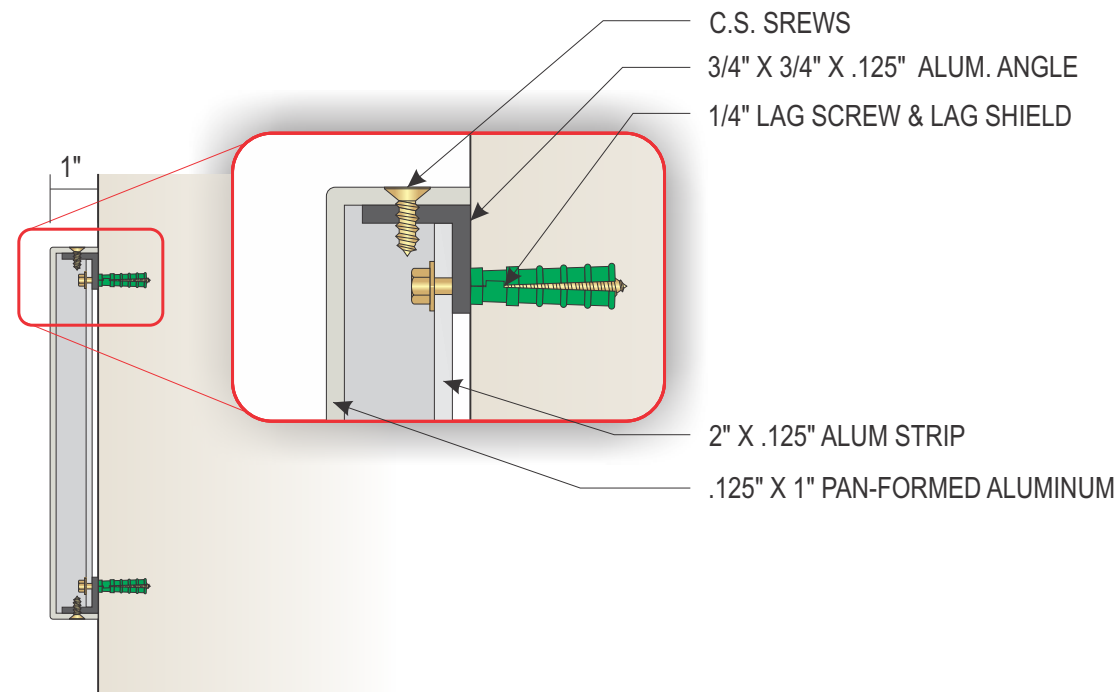
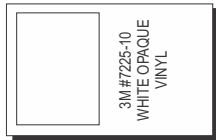
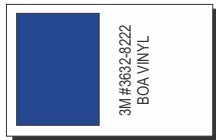
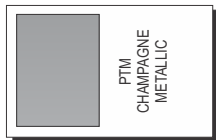
MATERIAL : .125" BREAK FORMED ALUMINUM

