

**Bank of America** 

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# KENWOOD GROUND UP PUD II PLAN SET

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IEG Project Number: 10-786.00

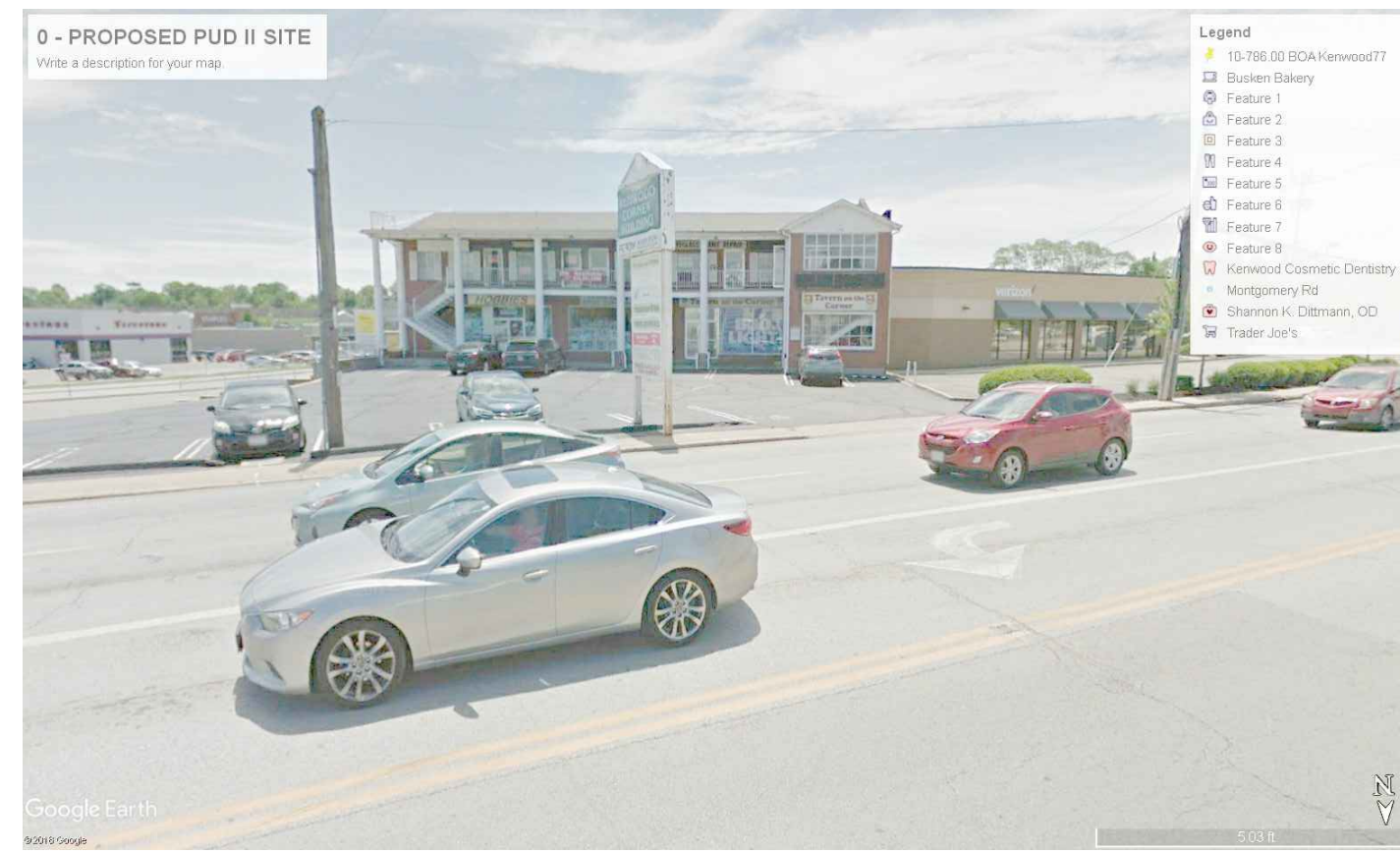
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**DRAWING INDEX**

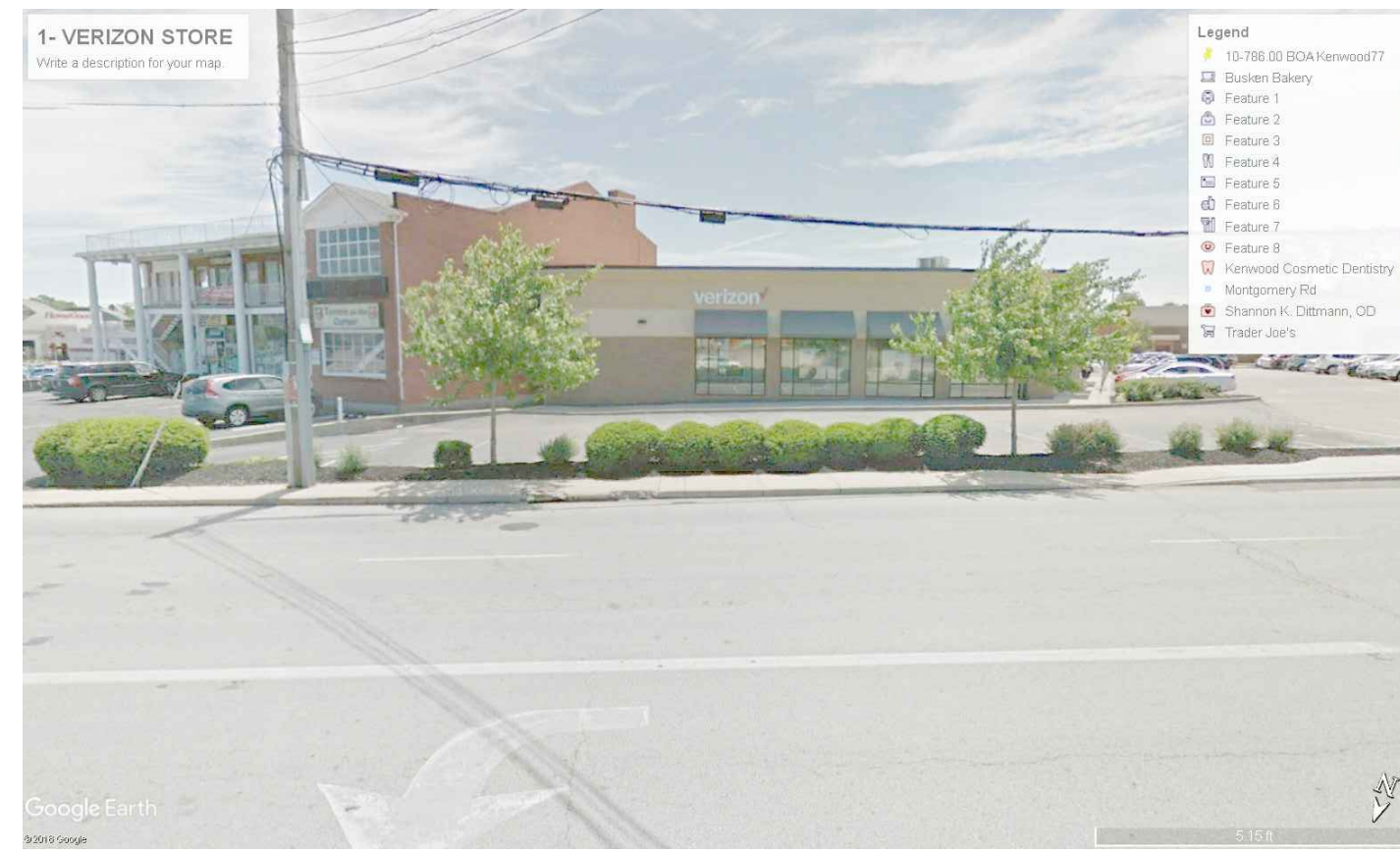
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SITE SIGNAGE, COLORED LANDSCAPING PLANS AND COLORED BUILDING RENDERINGS PROVIDED SEPARATELY



0 - PROPOSED PUD II SITE



1 - VERIZON STORE



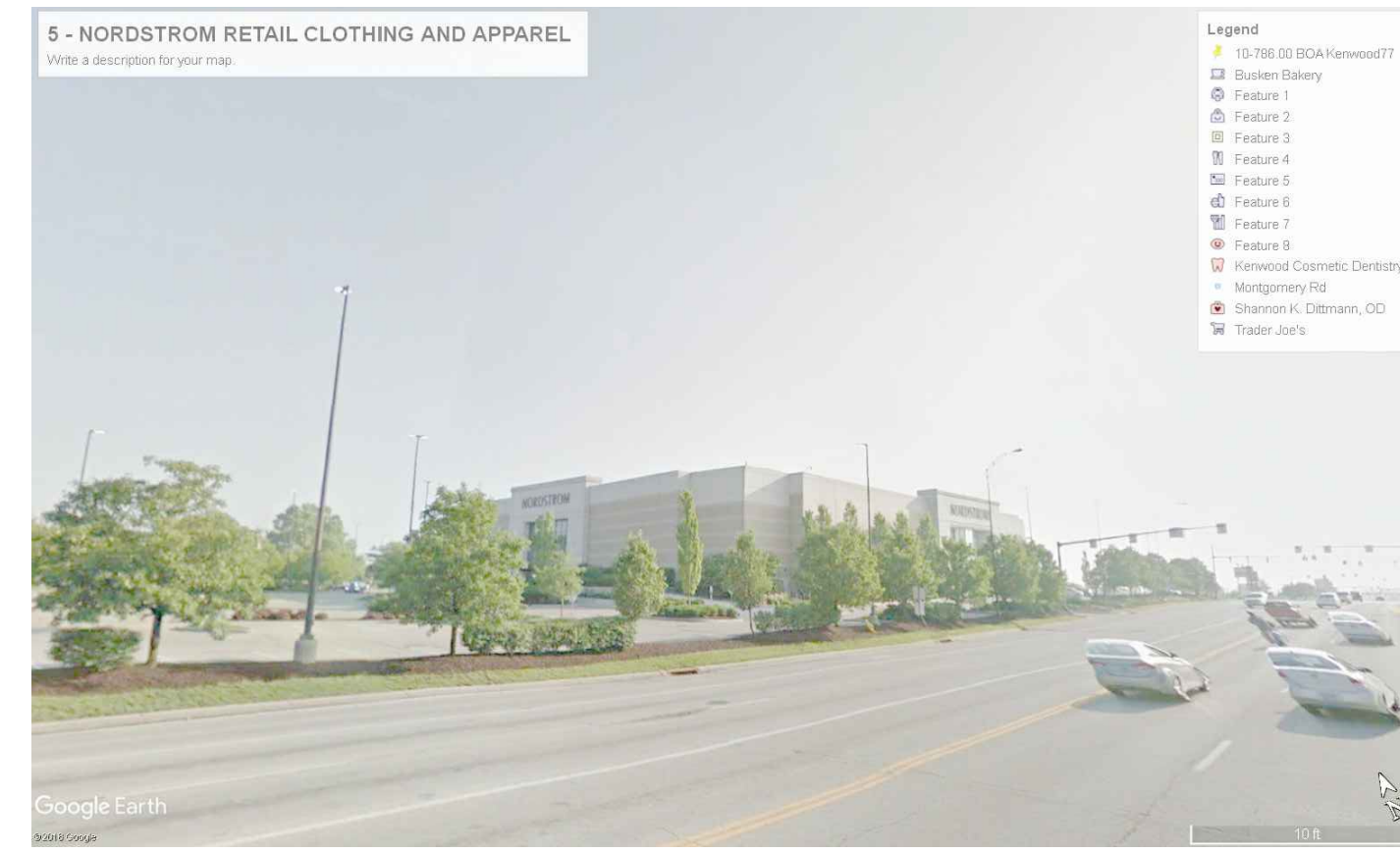
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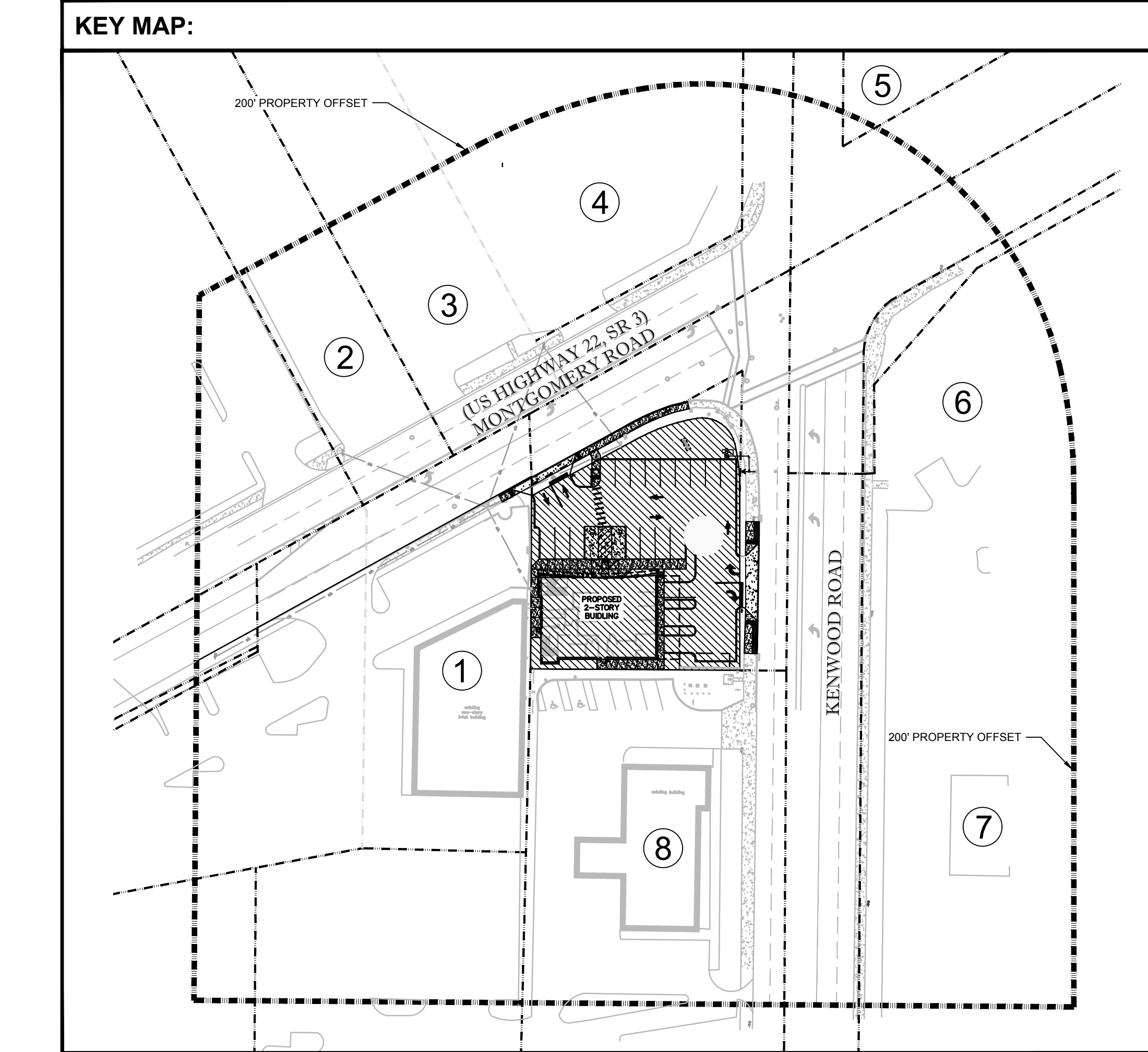
5 - NORDSTORM RETAIL CLOTHING AND APPAREL