BACKGROUND COLOR : TO MATCH CHAMPAGNE METALLIC, SEMI-GLOSS FINISH

LETTERING : 3M 3632-8222 BLUE VINYL LAMINATE OVER 3M 7725-10 WHITE OPAQUE

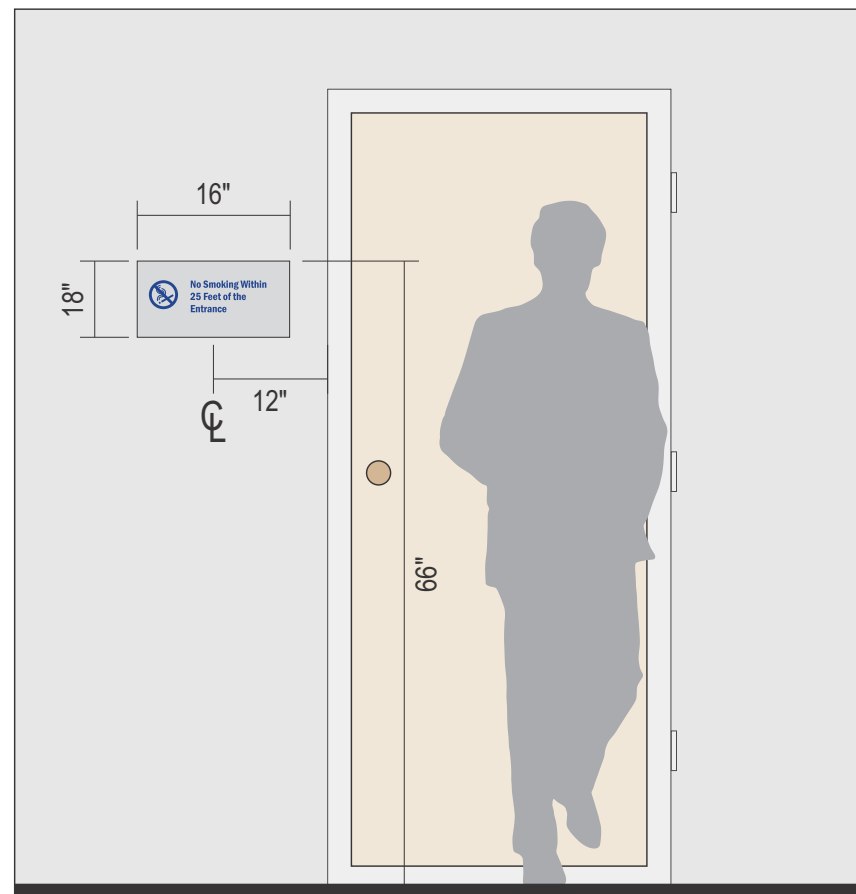
ATTACHMENT : 1/4" MOUNTING HARDWARE

NOTE : SIGN TO BE INSTALLED ON DOORKNOB SIDE



END VIEW

SCALE 3" = 1'-0"



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Revision:	
R1)	10/24/18 Add letters on side elevation - RH
R2)	11/01/18 Revise letter placement / vinyl - RH
R3)	11/05/18 Revise ML letters - RH
R4)	11/06/18 Revise site plan - RH
R5)	11/09/18 Revise elevations - RH

Signs will be manufactured with 120 or 277 Volts A/C. All Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

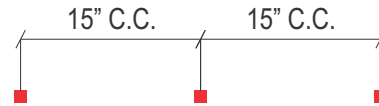
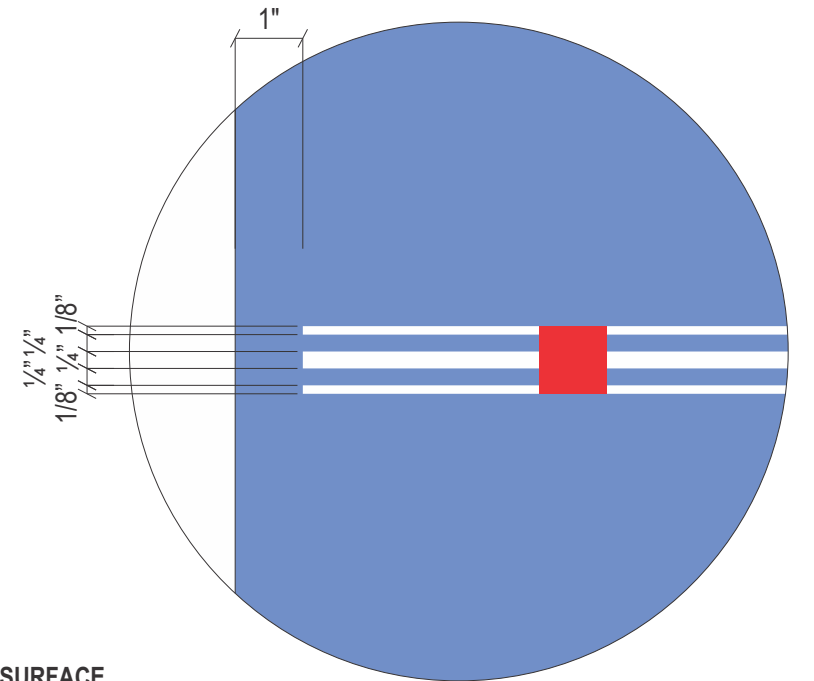
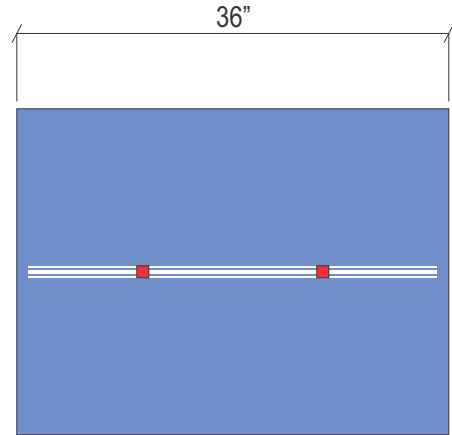
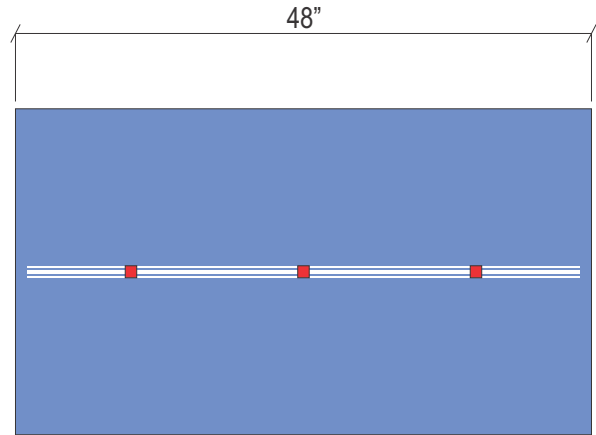
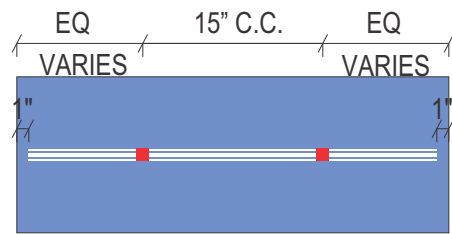
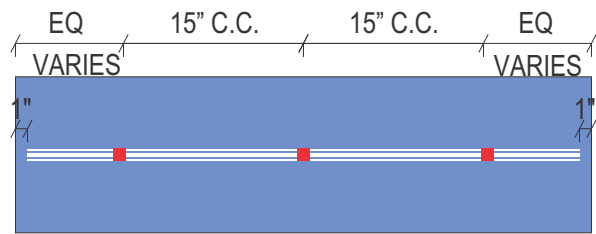
PAGE SIZE: 11" x 17"