6 - JARED JEWELERS

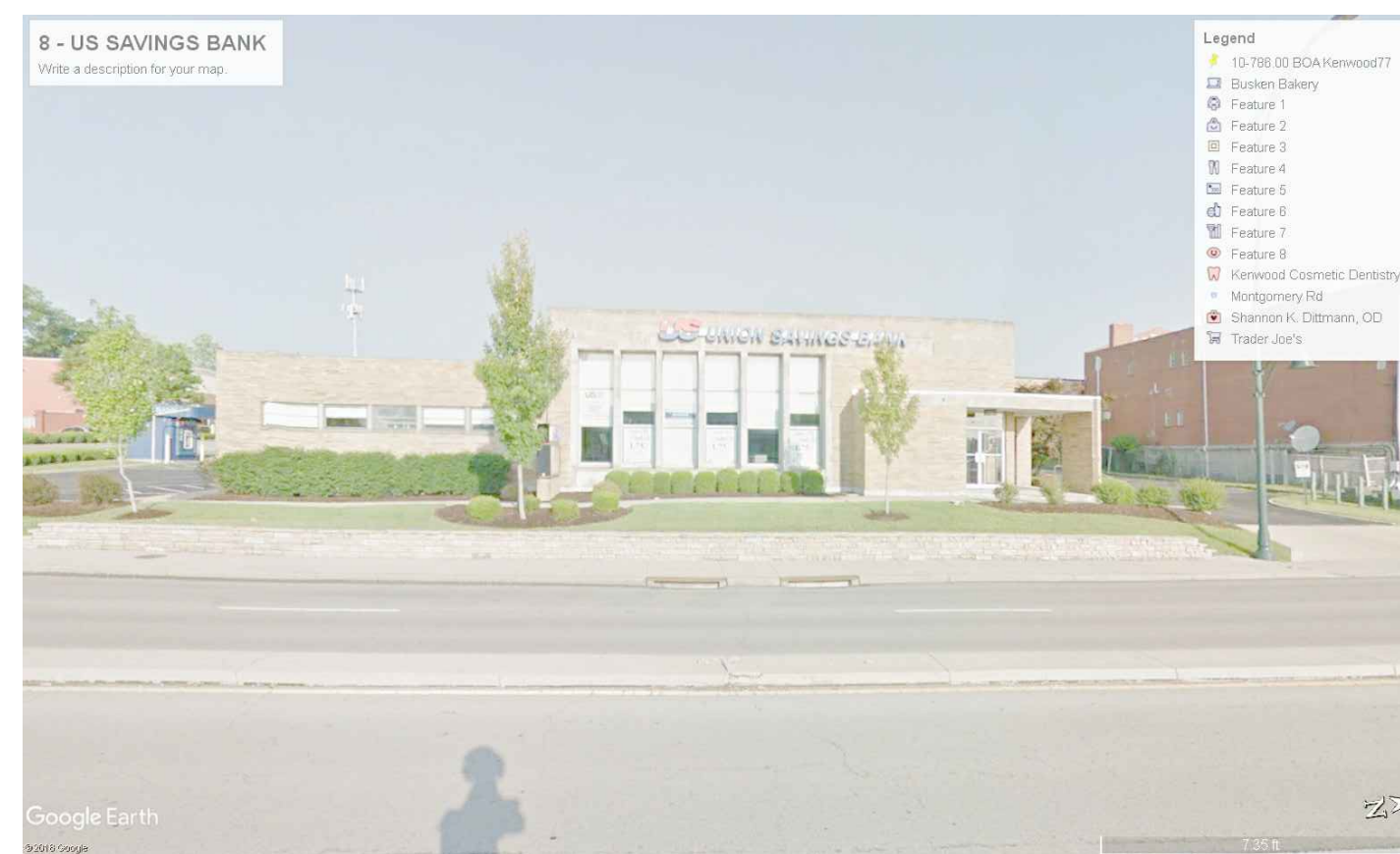


7 - FIRESTONE AUTOMOTIVE SERVICES

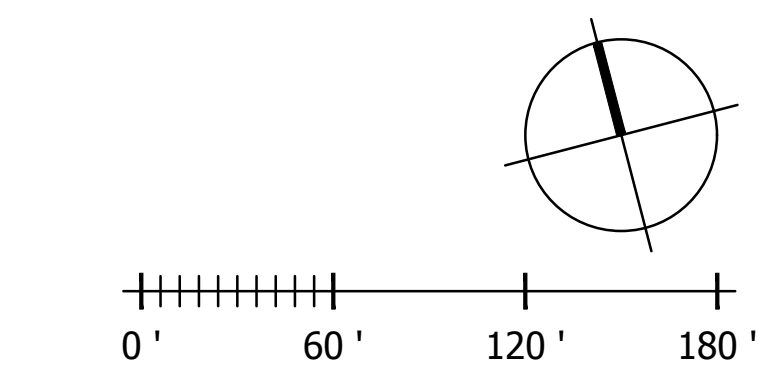


**SITE DATA AND KEY MAP**

<p><b>PROPERTY 0:</b> OWNER NAME: STAGGE RUTH M TR PARCEL NUMBER: 600-0211-0336-00 EXISTING ZONING: E-RETAIL BUSINESS PROPOSED ZONING: PUD-2 (PLANNED UNIT DEVELOPMENT) PROPOSED USE: PROPOSED PUD II SITE, BANK/FINANCIAL SITE AREA (DEED): 28,466 SF OR 0.65 AC *SITE AREA (NOT WITHIN R/W): 16,608 SF OR 0.38 AC *IMPERVIOUS SURFACE RATIO: 0.5 MAXIMUM *IMPERVIOUS SURFACE RATIO: .02 PROVIDED</p>	<p><b>PROPERTY 4:</b> OWNER NAME: MONTGOMERY CINCINNATI LLC PARCEL NUMBER: 600-0211-0103 EXISTING ZONING: E-RETAIL BUSINESS, BP GAS STATION ZONING: PUD-2 (PLANNED UNIT DEVELOPMENT)</p>
<p><b>PROPERTY 1:</b> OWNER NAME: MONTGOMERY ROAD 7783 LLC PARCEL NUMBER: 600-0211-0645 EXISTING ZONING: E-RETAIL BUSINESS, VERIZON STORE ZONING: PUD-2 (PLANNED UNIT DEVELOPMENT)</p>	<p><b>PROPERTY 5:</b> OWNER NAME: KENWOOD MALL LLC PARCEL NUMBER: 600-0080-0285 EXISTING ZONING: E-RETAIL BUSINESS, NORDSTORM RETAIL-CLOTHING AND APPAREL ZONING: PUD-2 (PLANNED UNIT DEVELOPMENT)</p>
<p><b>PROPERTY 2:</b> OWNER NAME: SYCAMORE TOWNSHIP HAMILTON COUNTY PARCEL NUMBER: 600-0211-0028 EXISTING ZONING: E-RETAIL BUSINESS, PEP BOYS AUTO PARTS AND SERVICE ZONING: PUD-2 (PLANNED UNIT DEVELOPMENT)</p>	<p><b>PROPERTY 6:</b> OWNER NAME: BRE DDR CROCODILE SYCAMOR PLAZA LLC PARCEL NUMBER: 600-0080-0748 EXISTING ZONING: E-RETAIL BUSINESS, JARED JEWELERS ZONING: PUD-2 (PLANNED UNIT DEVELOPMENT)</p>
<p><b>PROPERTY 3:</b> OWNER NAME: MONTGOMERY CINCINNATI LLC PARCEL NUMBER: 600-0211-0148 EXISTING ZONING: E-RETAIL BUSINESS, TERRY BRYAN TRAINING CENTER ZONING: PUD-2 (PLANNED UNIT DEVELOPMENT)</p>	<p><b>PROPERTY 7:</b> OWNER NAME: BRE DDR CROCODILE SYCAMOR PLAZA LLC PARCEL NUMBER: 600-0080-0748 EXISTING ZONING: E-RETAIL BUSINESS, FIRESTONE AUTOMOTIVE SERVICES ZONING: PUD-2 (PLANNED UNIT DEVELOPMENT)</p>
<p><b>PROPERTY 8:</b> OWNER NAME: UNION SAVINGS BANK PARCEL NUMBER: 600-0211-0333 EXISTING ZONING: E-RETAIL BUSINESS, UNION SAVINGS BANK ZONING: PUD-2 (PLANNED UNIT DEVELOPMENT)</p>	



8 - US SAVINGS BANK



SERIAL NUMBER:  
NRSP VERSION:  
BULLETIN:

**ADC**  
ARCHITECTURAL DESIGN COLLABORATIVE

ARCHITECTURAL DESIGN COLLABORATIVE, INC.  
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OH Certificate of Auth. No.: 2430423

Issue	Client Date & Issue Description	By	Check
01	11/16/2018 CLIENT REVIEW	RO	DL

Issue	Jurisdiction Date & Issue Description	By	Check
01	11/16/2018 PUD ISSUANCE	RO	DL

Seal/Signature

Project Name

Prototype Layout

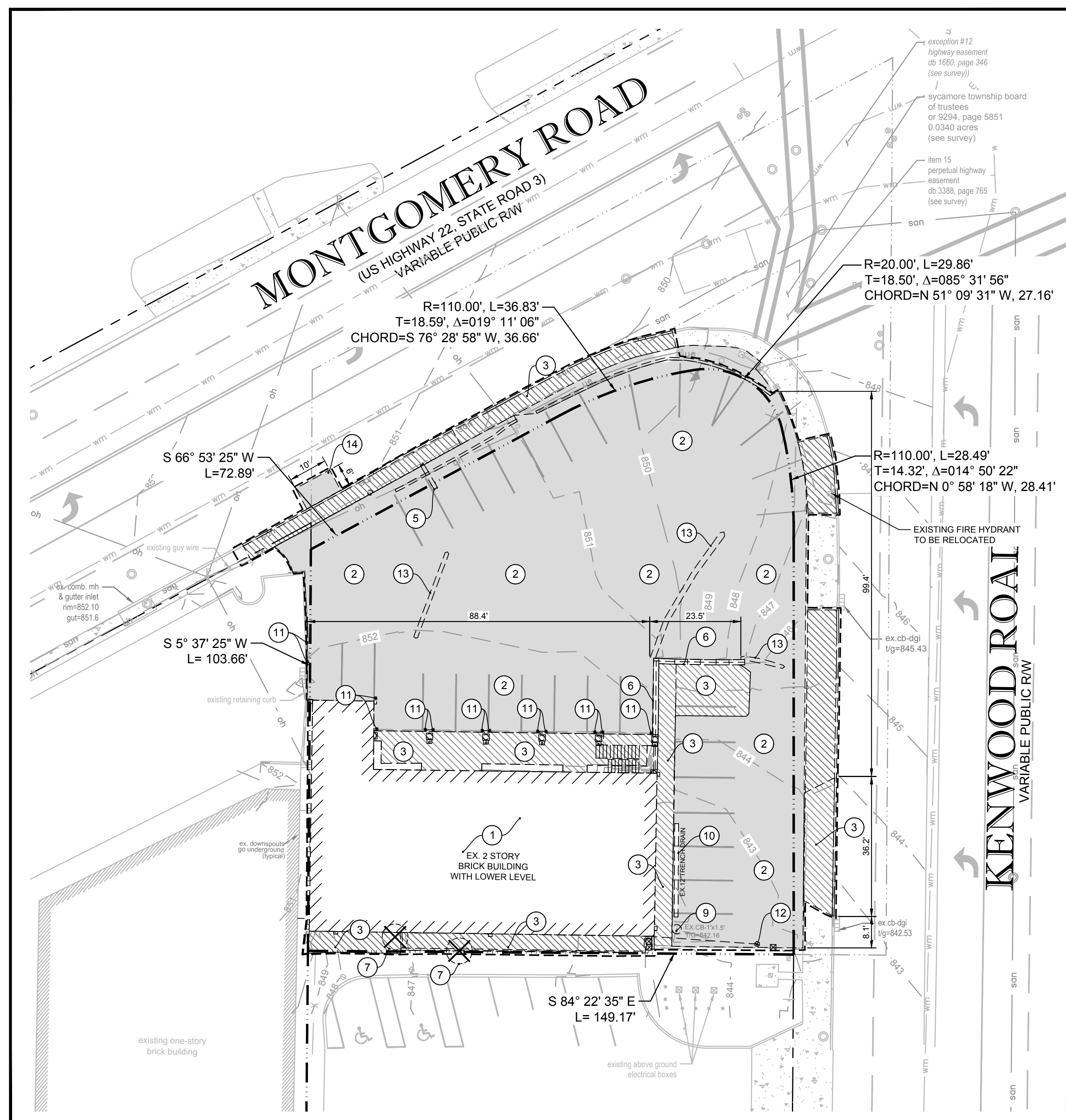
Project Number  
10-786.00

CAD File Name

Description  
OVERALL ZONING & USE PLAN

Scale  
AS INDICATED

**Z00.01**



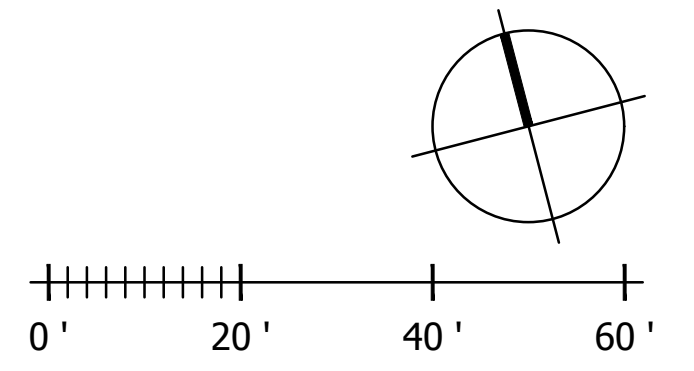
**EXISTING CONDITIONS DEMOLITION PLAN**  
SCALE  
1" = 20'

**KEYED NOTES:**

- 1 EXISTING BUILDING TO BE DEMOLISHED AND ASSOCIATED UTILITIES TO BE REMOVED. GC TO COORDINATE WITH LOCAL UTILITY PROVIDERS.
- 2 ASPHALT PAVEMENT TO BE SAWCUT AND REMOVED. BASE AND SUB-BASE TO BE REMOVED AND FILLED WITH CLEAN FILL IN AREAS OF PROPOSED LANDSCAPE. SEE SITE PLAN, SHEET C02.01.
- 3 CONCRETE SIDEWALK AND RAMPS TO BE SAWCUT AND REMOVED.
- 4 EXISTING CURB TO BE SAWCUT AND REMOVED.
- 5 EXISTING ID SIGN TO BE REMOVED.
- 6 EXISTING RETAINING WALL TO BE REMOVED.
- 7 EXISTING TREE TO BE REMOVED
- 8 NOT USED
- 9 EXISTING CATCH BASIN TO REMAIN.
- 10 EXISTING TRENCH DRAIN TO BE REMOVED.
- 11 EXISTING BOLLARDS TO BE REMOVED (TYPICAL OF 13).
- 12 EXISTING ID SIGN AND ASSOCIATED POWER LINES TO BE REMOVED.
- 13 EXISTING SPEED BUMPS TO BE REMOVED.
- 14 SEE MOT DETAIL, SHEET C06.05

**LEGEND:**

- PROPERTY LINE
- [Pattern] EXISTING CONCRETE TO REMAIN
- [Pattern] REMOVE EXISTING ASPHALT
- [Pattern] REMOVE EXISTING CONCRETE
- EXISTING TO BE REMOVED
- LIMITS OF DEMOLITION
- EXISTING TO REMAIN
- gas --- EXISTING GAS
- san --- EXISTING SANITARY
- tel --- EXISTING TELEPHONE
- ue --- EXISTING UNDERGROUND ELECTRIC
- oh --- EXISTING OVERHEAD LINE
- wm --- EXISTING WATER
- 844 --- EXISTING CONTOUR
- [Symbol] EXISTING TREE TO BE REMOVED



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Seal/Signature \_\_\_\_\_

Project Name \_\_\_\_\_

Prototype Layout \_\_\_\_\_

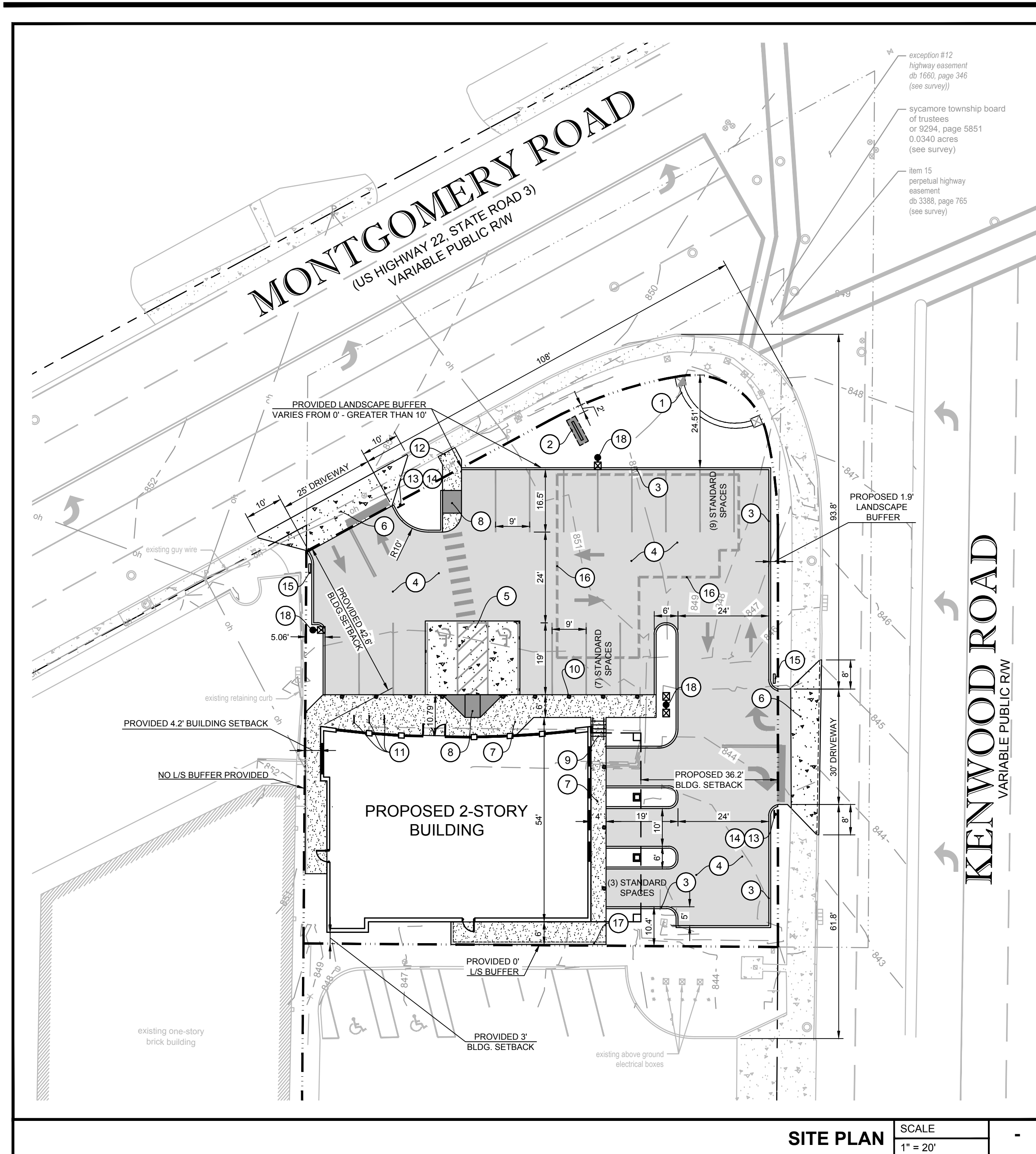
Project Number  
10-786.00

CAD File Name \_\_\_\_\_

Description  
EXISTING CONDITIONS / DEMOLITION PLAN

Scale  
AS INDICATED

**Z00.02**

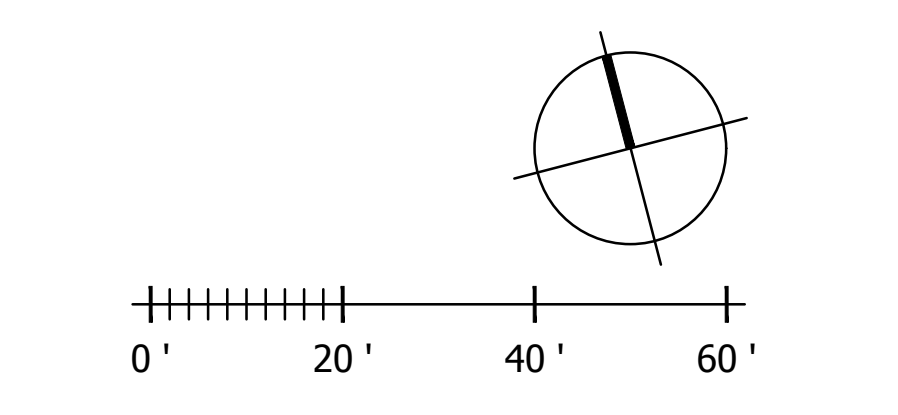
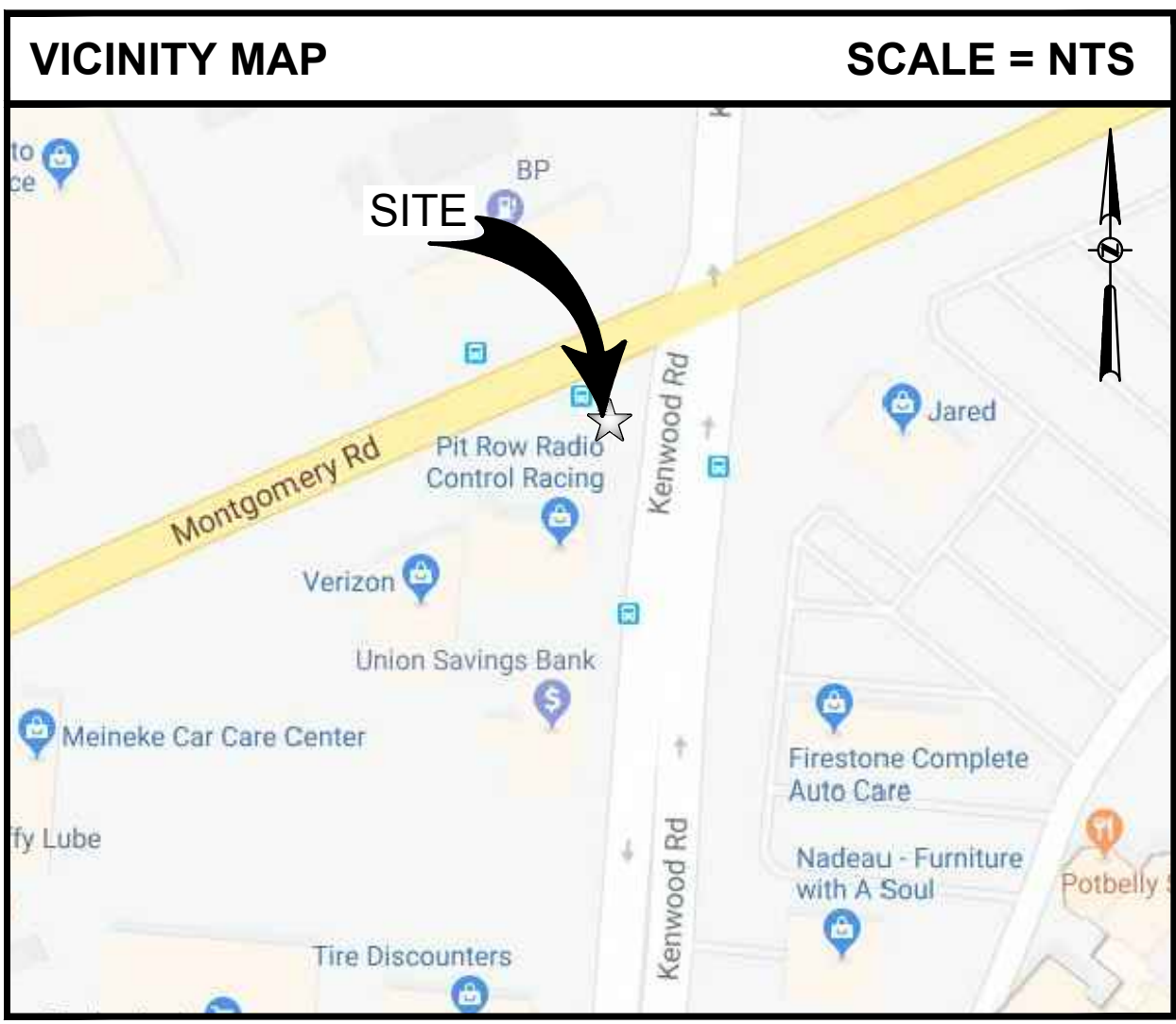


**SITE PLAN** SCALE 1" = 20'

- NOTES**
- LOT SHALL INCLUDE A MINIMUM 10' X 10' LANDSCAPE AREA, AS SHOWN ON THE LANDSCAPE PLAN.
  - ONE FREE STANDING MONUMENT SIGN SHALL BE PERMITTED UNDER THE PLAN.
  - IN ADDITION TO THE MONUMENT SIGN PERMITTED ABOVE, A SEPARATE MEMORIAL PLAQUE MAY BE INSTALLED ON THE LOT. THE MEMORIAL PLAQUE MAY BE MOUNTED ON A FREESTANDING PEDESTAL OR ON THE STONE WALL SHOWN ON THE LANDSCAPE PLAN.
  - EACH OF THE PERMITTED USES ARE ALLOWED ON THE LOT, AS SHOWN, WITHOUT REGARD TO ANY CONFLICTING IMPERVIOUS SURFACE RATIO, FLOOR AREA RATIO, PARKING, LANDSCAPING OR OTHER REQUIREMENTS.
  - THE LOT IS PART OF A LARGER COMMERCIAL DISTRICT BENEFITED BY OFFSITE PUBLIC PARKING AREAS, SIDEWALKS, PEDESTRIAN CROSSWALKS/PATHWAYS AND OTHER FEATURES REDUCING THE NEED FOR ONSITE PARKING. THE LOT SHALL HAVE THE BENEFIT OF PUBLIC PARKING SERVING THE AREA (INCLUDING, WITHOUT LIMITATION, THE ADJACENT LOT ON MONTGOMERY ROAD). THE PARKING PROVIDED ON THE PLAN SHALL BE SUFFICIENT TO SUPPORT EACH OF THE PERMITTED USES, AND NO OTHER PARKING SHALL BE REQUIRED.
  - A DUMPSTER AND SCREENED ENCLOSURE MAY BE INSTALLED ALONG THE SOUTHERN BOUNDARY OF THE LOT, WITHOUT ADDITIONAL APPROVALS.
  - BY UTILIZING FEMA FLOOD MAP SERVICE CENTER, THIS PROPERTY WAS FOUND TO BE LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL.
  - THE BEARINGS SHOWN ON THIS SURVEY WERE ESTABLISHED BY UTILIZING THE OHIO VIRTUAL REFERENCE SYSTEM (VRS), U.S. STATE PLANE, OHIO SOUTH (3204) ZONE, NAD 1983, GEOID12A. COORDINATES TAKEN TO GROUND AT LATITUDE 39°11'55.27997", LONGITUDE W84°22'50.22252", PROJECT HEIGHT 737.665 WITH A GROUND SCALE FACTOR OF 1.0000940779804.

**LEGEND:**

	PROPOSED ADA RAMP		PROPERTY LINE
	PROPOSED CONCRETE SIDEWALK		SETBACK/BOUNDARY LINE
	PROPOSED CONCRETE DRIVE AREAS		EXISTING CURB
	PROPOSED ASPHALT		PROPOSED CURB
	EXISTING CONCRETE		EXISTING STORM INLET
			EXISTING ELECTRICAL BOX
			EXISTING LIGHT POLE
			EXISTING UTILITY POLE
			EXISTING MANHOLE
			EXISTING VALVE



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**SITE DATA**

SITE ADDRESS: 7796 MONTGOMERY RD CINCINNATI, OH 45236

PARCEL NUMBER: 600-0211-0336-00

SITE AREA (DEED): 28,466 SF OR 0.65 AC

\*SITE AREA (NOT WITHIN R/W): 16,608 SF OR 0.38 AC

**ZONING SUMMARY TABLE**

1. EXISTING ZONING:	E-RETAIL BUSINESS
PROPOSED ZONING:	PUD-II (PLANNED UNIT DEVELOPMENT)
2. PERMITTED USES:	THE PERMITTED USES OF THE LOT ARE ALL USES ALLOWED IN ZONING DISTRICT E UNDER CHAPTER 3-2 OF THE SYCAMORE TOWNSHIP ZONING RESOLUTION (THE "PERMITTED USES") ON THE DATE OF PLAN ADOPTION, INCLUDING, WITHOUT LIMITATION, ALL USES ALLOWED UNDER "RETAIL" IN TABLE 3-2 AND ALL USES ALLOWED UNDER "OFFICE" IN TABLE 3-2.
3. PROPOSED BUILDING AREA:	1ST FL 3,526 SF 2ND FL 4,144 SF 7,670 SF GFA THIS PLAN 8,000 SF GFA MAX ALLOWED
4. PARKING SPACES REQUIRED; PARKING SPACES PROVIDED	<ul style="list-style-type: none"> <li>REQUIRED: 9' X 19' OR 9' X 16.5' ADJACENT TO CURB LANDSCAPE</li> <li>REQUIRED: 1 SPACE PER 400 SF OF NET AREA = 20 SPACES</li> <li>PROVIDED: STANDARD PARKING = 19 SPACES</li> <li>HANDICAP PARKING = 2 SPACE</li> <li>TOTAL PARKING = 21 SPACES*</li> </ul> *SUBJECT TO REDUCTION IF ANY PORTION OF THE LOT IS TAKEN BY EMINENT DOMAIN.
5. IMPERVIOUS SURFACE RATIO	<ul style="list-style-type: none"> <li>ALLOWED: 0.5 MAXIMUM</li> <li>PROPOSED: 0.83</li> </ul>

**BUILDING DATA (KENWOOD/MONTGOMERY ROAD CORRIDOR OVERLAY)**

	REQUIRED	PROPOSED
BUILDING SETBACK (MONTGOMERY RD.)	= 40'	= 42.6'
BUILDING SETBACK (KENWOOD RD.)	= 40'	= 36.2'
BUILDING SETBACK SIDE YARD (WEST)	= 20'	= 4.2'
BUILDING SETBACK REAR (SOUTH)	= 20'	= 3.0'

**LANDSCAPE DATA**

VEHICULAR USE AREA: 22 SF PER ONE (1) PARKING SPACE  
22 SF X 21 SPACES = 462 SF

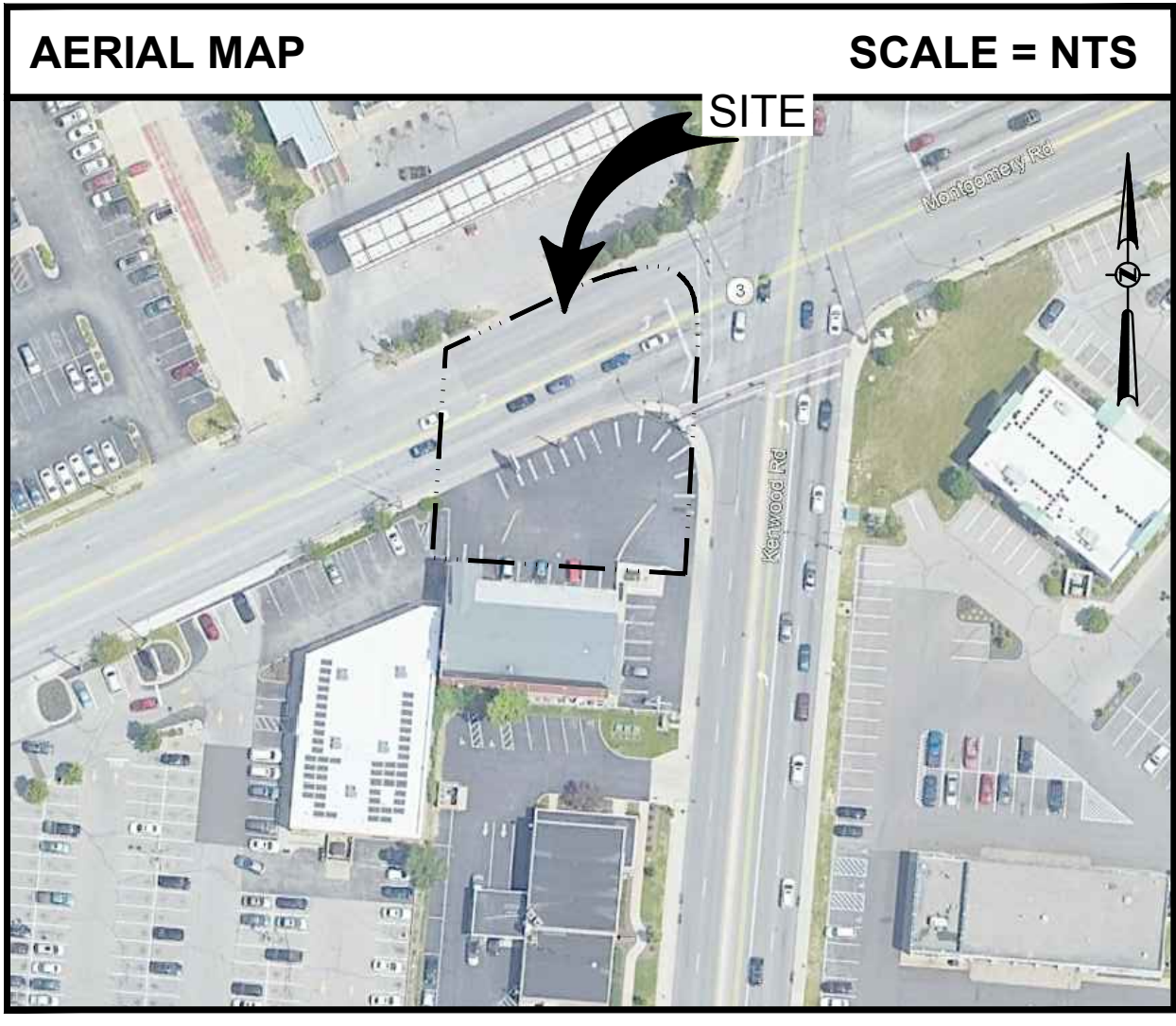
**STREETSCAPE/BOUNDARY BUFFER DATA**

	REQUIRED	PROPOSED
BOUNDARY BUFFER (MONTGOMERY RD.)	= 10'	= VARIES
BOUNDARY BUFFER (KENWOOD RD.)	= 10'	= 1.9' +/-

**SIGNAGE**

FREE STANDING/MONUMENT SIGN:

MAX. # OF SIGNS:	1 PERMITTED
MAX. HEIGHT:	8 FEET PLUS 1' ADDITIONAL FOR EVERY 3 FEET OF ADDITIONAL SETBACK. 15' MAX.
COPY AREA REQUIRED:	64 SF MAX.
MIN. SETBACK REQUIRED:	10 FEET FROM RIGHT-OF-WAY 5 FEET FROM PROPERTY LINE
SETBACK PROVIDED:	2'



**KEYED NOTES:**

1	STONE WALL / DECORATIVE FEATURE
2	ID SIGN. 8' MAX. HEIGHT AND 64 SF MAX. COPY AREA
3	CONCRETE CURB
4	ASPHALT PAVEMENT
5	"BLACK TINTED" CONCRETE PAVEMENT
6	CONCRETE PAVEMENT
7	CONCRETE SIDEWALK
8	ADA RAMP
9	CONCRETE STEPS AND ASSOCIATED HANDRAIL
10	PARKING BOLLARD
11	BICYCLE RACK
12	PEDESTRIAN CONNECTION
13	MUTCD 30" X 30" R1-1 "STOP" SIGN AND FOUNDATION.
14	MUTCD 18" X 24" R3-5R "RIGHT TURN ONLY" SIGN.
15	INTERNAL DIRECTIONAL SIGN 2' HIGH X 2.5' WIDE.
16	UNDERGROUND STORM CHAMBER.
17	RETAINING WALL AND SIDEWALK W/ HANDRAIL.
18	PROPOSED AREA LIGHT

Issue	Client Date & Issue Description	By	Check
01	11/16/2018 CLIENT REVIEW	RO	DL

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Seal/Signature

Project Name

Prototype Layout

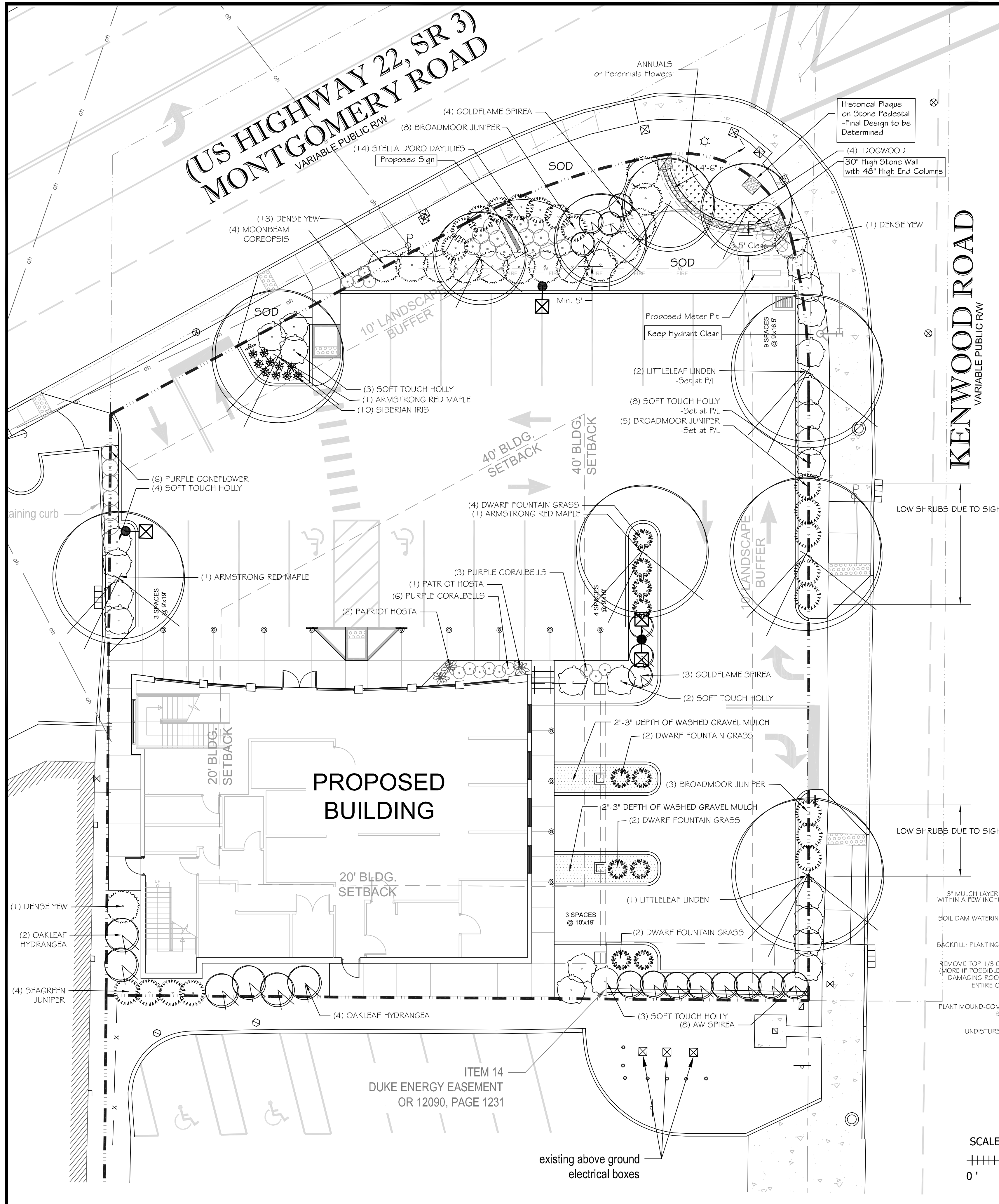
Project Number  
10-786.00

CAD File Name

Description  
ZONING PLAN - PUD II

Scale  
AS SHOWN

**Z00.03**

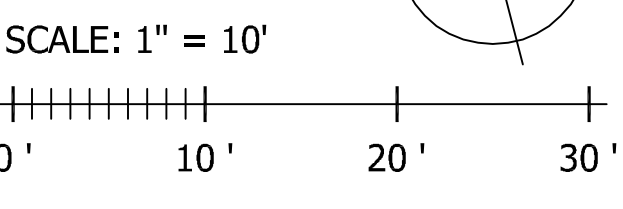
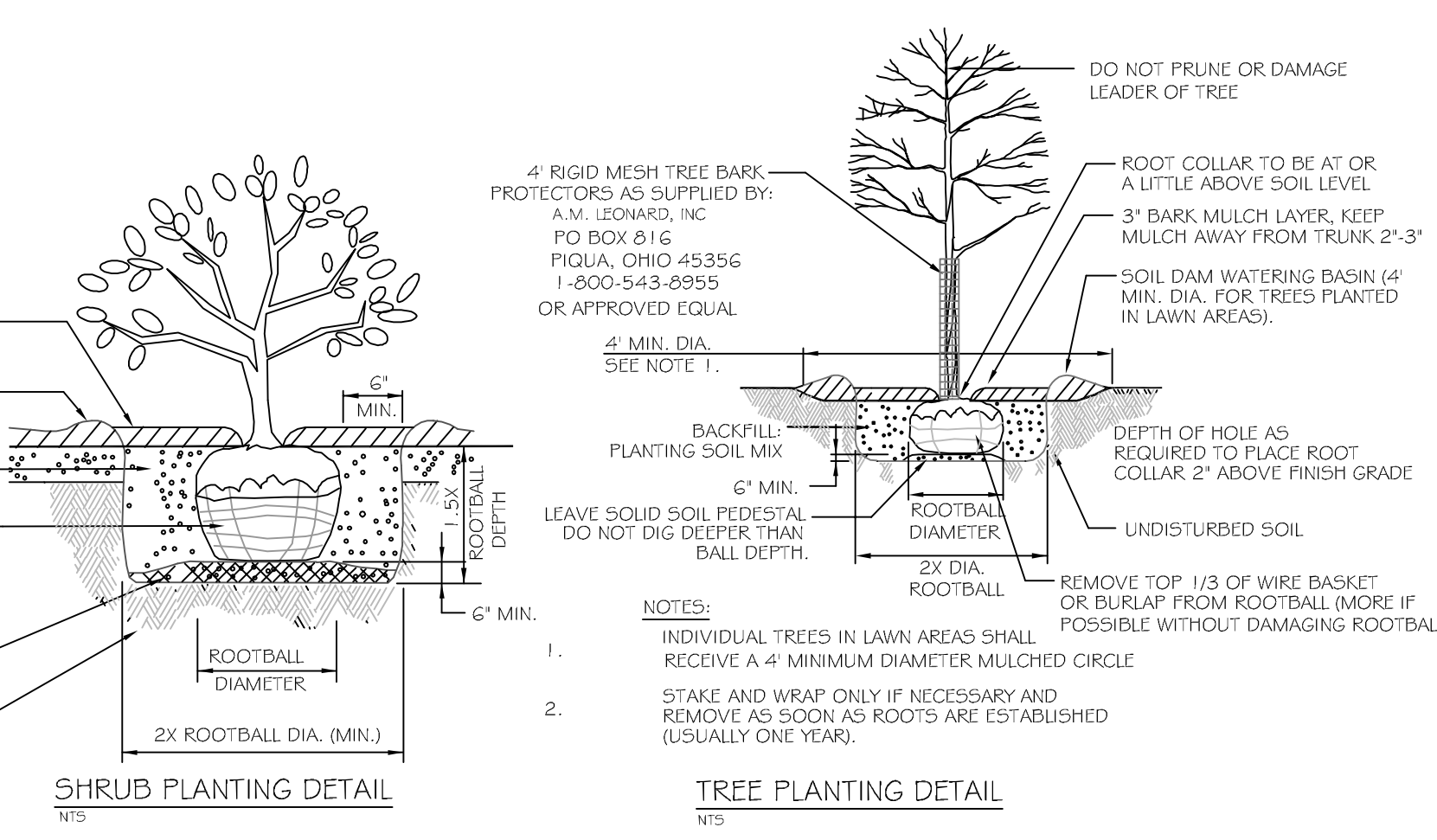


**GENERAL LANDSCAPE REQUIREMENTS**

1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANT INSTALLATION SEQUENCE WITH IRRIGATION CONTRACTOR.
4. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. ADVISE PROJECT MANAGER BEFORE THE ADJUSTMENTS ARE MADE.
5. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR PERENNIAL LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
6. A MINIMUM OF 8" DEPTH OF NEW TOPSOIL SHALL BE PLACED IN ALL BED AREAS BY LANDSCAPE CONTRACTOR PRIOR TO PLANT INSTALLATION. BACKFILL ALL SHRUBS AND TREES WITH BACKFILL MIX OF ONE PART COMPOST TO THREE PARTS TOPSOIL.
7. MULCH TREES AND SHRUBS WITH MIN. 3" DEPTH OF BLACK-DYED, SHREDDED HARDWOOD MULCH. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES SUCH AS WALKS, BUILDING, CURBS, OR OTHER PLANT BED LIMITS.
8. ALL BED EDGES SHALL BE SPADE-CUT AND CLOSELY ALIGN AS POSSIBLE WITH EDGES AS SHOWN ON DRAWING. KEEP MULCH A MIN. 1/2" BELOW ADJACENT PAVED SURFACES.
9. SOD ALL LAWN DISTURBED AREAS WITHIN PROJECT LIMITS AS NOTED ON CIVIL DRAWINGS; INCLUDING OUT TO PAVEMENT EDGES. REFER TO CIVIL DRAWINGS AND VERIFY EXTENT WITH PROJECT MANAGER.
10. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE YEAR FROM DATE OF ACCEPTANCE. PRIOR TO END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.

**PLANT MATERIALS LIST**

QTY.	PLANT NAME	MINIMUM INSTALLED SIZE
<b>SHADE TREES</b>		
3	RED MAPLE - <i>Acer rubrum</i> 'Armstrong' (Narrow/Upright)	2-1/2" cal. B/B
3	LITTLELEAF LINDEN - <i>Tilia cordata</i> 'Greenspire'	2-1/2" cal. B/B
<b>ORNAMENTAL TREES</b>		
4	DOGWOOD - <i>Cornus alternifolia</i>	1-1/2" cal. B/B Tree form
<b>SHRUBS</b>		
4	SEAGREEN JUNIPER - <i>Juniperus chinensis</i> 'Seagreen'	# 3 cont.
16	BROADMOOR JUNIPER - <i>Juniperus sabina</i> 'Broadmoor'	# 3 cont.
6	OAKLEAF HYDRANGEA - <i>Hydrangea quercifolia</i>	# 5 cont.
20	SOFT TOUCH HOLLY - <i>Ilex glabra</i> 'Soft Touch'	# 3 cont.
8	AW SPIREA - <i>Spiraea bumalda</i> 'Anthony Waterer'	# 3 cont.
7	GOLDFLAME SPIREA - <i>Spiraea bumalda</i> 'Goldflame'	# 3 cont.
15	DENSE TAXUS - <i>Taxus media densiformis</i>	24-30" B/B
<b>PERENNIALS</b>		
14	STELLA D'ORO DAYLILIES - <i>Hemerocallis x Stella d'Oro</i>	# 2 cont.
4	MOONBEAM COREOPSIS - <i>Coreopsis v. 'Moonbeam'</i>	# 1 cont.
9	PURPLE CORALBELLS - <i>Heuchera micrantha</i> 'Palace Purple'	# 2 cont.
6	PURPLE CONEFLOWER - <i>Echinacea purpurea</i>	# 2 cont.
3	PATRIOT HOSTA - <i>Hosta x 'Patriot'</i>	# 2 cont.
10	SIBERIAN IRIS - <i>Ins sibirica</i> 'Caesar's Brother'	# 1 cont.
<b>GRASSES</b>		
10	DWARF FOUNTAIN GRASS - <i>Pennisetum alopecuroides</i> 'Hamelin'	# 3 cont.