Approvals:

Sales:	Date:
P.M.:	Date:
Design:	Date:
Client:	Date:

CID203495

Sheet: 11 of 12



1" X 1" RED SQUARE:
ORACAL SERIES 8300(032)
TRANSPARENT VINYL. APPLIED TO 2ND SURFACE

DO NOT APPLY THE RED TO THE DUSTED CRYSTAL VINYL IN SHOP. THE INSTALLER WILL APPLY INFIELD.

DISTRACTION STRIPES: 3M DUSTED CRYSTAL VINYL
APPLIED TO 2ND SURFACE CUT BETWEEN RED SQUARE.

SQUARE QUANTITIES:
GLASS PANEL WIDTH UP TO 24" SHALL RECEIVE ONE(1) SQUARE
GLASS PANEL WIDTH FROM 24" TO 38" SHALL RECEIVE TWO(2) SQUARE.
GLASS PANEL WIDTH FROM 38" AND WIDER SHALL RECEIVE THREE(3) SQUARE

N **DISTRACTION VINYL (APPROX.: 40'-0")**
Scale: 3/4" = 1'-0"

SCOPE OF WORK:

MANUFACTURE AND INSTALL DISTRACTION VINYL GRAPHICS

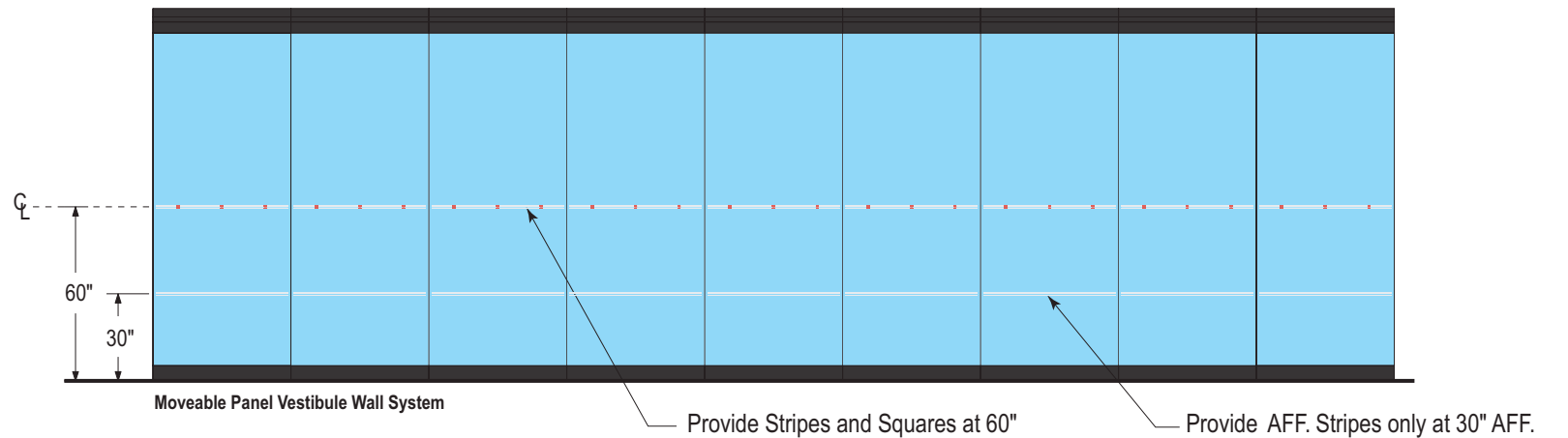
VINYL : 3M #7725-314 DUSTED CRYSTAL
RED VINYL ORACLE 48" SERIES 8300-032

APPLICATION : APPLY 2ND SURFACE

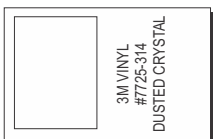
SQUARE QUANTITIES:

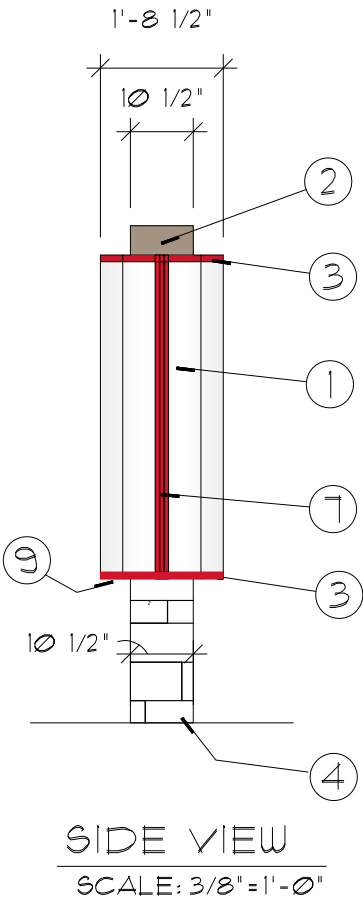
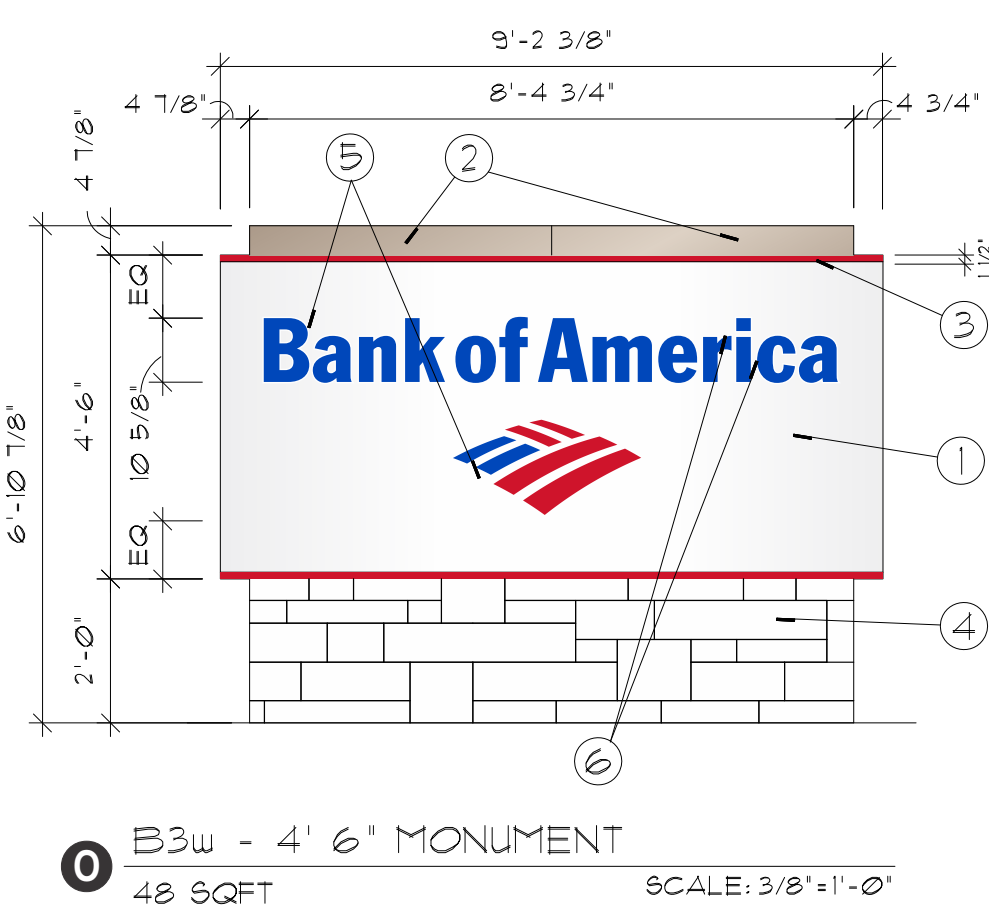
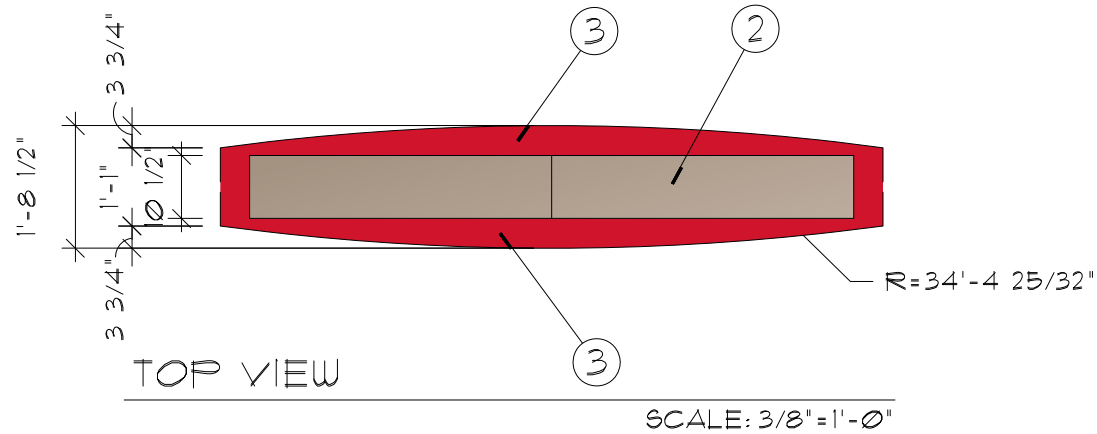
GLASS PANEL WIDTHS UP TO 24" SHALL RECEIVE ONE (1) SQUARE.
GLASS PANEL WIDTHS FROM 24" TO 38" SHALL RECEIVE TWO (2) SQUARES.
GLASS PANEL WIDTHS FROM 38" AND WIDER SHALL RECEIVE THREE (3) SQUARES.

NOTE:
APPLIED TO GLASS WALL PANELS THAT FORM THE ATM VESTIBULE.



TYPICAL ELEVATION - NOT SITE SPECIFIC **SCALE : 3/16" = 1'**





FOR EMBOSS & DECORATE
DETAILS SEE
SHEET 17.01

NOTE:

- SIGN FACE TO BE .111" CLEAR ACRYLIC (ACRYSTEEL OR APPROVED EQUAL). FIRST SURFACE DECORATE WITH 3M 3632-20 WHITE CUT TO THE FULL CHARACTER SIZE INCLUDING OUTLINE BASED ON 022B. OVERLAY WITH 3M BOA BLUE (RED AT FLAGSCAPE) FILM CUT TO THE DIMENSIONED CAP HEIGHT. CENTER IN WHITE BACKGROUND FOR EVEN OUTLINE AT PERIMETER. SECOND SURFACE DECORATE WITH 3M 3632-20 WHITE FILM. WEED OUT LETTERS/FLAGSCAPE TO EXTENT OF OUTLINE. OVERLAY ENTIRE SECOND SURFACE WITH 3M DIFFUSER FILM #3635-10 WHITE. HEAT BEND RETURNS AT ENDS OF FACE. DO NOT THERMOFORM (IT WILL STRETCH THE FILM AND CAUSE DISCOLORATION ON THE RETURN.) CHEM. WELD CONTINUOUS HANGING BAR AT PERIMETER. SEE DETAIL.
- .125" BREAKFORMED ALUM. CLADDING/ACCESSPANEL. FORM AS SHOWN. PAINT FINISH CHAMPAGNE METALLIC. SEMI-GLOSS FINISH. ATTACH WITH COUNTERSUNK FLATHEAD STAINLESS STEEL SCREWS. PAINT HEADS TO MATCH.
- 3/16" ALUM. RETAINER. FORM AS SHOWN. PAINT FINISH RED. SATIN FINISH. ATTACH TO CABINET RETURNS WITH COUNTERSUNK FLATHEAD STAINLESS STEEL SCREWS. PAINT HEADS TO MATCH.
- MASONRY TO MATCH BUILDING CONSTRUCTION
- "BANK OF AMERICA" AND PORTION OF FLAGSCAPE TO BE FIRST SURFACE DECORATED WITH 3M FILM BOA BLUE. SEE DETAIL FOR DECORATION AND BEVEL SIZING.
- PORTIONS OF FLAGSCAPE TO FIRST SURFACE DECORATED WITH 3M FILM BOA RED. SEE DETAIL FOR DECORATION AND BEVEL SIZING.
- .125" BREAK FORMED ALUMINUM REVEAL/RETAINER. FORM AS SHOWN. SEE DETAIL. PAINT FINISH RED SATIN FINISH. TWO HALVES CLAMSHELL. WELD ONE HALF TO VERTICAL TUBE BEHIND. MECHANICALLY ATTACH SECOND HALF WITH COUNTERSUNK FLATHEAD STAINLESS STEEL SCREWS. PAINT HEADS TO MATCH.
- PLACE PRODUCT LABEL HERE. SEE SHEET PL-1 FOR DETAILS.
- RECESSED UL. APPROVED EMERGENCY CUTOFF SWITCH.

GENERAL NOTES:

- FINAL SIZING FOR ALL STRUCTURAL MEMBERS (i.e. COLUMNS, MATCH PLATES, CONNECTION BOLTS, ANCHOR BOLTS, FOUNDATIONS AND REINFORCEMENT) TO BE SIZED BY A LICENSED ENGINEER TO MEET OR EXCEED ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES.
- FABRICATOR IS RESPONSIBLE FOR THE PREVENTION OF ANY LIGHT LEAKS.
- LEADS FROM BACK OF ILLUMINATED LETTERS / SYMBOL SHALL BE A MINIMUM OF 6'-0" IN LENGTH MEASURED FROM THE BACK SURFACE OF THE LETTERS / SYMBOL.
- PAINT INTERIORS OF ALL CABINETS WITH SPRAY-LAT STAR BRITE WHITE LIGHT ENHANCEMENT PAINT.
- ALL PAINT TO BE TWO-PART POLYURETHANE.
- COLOR FILM TO BE MATCHED IN 3M #3632 SERIES FILM.

MATERIAL SPECIFICATIONS

- PAINT
- CHAMPAGNE METALLIC - EITHER AKZO-NOBEL #BNK 250, MATTHEWS #MP 21314, MATTHEWS #BOA61945P, OR MATTHEWS #SVOC12125P (VOC COMPLIANT)
 - RED - MATTHEWS RED #MP 49696, AKZO-NOBEL #SIGN 20129
 - BLUE - MATTHEWS BLUE #MP 21610R 6595,
 - WHITE - MATTHEWS WHITE #MP 21668R 6595.

- FILM
- BLUE - 3M # 3632-8222
 - RED - 3M # 3632-2472
 - DIFFUSER - 3M # 3635-10
 - WHITE - 3M# 3632-20

- ACRYLIC
- CLEAR ACRYSTEEL *OR APPROVED EQUAL

- FILM DECORATION CHANNEL LETTERS ONLY, ACRYSTEEL #2441 OR APPROVED EQ.
- WHITE TRANSLUCENT-ACRYSTEEL #1328 OR APPROVED EQ.