LANDSCAPE ARCHITECT:  
**YELLOW SPRINGS DESIGN**  
 PO Box 472 205 PARK MEADOWS DR.  
 YELLOW SPRINGS, OHIO 45387  
 VOICE: FAX: 937.767.9199

# Bank of America Kenwood Ground Up

7796 Montgomery Road  
 Cincinnati, Ohio 45236

SERIAL NUMBER:  
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03	11/06/2018 PERMIT	REB	REB

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Seal/Signature

Project Name  
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Prototype Layout  
**GROUND UP**

Project Number  
**10-786-00**

CAD File Name

Description  
**SITE LANDSCAPE PLAN**

Scale  
 AS INDICATED

**L01.00**

**PROPOSED BUILDING**

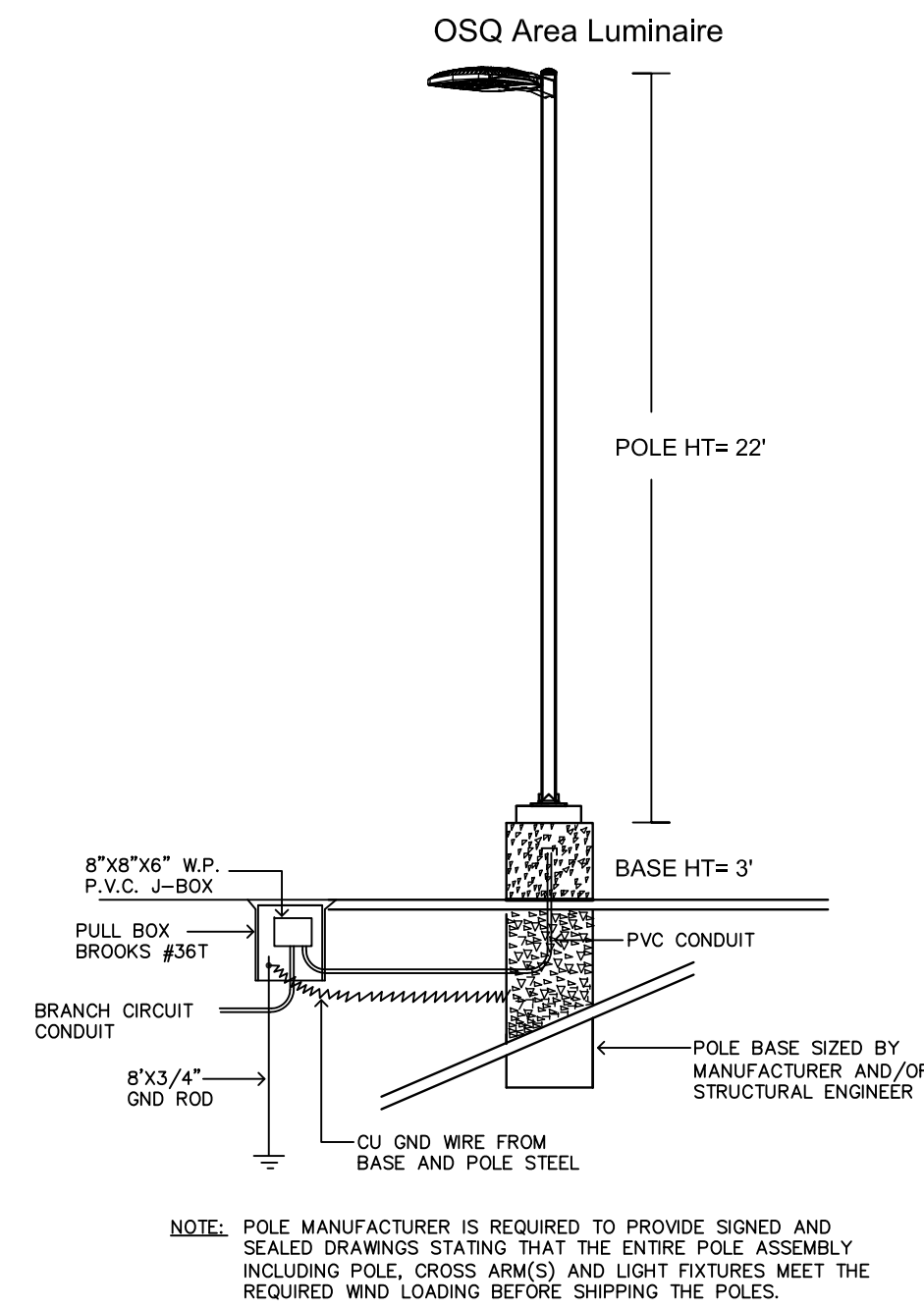
ITEM 14  
 DUKE ENERGY EASEMENT  
 OR 12090, PAGE 1231

existing above ground  
 electrical boxes

Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
■	1	UA-2	BACK-BACK	20427	0.990	430	OSQ-A-NM-1ME-U-40K-UL-BZ-40K + OSQ-DABZ
□	2	UAB	SINGLE	20427	0.990	430	OSQ-A-NM-1ME-U-40K-UL-BZ-40K + OSQ-BLSLF + OSQ-DABZ
□	2	X-B-2M	SINGLE	2490	0.970	38	XSPW-B-WM-2ME-2L-40K-UL-BZ
□	7	SEC-3	SINGLE	4198	0.970	490	SEC-EDG-3MB-WM-04-E-UL-WH-525-40K
●	8	LR3	SINGLE	1800	0.700	160	LR6-18L-40K-120V-A

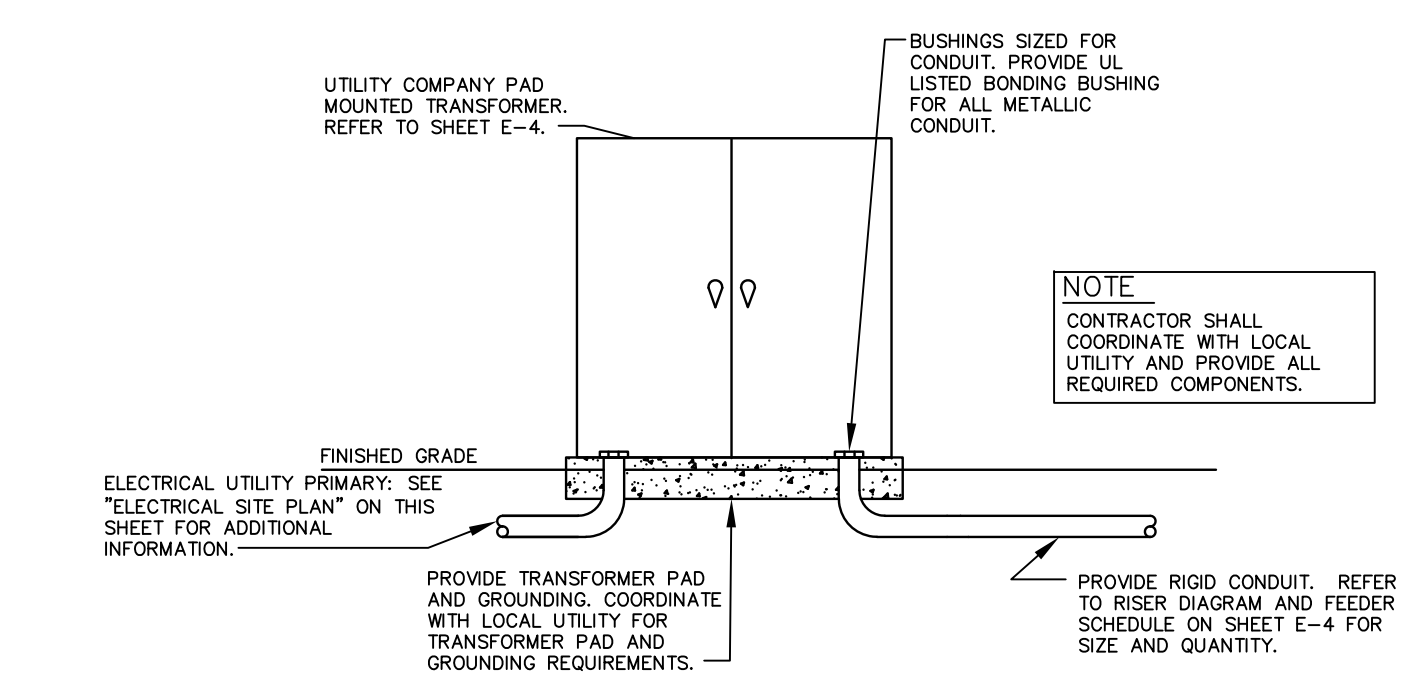
**Luminaire Schedule**  
 (2) PS4S22C1BZ (22' X 4' X 125" STEEL SQUARE POLE)  
 Proposed poles meet 130 MPH sustained winds.  
 (1) PS4S22C2BZ (22' X 4' X 125" STEEL SQUARE POLE)  
 Proposed poles meet 120 MPH sustained winds.

Footcandle calculated using predicted lumen values after 50K hours of operation	Avg	Max	Min	Avg/Min	Max/Min
Off Pavement	0.95	9.3	0.0	N/A	N/A
Paved Area	6.71	18.8	0.8	8.39	23.50
5' RAD	12.70	12.7	12.7	1.00	1.00
60' RAD	8.73	18.8	3.7	2.36	5.08



**SITE LUMINAIRE & POLE DETAIL**  
 NOT TO SCALE

**3**

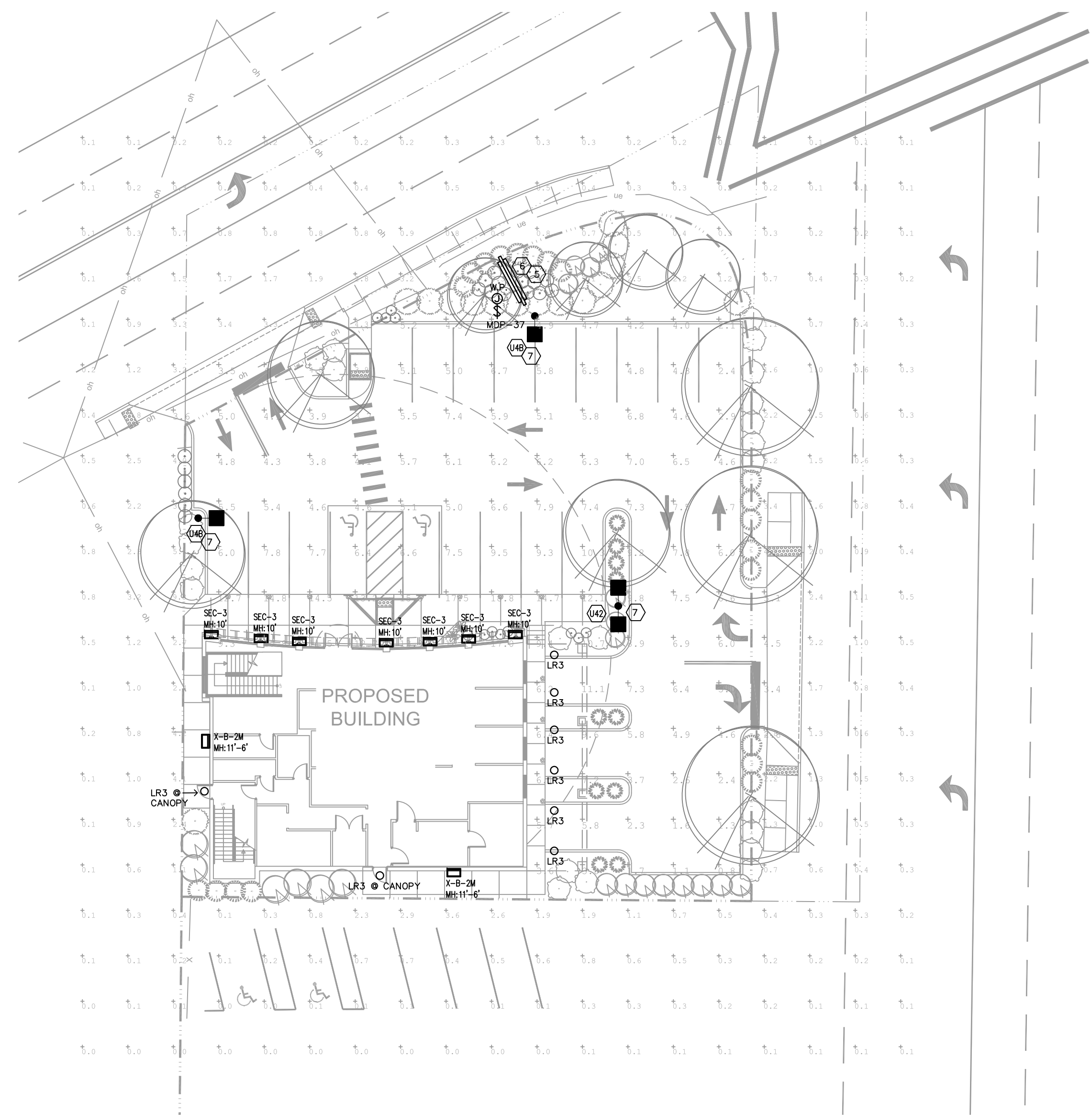


**PAD MOUNTED TRANSFORMER DETAIL**  
 NOT TO SCALE

**2**

- KEY NOTES**
- REFER TO CIVIL PLANS FOR LOCATION OF UTILITY COMPANY'S POLE MOUNTED TRANSFORMER. FIELD VERIFY EXACT LOCATION OF EQUIPMENT WITH UTILITY COMPANY. FIELD COORDINATE ALL ASPECTS OF SERVICE ENTRANCE WITH UTILITY COMPANY. REFER TO PAD MOUNTED TRANSFORMER DETAIL ON THIS SHEET FOR ADDITIONAL INFORMATION.
  - INCOMING UNDERGROUND SECONDARY ELECTRICAL SERVICE. REFER TO ELECTRICAL RISER DIAGRAM FOR ADDITIONAL INFORMATION. INSTALL ADDITIONAL HANDHOLES AS REQUIRED.
  - TELEPHONE UTILITY SERVICE CONDUIT. PROVIDE (2) 4" CONDUITS FROM TELEPHONE EQUIPMENT BACKBOARD TO PROPERTY LINE. FIELD VERIFY EXACT LOCATION OF TERMINATION WITH TELEPHONE COMPANY REPRESENTATIVE. FIELD COORDINATE ALL ASPECTS OF SERVICE ENTRANCE WITH UTILITY COMPANY. PROVIDE NYLON PULL STRING.
  - REFER TO DRAWING E-4 FOR EXACT LOCATION OF CONDUIT SUB-UPS IN BUILDING.
  - EXTEND CIRCUITS INDICATED THRU EXTERIOR LIGHTING CONTROLLER. REFER TO DRAWINGS E-4 FOR CONTRACTOR DETAIL.
  - FIELD COORDINATE EXACT LOCATION OF SIGNAGE STUB-UP. COORDINATE WITH ARCHITECT BANK SIGNAGE. PROVIDE FINAL ELECTRICAL CONNECTION. PROVIDE WATER TIGHT JUNCTION BOX AND DISCONNECT SWITCH FOR MONUMENT SIGN. COORDINATE EXACT LOCATION WITH CIVIL DRAWINGS.
  - NOT USED.

- GENERAL NOTES**
- CONTRACTOR PROPOSING TO UNDERTAKE WORK UNDER THIS DIVISION SHALL VISIT THE SITE OF THE WORK AND FULLY INFORM THEMSELVES OF ALL CONDITIONS THAT AFFECT THE WORK AND COST THEREOF, AND EXAMINE THE DRAWINGS AND SPECIFICATIONS AS RELATED TO THE SITE CONDITIONS.
  - CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISUNDERSTANDINGS OF THE AMOUNT OF WORK TO BE PERFORMED. TENDER OF PROPOSAL SHALL CONVEY FULL AGREEMENT TO THE ITEMS AND CONDITIONS INDICATED ON THE DRAWINGS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS OR BE IN DOUBT AS TO THE INTENT THEREOF, HE SHALL IMMEDIATELY OBTAIN CLARIFICATION FROM THE ENGINEER AND/OR OWNER'S REPRESENTATIVE PRIOR TO SUBMITTING HIS PROPOSAL FOR WORK.
  - FIELD VERIFY EXACT NAMEPLATE DATA ON ALL EQUIPMENT FURNISHED UNDER OTHER DIVISIONS AND/OR BY THE TENANT (E.G. HVAC EQUIPMENT, KITCHEN EQUIPMENT, ETC.) PRIOR TO THE INSTALLATION OF ELECTRICAL WORK AND MAKE ANY ADJUSTMENTS TO OUTLETS, CONDUITS, WIRE AND/OR CIRCUIT BREAKER AS REQUESTED TO MATCH EQUIPMENT ACTUALLY FURNISHED.
  - REFER TO ELECTRICAL RISER DIAGRAM ON SHEET E-4 FOR MORE INFORMATION.
  - REFER TO PANEL SCHEDULES ON SHEET E-7 FOR SITE LIGHTING CIRCUITING.
  - REFER TO LIGHT FIXTURE SCHEDULE ON SHEET E-6 FOR MORE INFORMATION.
  - ALL UNDERGROUND WIRING SHALL BE LOCATED WITHIN 12" OF BACK OF CURB IN ALL LOCATIONS.
  - FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF POLE BASES AND UNDERGROUND CONDUIT.
  - POLE BASES SHALL BE INSTALLED 4'-0" BEHIND BACK OF CURB TO CENTER OF POLE BASE.
  - PANEL MDP IS LOCATED IN ELECTRICAL ROOM - SEE SHEET E-4 FOR EXACT LOCATION.
  - ALL CONDUCTORS SHALL BE COPPER. CONDUCTORS FOR ABOVE GROUND SERVICE SHALL BE THIN - THIN. CONDUCTORS FOR BELOW GRADE SERVICE SHALL BE THIN OR XHHW. CONDUCTORS #10 AND SMALLER SHALL BE SOLID. CONDUCTORS #8 AND LARGER SHALL BE STRANDED.
  - THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE VI) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT THE BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.
  - ALL EXTERIOR LIGHT FIXTURES CIRCUITS ARE CONTROLLED BY 0-5 SYSTEM. EXTERIOR LIGHTING CONTRACTORS AND PHOTOCELL.



**ELECTRICAL SITE PLAN**  
 1/16" = 1'-0"

**1**

**GRAPHIC SYMBOLS**

- POLE MOUNTED SITE LIGHTING FIXTURE (SINGLE OR MULTI HEAD)
- JUNCTION BOX (WP - WEATHERPROOF)
- PC PHOTOELECTRIC CELL
- G GROUND
- TYP TYPICAL
- C CONDUIT
- NER NETWORK ELECTRICAL ROOM

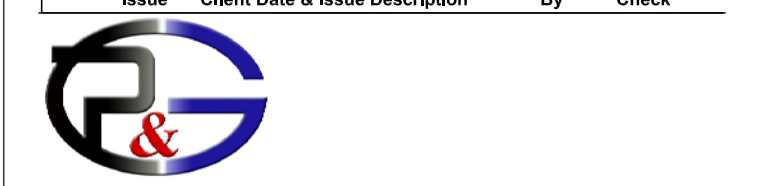
**Bank Of America  
 Kenwood  
 New Store - Flagship**

7796 Montgomery Rd.  
 Sycamore Twp, Ohio

SERIAL NUMBER: OHW-  
 NRSP VERSION: .  
 BULLETIN: 02-2018



ARCHITECTURAL DESIGN COLLABORATIVE, INC.  
 845 NORTH PENNSYLVANIA AVENUE  
 WINTER PARK, FL 32789  
 OFFICE: (407) 628-1188  
 FAX: (407) 385-1220  
 WWW.ADCINTERNATIONAL.NET



**P&G ENGINEERING DESIGN GROUP CORP.**  
 CERTIFICATE OF AUTHORIZATION - 05550

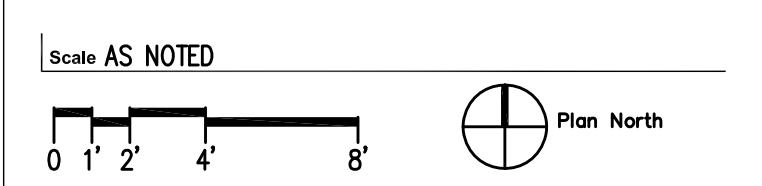
Issue	Client Date & Issue Description	By	Check
01		AA	J.F.P.

Issue	Jurisdiction Date & Issue Description	By	Check
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Seal/Signature  
 LUIS O. PEREZ, | OHIO |  
 | PE-83053 |

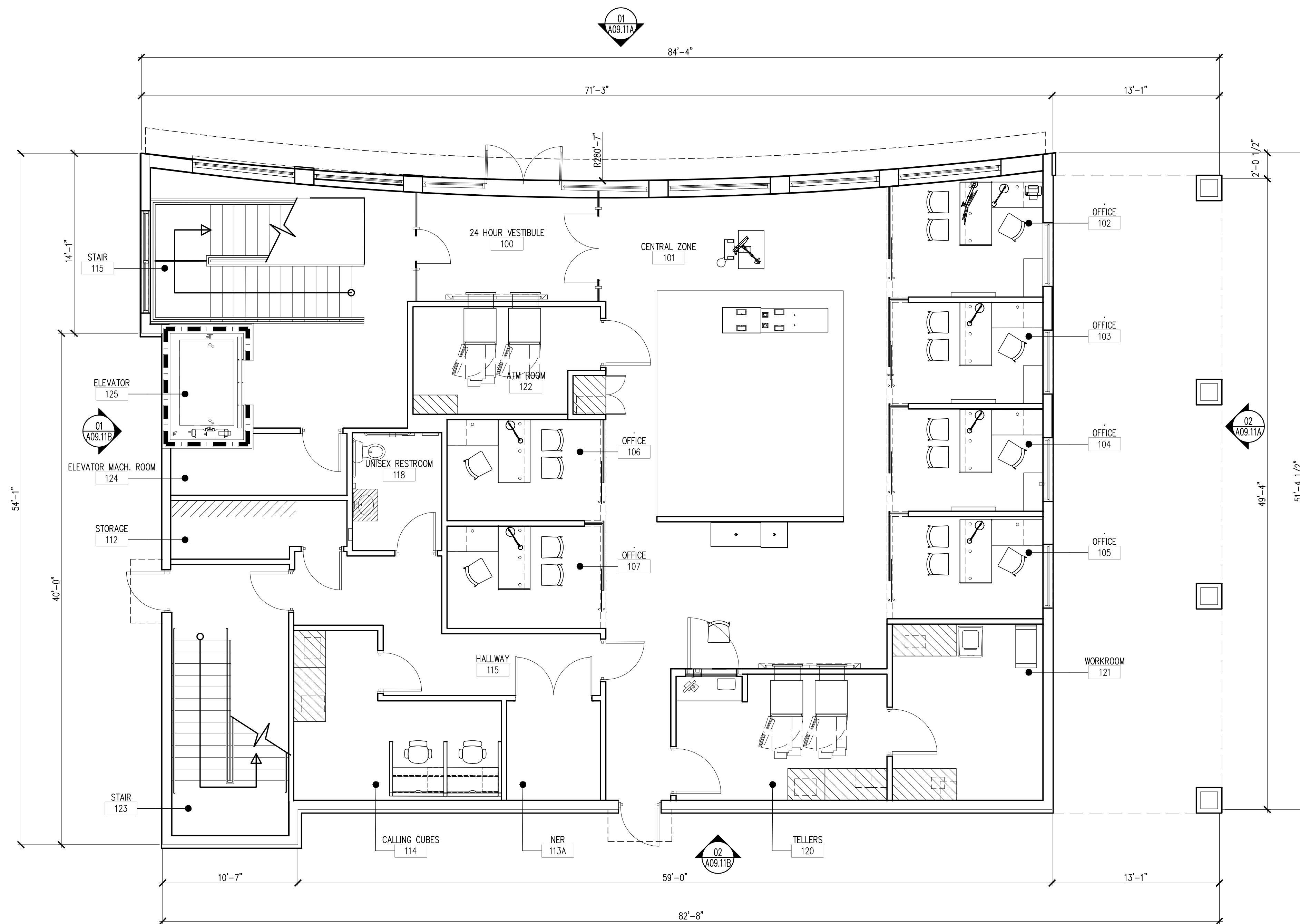


Project Name  
**KENWOOD**  
 Kenwood  
 Prototype Layout  
 NEW STORE - FLAGSHIP  
 Project Number  
 18165  
 CAD File Name  
 F:\P&G\PROJECTS\2018\ADC\18-165 BoFA KENWOOD  
 Description  
 ELECTRICAL SITE AND PHOTOMETRIC PLAN



**E-0.0**





### KEY NOTES

- 01 INSTALL ROLLER SHADE. REFER TO DET. 6/A12.02.
- 02 INSTALL F.R. BLOCKING TO INSTALL MEDIA WALL, AS REQ'D.
- 03 PROVIDE FIRE-RATED 3/4" PLYWOOD BACKBOARD ON ALL WALLS, H=8'-0".
- 04 GROUND MOUNTED SIGN BY OWNER.
- 05 PROVIDE HEAVY DUTY FLOOR STOP PER SPEC. IF SAFE DOOR DOES NOT PROVIDE DOOR STOP.
- 06 LADDER TO ROOF HATCH - SEE DETAIL 12/A09.32
- 07 ROOF HATCH ABOVE - SEE DETAIL 8/A09.32
- 08 BOLLARD - SEE DETAIL 9/A09.32
- 09 4" HIGH PRECAST CONCRETE PAD PER SPECIFICATION. COORDINATE LOCATION WITH ELECTRICAL CENTRAL INVERTER
- 10 ADD 3/4" PLYWOOD ONLY AT SIDE WHERE FURNITURE IS LOCATED. REFER TO FURNITURE PLAN FOR LOCATION, AS REQ'D
- 11 ARCHITECT TO VERIFY THE PROPOSED ATM TYPE & SURROUND AND PROVIDE OPENING LOCATION & DIMENSION ON A08.11
- 12 ACCESSIBLE ATM SHALL COMPLY WITH DISABILITY ACT 2010
- 13 HEADER CURB
- 14 CLEAN OUT LOCATION 24" AFF, REFER TO PLUMBING DRAWINGS.
- 15 REFER TO CIVIL DRAWINGS FOR SLOPE DIRECTION
- 16 LOCATION OF THE TRASH CONTAINER
- 17 LOCATION OF THE MOP BUCKET
- 18 LOCATION OF LEED BUILDING SIGN

### GRAPHIC SYMBOLS

- XX COLUMN GRID
  - NEW PARTITION
  - REFERENCE TO PARTITION TYPE
  - ELEVATION DATUM POINT
  - OFFICE ROOM NAME
  - 04F06 ROOM NUMBER
  - DOOR NUMBER (WITH SCHEDULE)
  - ALIGN ALIGN WITH ESTABLISHED SURFACES
  - XX SHEET NOTE
  - MILLWORK MILLWORK SCHEDULE TAG (IF USED)
  - FIRE EXTINGUISHER WITHOUT CABINET
  - FIRE EXTINGUISHER CABINET
  - JAMB CAMERA
- EXTERIOR ELEVATION INDICATION**
- ROW ON ELEVATION SHEET WHERE SHOWN
  - DIRECTION OF ELEVATION SHEET WHERE SHOWN
- INTERIOR ELEVATION INDICATION**
- LOCATION ON ROW WHERE SHOWN
  - DIRECTION OF ELEVATION
  - ROW ON ELEVATION SHEET WHERE SHOWN
  - SHEET WHERE SHOWN
  - DETAIL NUMBER
  - DESCRIPTION OF SIMILAR OR OPPOSITE AREA TO BE DETAILED
  - DIRECTION OF SECTION/ELEVATION SHEET WHERE SHOWN

### SHEET NOTES

- A. ALL PARTITIONS TO BE TYPE "A", UNLESS OTHERWISE NOTED.
- B. REFER TO SHEET A12.01 FOR ADDITIONAL GENERAL NOTES, LEGENDS AND SCHEDULES, REFERENCE A00.00
- C. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 6" FROM ADJACENT PERPENDICULAR PARTITION.
- D. REFER TO DRAWING A08.11 FOR BANKING EQUIPMENT, VERIFY ALL EQUIPMENT WITH VENDOR.
- E. CONTRACTOR SHALL PROVIDE F.R. BLOCKING FOR ALL EQUIPMENT AND ACCESSORIES MOUNTED ON WALLS.

# Bank Of America Kenwood New Store - Flagship

7796 Montgomery Rd.  
Sycamore Twp, Ohio

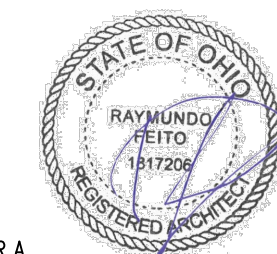
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NRSP VERSION: .  
BULLETIN: 02-2018



Issue	Client Date & Issue Description	By	Check
01		AA	J.F.P.

Issue	Jurisdiction Date & Issue Description	By	Check
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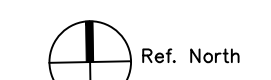
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RAYMUNDO FEITO, R.A.  
STATE OF OHIO CERTIFICATE NO.: ARC.1817206

Project Name  
KENDWOOD  
Prototype Layout  
NEW STORE - FLAGSHIP  
Project Number  
18165  
CAD File Name  
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Description  
A02.01 FLOOR PLAN LEVEL 1

Scale  
AS SHOWN



A02.01





**KEY NOTES**

- (01) INSTALL ROLLER SHADE. REFER TO DET. 6/A12.02.
- (02) INSTALL F.R. BLOCKING TO INSTALL MEDIA WALL, AS REQ'D.
- (03) PROVIDE FIRE-RATED 3/4" PLYWOOD BACKBOARD ON ALL WALLS, H=8'-0".
- (04) LADDER TO ROOF HATCH - SEE DETAIL 12/A09.32
- (05) ROOF HATCH ABOVE - SEE DETAIL 8/A09.32
- (06) ADD 3/4" PLYWOOD ONLY AT SIDE WHERE FURNITURE IS LOCATED. REFER TO FURNITURE PLAN FOR LOCATION, AS REQ'D.
- (07) LOCATION OF THE TRASH CONTAINER
- (08) LOCATION OF THE MOP BUCKET

**GRAPHIC SYMBOLS**

- (XX) COLUMN GRID
  - (A) NEW PARTITION
  - (A) REFERENCE TO PARTITION TYPE
  - (A) ELEVATION DATUM POINT
  - OFFICE ROOM NAME
  - 04F06 ROOM NUMBER
  - (XXXX) DOOR NUMBER (WITH SCHEDULE)
  - ALIGN ALIGN WITH ESTABLISHED SURFACES
  - (XX) SHEET NOTE
  - (XXXX) MILLWORK
  - (XXXX) MILLWORK SCHEDULE TAG (IF USED)
  - (E) FIRE EXTINGUISHER WITHOUT CABINET
  - (FEC) FIRE EXTINGUISHER CABINET
  - (C) JAMB CAMERA
- EXTERIOR ELEVATION INDICATION**
- (XX/XXX) ROW ON ELEVATION SHEET WHERE SHOWN
  - (XX/XXX) DIRECTION OF ELEVATION SHEET WHERE SHOWN
- INTERIOR ELEVATION INDICATION**
- (A/XXX) LOCATION ON ROW WHERE SHOWN
  - (A/XXX) DIRECTION OF ELEVATION
  - (A/XXX/XXXX) ROW ON ELEVATION SHEET WHERE SHOWN
  - (A/XXX) SHEET WHERE SHOWN
  - (A/XXX) DETAIL NUMBER
  - (A/XXX) DESCRIPTION OF SIMILAR OR OPPOSITE AREA TO BE DETAILED
  - (XX/XX) DIRECTION OF SECTION/ELEVATION SHEET WHERE SHOWN

TYPE	SYMBOL	REMARKS
B	[Symbol]	NEW NON RATED WALL TO DECK ABOVE, U.N.O.
AB	[Symbol]	NEW NON RATED WALL TO DECK ABOVE, U.N.O.
-	[Symbol]	NEW 2 HOUR RATED WALL TO DECK ABOVE
-	[Symbol]	NEW 1 HOUR RATED WALL TO DECK ABOVE

NOTE: SEE WALL SECTIONS AND DETAILS ON SHEET A12.01 FOR MORE INFORMATION.

**SHEET NOTES**

- A. ALL PARTITIONS TO BE TYPE "A", UNLESS OTHERWISE NOTED.
- B. REFER TO SHEET A12.01, FOR ADDITIONAL GENERAL NOTES, LEGENDS AND SCHEDULES, REFERENCE A00.00.
- C. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 6" FROM ADJACENT PERPENDICULAR PARTITION.
- D. REFER TO DRAWING A08.11 FOR BANKING EQUIPMENT, VERIFY ALL EQUIPMENT WITH VENDOR.
- E. CONTRACTOR SHALL PROVIDE F.R. BLOCKING FOR ALL EQUIPMENT AND ACCESSORIES MOUNTED ON WALLS.

**Bank Of America  
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Issue	Client Date & Issue Description	By	Check
01		AA	J.F.P.

Issue	Jurisdiction Date & Issue Description	By	Check
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Seal/Signature



RAYMUNDO FEITO, R.A.  
STATE OF OHIO CERTIFICATE NO.: ARC.1817206  
Project Name  
KENWOOD  
Prototype Layout  
NEW STORE - FLAGSHIP  
Project Number  
18165  
CAD File Name  
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Description  
A02.02 FLOOR PLAN LEVEL 2

Scale  
AS SHOWN



**A02.02**

# Bank Of America Kenwood New Store - Flagship

7796 Montgomery Rd.  
Sycamore Twp, Ohio

SERIAL NUMBER: OHW-  
NRSP VERSION:  
BULLETIN: 02-2018

## ADC

ARCHITECTURAL DESIGN COLLABORATIVE

ARCHITECTURAL DESIGN COLLABORATIVE, INC.  
845 NORTH PENNSYLVANIA AVENUE  
WINTERS PARK, FL 32789  
OFFICE: (407) 629-1188  
FAX: (407) 388-1220  
WWW.ADCINTERNATIONAL.NET



Issue	Client Date & Issue Description	By	Check
01	-	AA	J.F.P.

Issue	Client Date & Issue Description	By	Check

Issue	Jurisdiction Date & Issue Description	By	Check

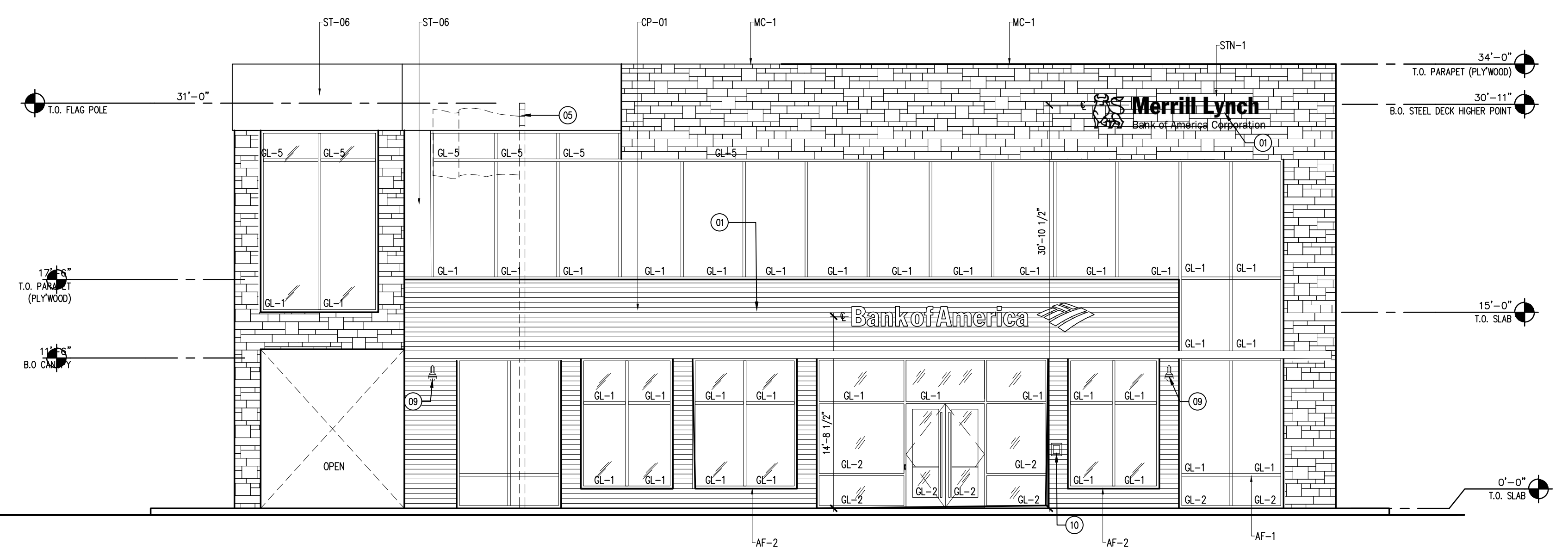
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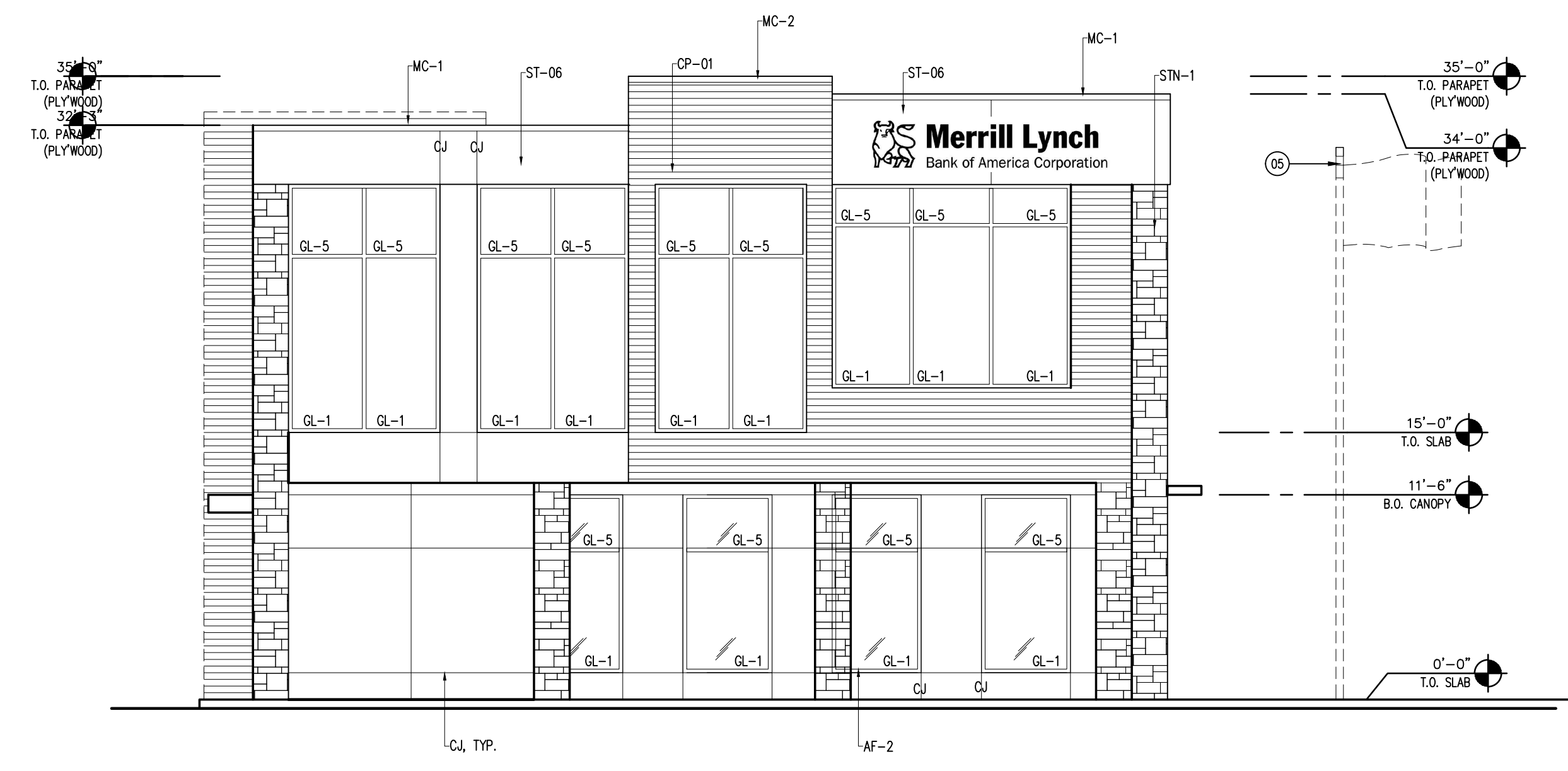
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STATE OF OHIO CERTIFICATE NO.: ARC1817206  
Project Name  
KENWOOD  
Prototype Layout  
NEW STORE - FLAGSHIP  
Project Number  
18165  
CAD File Name  
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Description  
A09.11A EXTERIOR ELEVATIONS

Scale  
AS SHOWN

## A09.11A



01 FRONT ELEVATION  
3/16" = 1'-0"



02 SIDE ELEVATION  
3/16" = 1'-0"

### BAC STANDARD EXTERIOR FINISHES

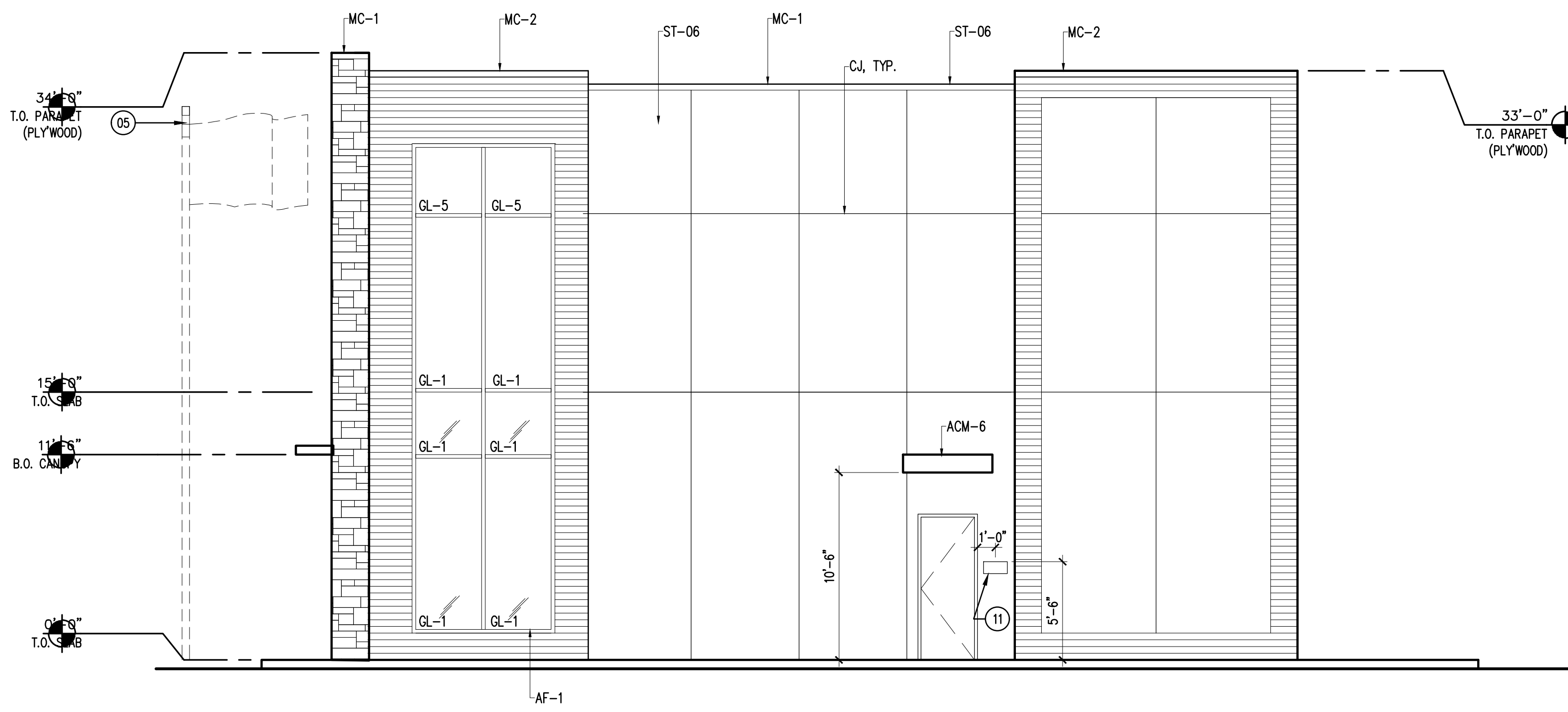
<b>STUCCO/PLASTER (BASED ON PAREX STUCCO) [BAC PRESCRIPTIVE/BASIS OF DESIGN]</b>	
ST-06	AC-42 "GRAND TETON WHITE" SAND SMOOTH FINISH BENJAMIN MOORE
<b>ALUMINUM COMPOSITE METAL PANEL (BASED ON APOLIC) [BAC PRESCRIPTIVE/BASIS OF DESIGN]</b>	
ACM-6	"CLEAR SATIN ANODIZED" METAL SERIES I: STANDARD ANODIZED CITADEL ARCHITECTURAL PRODUCTS INC. CONTACT: ORION DANIEL, 704.363.9897
<b>GLAZING [BAC PERFORMANCE]</b>	
GL-1	1" HEAT STRENGTHENED CLEAR INSULATED GLAZING AS SPECIFIED
GL-5	1" TEMPERED INSULATED SPANDREL GLAZING AS SPECIFIED
<b>ALUMINUM GLAZING FRAMES [BAC PRESCRIPTIVE/BASIS OF DESIGN]</b>	
AF-1	CURTAINWALL SYSTEM AS SPECIFIED - KYNAR 500 METAL CITADEL ARCHITECTURAL PRODUCTS SERIES F, RESERVE WHITE
AF-2	STOREFRONT SYSTEM AS SPECIFIED - KYNAR 500 METAL CITADEL ARCHITECTURAL PRODUCTS SERIES F, RESERVE WHITE
<b>METAL COPING [BAC PERFORMANCE]</b>	
MC-1	PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH STN-1 - STONE COLOR
MC-2	PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH CP-01 - TRESPA COLOR
<b>STONE</b>	
STN-1	KASOTA GREY VEIN SPLIT LINEAR STONE, SIZE: KASOTA STONE. CONTACT: KIRK MEYER, KIRK@KASOTASF.COM
<b>CLADDING PANEL</b>	
CP-01	TRESPA PURA NFC WITH CONCEALED FASTENERS. COLOR P117 AGED ASH FLUSH

### KEY NOTES

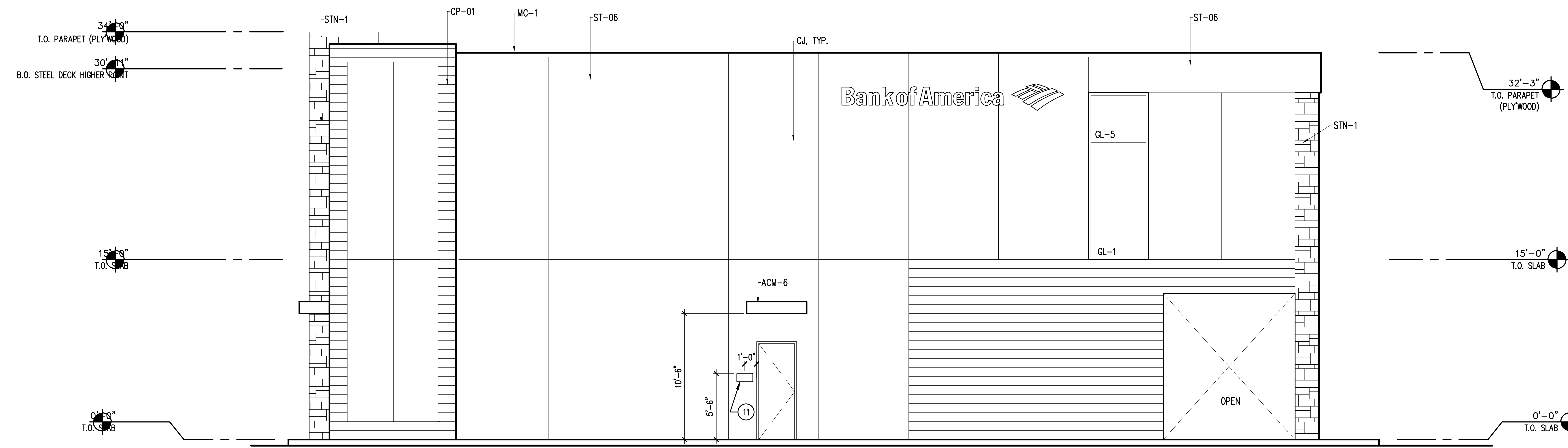
- 01 SIGN BY OWNER
- 02 DRIVE THROUGH ATM
- 03 VACUUM AIR TUBE (VAT)
- 04 METAL PANEL SYSTEM
- 05 31'-FT FLAG POLE AND MOUNTING BRACKETS - PROVIDED BY CONTRACTOR (FLAG FURNISHED BY OWNER, INSTALLED BY CONTRACTOR)
- 06 S-TYPE REGULATORY DIRECTIONAL/INFORMATIONAL MONIGLE SIGNAGE PROVIDED BY OWNER. CENTERLINE OF SIGN = CENTERLINE OF LANE.
- 07 LIGHT FIXTURE MOUNTED ON TOP OF FLAG POLE. SEE ELECT. DWG. FOR FIXTURE TYPE.
- 08 LED LANE LIGHTS PROVIDED BY EQUIPMENT VENDOR. CENTERLINE OF SIGN = CENTERLINE OF LANE.
- 09 EXTERIOR SECURITY CAMERA
- 10 FIREMAN'S LOCKBOX COORDINATE WITH FIRE OFFICIAL THE MOUNTING HEIGHT AND LOCATION PRIOR TO INSTALLATION
- 11 SIGNAGE ON DOOR THAT READS "NO SMOKING WITHIN 25 FEET OF THE ENTRANCE" PROVIDED BY OWNER.
- 12 CLEAN OUT LOCATIONS

### SHEET NOTES

- A. CONTRACTOR TO COORDINATE ELECTRICAL SERVICE FOR WALL MOUNTED SIGNS WITH OWNER. SIGN VENDOR TO DETERMINE EXACT MOUNTING LOCATION(S).
- B. STANDARD SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-5 TYPE LETTERSET.
- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET.
- D. REFER TO A12.11 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM
- E. REFER TO SHEET A09.31 FOR TYPICAL CEMENT PLASTER DETAILS
- F. REFER TO DETAIL 1/A09.32 FOR TYP. WINDOW FLASHING DETAILS



01 SIDE ELEVATION  
3/16" = 1'-0"



02 BACK ELEVATION  
3/16" = 1'-0"

## BAC STANDARD EXTERIOR FINISHES

STUCCO/PLASTER (BASED ON PAREX STUCCO) [BAC PRESCRIPTIVE/BASIS OF DESIGN]	
ST-06	AC-42 "GRAND TETON WHITE" SAND SMOOTH FINISH BENJAMIN MOORE
ALUMINUM COMPOSITE METAL PANEL (BASED ON APOLIC) [BAC PRESCRIPTIVE/BASIS OF DESIGN]	
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MC-1	PREFINISHED METAL COPING CUSTOM COLOR: TO MATCH STN-1 - STONE COLOR
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## KEY NOTES

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- C. STANDARD BUILDING WALL-MOUNTED SIGNS OTHER THAN SIGN ABOVE ENTRANCE CANOPY IS BANK OF AMERICA K-3 TYPE LETTERSET.
- D. REFER TO A12.11 FOR ENTRANCE DOOR HARDWARE WIRING DIAGRAM
- E. REFER TO SHEET A09.31 FOR TYPICAL CEMENT PLASTER DETAILS
- F. REFER TO DETAIL 1/A09.32 FOR TYP. WINDOW FLASHING DETAILS

# Bank Of America Kenwood New Store - Flagship

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Sycamore Twp, Ohio

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NRSP VERSION: \_\_\_\_\_  
BULLETIN: 02-2018



ARCHITECTURAL DESIGN COLLABORATIVE, INC.  
945 NORTH PENNSYLVANIA AVENUE  
WINTER PARK, FL 32789  
OFFICE: (407) 629-1188  
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Issue	Client Date & Issue Description	By	Check
01		AA	J.F.P.

Issue	Jurisdiction Date & Issue Description	By	Check
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Seal/Signature



RAYMUNDO FEITO, R.A.  
STATE OF OHIO CERTIFICATE NO.: ARC1817206

Project Name: KENWOOD

Prototype Layout

Project Number: NEW STORE - FLAGSHIP

CAD File Name: 18165

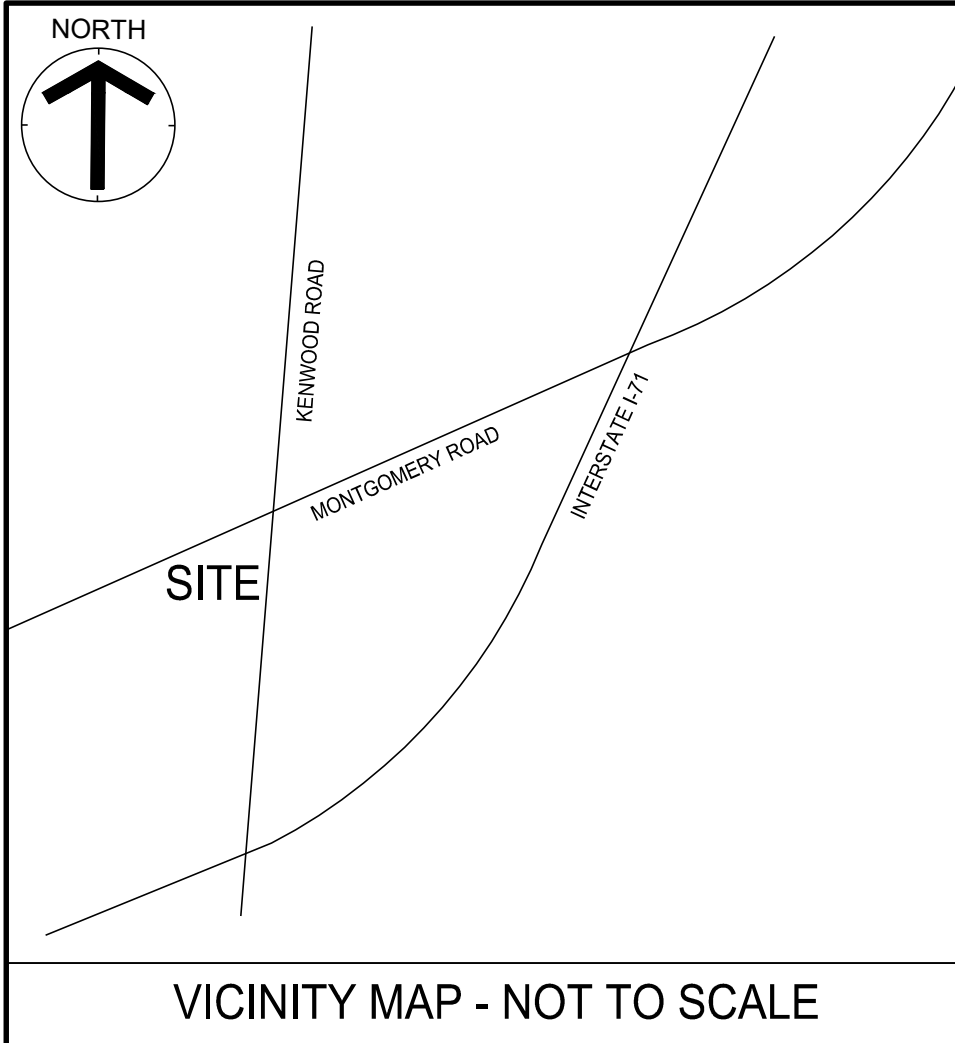
Description: X:\DWGS\18165 BOA KENWOOD\CAD\SHEETS\A09-11B.DWG

Description: A09.11B EXTERIOR ELEVATIONS

Scale: AS SHOWN

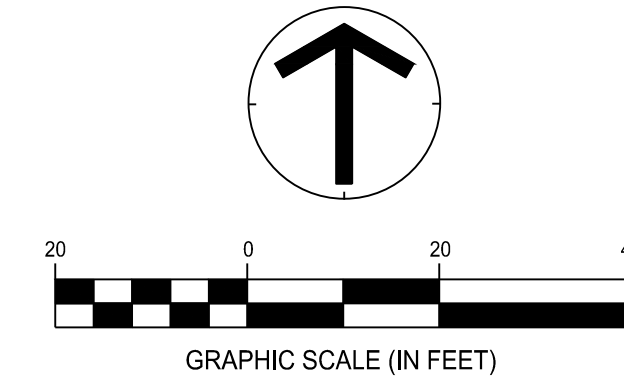
Scale: AS SHOWN

**A09.11B**



# ALTA/NSPS LAND TITLE SURVEY

STATE OF OHIO, COUNTY OF HAMILTON, MIAMI PURCHASE, SYCAMORE TOWNSHIP  
 PART OF LOT 6, JOHN JONES ESTATE  
 SECTION 13, TOWNSHIP 4, ENTIRE RANGE 1



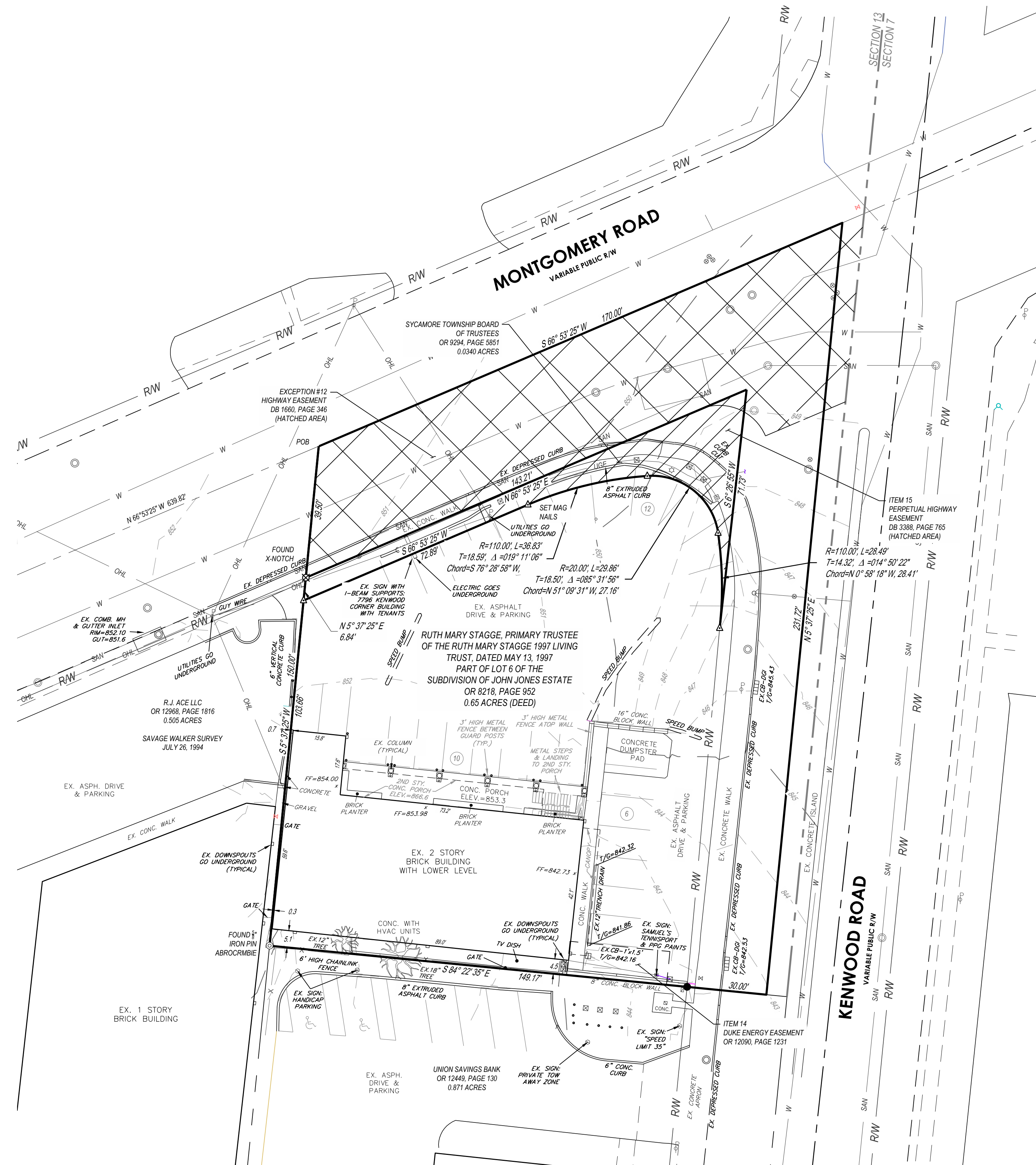
## LEGAL DESCRIPTION

BASED UPON CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO: 38180114 DATED MARCH 13, 2018 AT 06:59 AM

Legal description not provided in Title Commitment.

Legal description from Official Record 8218, Page 952:

Being located and situate in Sycamore Township, Hamilton County, Ohio and being part of Lot No. 6 of the Subdivision of John Jones Estate in Section 13, Township 4, Entire Range 1, of the Miami Purchase. Beginning on the north line of said lot and the centerline of Montgomery Road at a point 639.82 feet northeast from the west line of said lot measured in the center line of said road; thence S. 2 deg. 5 min. W. parallel with the west line of said lot one hundred and fifty (150) feet; thence S. 87 deg. 55 min. E. one hundred and forty-nine and 17/100 (149.17) feet to the east line of said Lot No. 6; thence with said east line N. 2 deg. 5 min. E two hundred and thirty-one and 72/100 (231.72) feet to the center line of Montgomery Road the north line of said lot; thence with said lines S 63 deg. 21 min. W. one hundred seventy (170) feet to the beginning. Containing .65 of an acre of ground and being subject to all legal highways.



LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	WATER LINE
	OVERHEAD ELECTRIC
	SANITARY LINE
	X-NOTCH FOUND
	PIPE FOUND
	MAG NAIL SET
	IRON PIN SET
	POWER POLE
	CLEAN OUT
	WATER VALVE
	SIGN
	STORM MANHOLE
	YARD DRAIN
	SANITARY MANHOLE
	BENCHMARK
	TREE

**SCHEDULE B - SECTION II:**  
 BASED UPON CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO: 38180114 DATED MARCH 13, 2018 AT 06:59 AM

ITEMS 1-11, 16-17 ARE NOT SURVEY RELATED ITEMS.  
 ITEM 12. Easement for Highway Purposes to State of Ohio in Deed Book 1660, Page 346, Recorder's Office, Hamilton County, Ohio.

EASEMENT IS ON SURVEYED PARCEL AND SHOWN HEREON

ITEM 13. Temporary Slope Easements contained in Hamilton County Common Pleas Case No. A182112 Journal Entry on Settlement filed June 26, 1962, Clerk's Office, Hamilton County, Ohio.

UNABLE TO PLOT TEMPORARY EASEMENTS FROM RECORD DOCUMENT. ODOT PLANS FOR U.S. 22, SECTION 10.61 ARE NEEDED.

ITEM 14. Grant of Easement to Duke Energy Ohio, Inc. of record in Official Record 12090, Page 1231, Recorder's Office, Hamilton County, Ohio.

EASEMENT IS ON SURVEYED PARCEL AND SHOWN HEREON

ITEM 15. Easement contained in deed from Bernard James Stagge and Ruth M. Stagge to John A. Bechtold of record in Deed Book 3388, Page 765, Recorder's Office, Hamilton County, Ohio.

EASEMENT IS ON SURVEYED PARCEL AND SHOWN HEREON

**SURVEYOR NOTES**  
 ALL SET PROPERTY CORNERS ARE MARKED WITH 5/8" DIAMETER REBAR WITH A CESO CAP.  
 THIS PROPERTY HAS ACCESS TO A DEDICATED PUBLIC RIGHT-OF-WAY VIA MONTGOMERY ROAD AND KENWOOD ROAD.  
 AS SHOWN ON SURVEY, THERE ARE NO GAPS OR GORES BETWEEN TRACTS.

**BASIS OF BEARING**  
 THE BEARINGS SHOWN ON THIS SURVEY WERE ESTABLISHED BY UTILIZING THE OHIO VIRTUAL REFERENCE SYSTEM (VRS), U.S. STATE PLANE, OHIO SOUTH (3204) ZONE, NAD 1983, GEOID12A. COORDINATES TAKEN TO GROUND AT LATITUDE N39°11'55.27997", LONGITUDE W84°22'50.22252", PROJECT HEIGHT 737.665 WITH A GROUND SCALE FACTOR OF 1.0000940779804.

**FLOOD NOTE**  
 BY UTILIZING FEMA FLOOD MAP SERVICE CENTER, THIS PROPERTY WAS FOUND TO BE LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF FLOOD ZONE X. AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 39061C0234E. THE FLOOD MAP FOR THIS LOCATION HAS A STATUS OF NOT PRINTED.

**PARKING COUNT**  
 28 REGULAR MARKED PARKING SPOTS AND 0 ADA MARKED SPOTS OBSERVED AT THE TIME OF THIS SURVEY

**UTILITY DISCLAIMER:**  
 THE UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES LOCATED HERE ON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES LOCATED ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

NO OBSERVED EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.

NO INFORMATION PROVIDED TO THE SURVEYOR OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AT THE TIME OF THIS SURVEY.

NO EVIDENCE OBSERVED IN THE FIELD OF A WETLAND DELINEATION CONDUCTED BY A QUALIFIED SPECIALISTS.

TO: BSM STAGGE, LLC, A DELAWARE LIMITED LIABILITY COMPANY; CHICAGO TITLE COMPANY, LLC; BANK OF AMERICAN, NATIONAL ASSOCIATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 8, 9, 11, 13, 14, 16, 17, 18, 19, AND 20 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON MARCH 26, 2018

*Michael J. Wilson*  
 MICHAEL J. WILSON, PS8281 DATE \_\_\_\_\_  
 michael.wilson@cesoinc.com



REVISIONS		
NO.	DATE	DESCRIPTION

<b>ALTA/NSPS LAND TITLE SURVEY</b>		
<b>PART OF LOT 6, JOHN JONES ESTATE</b>		
MIAMI PURCHASE SYCAMORE TOWNSHIP	SEC 13, T4, R1 HAMILTON COUNTY, OHIO	
SCALE: 1"= 20'	DATE: 5/1/2018	
DESIGN:	JOB NO.: 755111	
DRAWN: MJW	 WWW.CESOINC.COM	
CHECKED: JH		