

**SYCAMORE TOWNSHIP, OH**  
 DEPARTMENT OF PLANNING & ZONING  
 8540 KENWOOD ROAD, CINCINNATI, OH 45236  
 513.792.7250 PHONE 513.792.8571 FAX

SYCAMORE TOWNSHIP  
 PLANNING & ZONING  
 JAN 22 2019  
 RECEIVED

ZONING COMMISSION APPLICATION			
<b>FEES:</b>			
ZONE CHANGE	\$1,000	MINOR ADJUSTMENT TO A PUD	\$200
PUD I	\$1,000	MAJOR ADJUSTMENT TO A PUD	\$1,000
PUD II	\$1,200	MINOR ADJUSTMENT TO LASR	\$200
LASR	\$1,000	MAJOR ADJUSTMENT TO LASR	\$1,000
THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN			

APPLICATION NUMBER
2019-01P1 DO NOT WRITE IN THIS SPACE

1. PROJECT ADDRESS: 7741 SCHOOL ROAD, CINTI., OHIO ZIP CODE: 45249

2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER
OWNER GREIF PACKAGING LLC	P.O. BOX 8012	DELAWARE	OH	43015	513-530-5700
CONTRACTOR NORTHSHORE CDS	430 READING RD.	CINCINNATI	OH	45250	513-615-0008
DESIGNER ELEVAR DESIGN	555 CARR ST.	CINCINNATI	OH	45203	513-721-0611
APPLICANT LARRY HATFIELD	430 READING RD.	CINCINNATI	OH	45250	513-615-0008
APPLICANTS E-MAIL ADDRESS	LARRY@NORTHSHORECDS.COM				

3. ZONING COMMISSION ACTION REQUESTED:

ZONE CHANGE  FROM ZONE \_\_\_\_\_ TO ZONE \_\_\_\_\_

PUD I  PUD II  LASR

MAJOR ADJUSTMENT TO A PUD  MINOR ADJUSTMENT TO A PUD

MAJOR ADJUSTMENT TO A LASR  MINOR ADJUSTMENT TO A LASR

4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:

MANUFACTURING OF CORRUGATED PAPER & STORAGE OF ROLL STOCK PAPER.

5. SQUARE FEET: 25,870 6. USE: FACTORY/STORAGE 7. HEIGHT: 35'-5"

8. EST. START DATE: \_\_\_\_\_ 9. EST. FINISH DATE: \_\_\_\_\_ 10. # OF SIGNS: \_\_\_\_\_

THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Zoning Commission application.

**NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.**

[Signature] 1/21/19  
 APPLICANT'S SIGNATURE DATE

[Signature] 1.22.19  
 PROPERTY OWNER'S SIGNATURE DATE



Letter of Intent  
PUD 1 for:  
**Combined Containerboard Warehouse Addition**  
7741 School Road  
Cincinnati, Ohio 45249  
February 11, 2019

To: Sycamore Township Zoning Commission

This letter of intent is related to the application for a Planned Unit Development (PUD 1) for the property at 7741 School Road. Information is presented in order of the PUD Application Completeness Checklist for clarity:

- a. **Description of Change of the Premises:** Other than the addition described below, no other changes to the premises are sought. The building function and parking areas are not affected by this proposal. The addition is needed for additional storage of bulk materials that will support the ongoing, successful operation of the facility, which manufactures cardboard products.
- b. **Size of the Area Involved:** The subject property is 13 acres, located on the south side of School Road. Three access drives off of School Road are used for employee traffic as well as truck deliveries. The existing building contains 168,170 square feet and is one story tall. Its use is classified as 'B' (business), 'F-1' (factory), and 'S-1' (storage). The previous addition for new office space and loading docks was constructed in 2011. The existing structure does contain an interior railroad spur located on the south edge of the building. The majority of the existing building is finished with colored metal wall panels with limited areas of painted concrete block. The existing roof is mainly sloped metal roof panels, with some flat roof sections that utilize membrane roofing.
- c. **Description of the Proposed Use:** The proposed addition is to be located at the southeast corner of the existing building. It will contain 25,870 square feet and be one story tall (31ft to the roof ridge). It will be used for storage of bulk paper rolls, used in the manufacture of cardboard. The existing railroad spur will be extended into the new addition. The addition will be slab on grade, utilizing a pre-engineered metal frame, and finished with metal wall panels and sloped metal roof panels. Metal gutters will collect rainwater and discharge to underground storm lines via downspouts. The addition is not proposed to have any exterior signage on it.
- d. **Character of Development:** The character of the proposed addition will closely match that of the main existing building. Exterior wall material will be pre-finished, ribbed metal panels that span from ground to gutter line. Roof panels will be pre-finished, ribbed metal spanning from ridge to gutter. This architectural style will mimic that of the 2011 addition. Gutters and downspouts will carry rainwater away from the building. The addition adds 25,870 sf to the property, located in a grassy area to the southeast of the existing building. No additional paving is proposed except for a new concrete sidewalk that connects one of the egress doors to the

- existing parking area. The look of the new addition is complimentary to the existing building as well as surrounding properties.
- e. **Description of Surrounding Land Uses:** The adjacent properties are a mix of uses. To the north is primarily residential single family homes. To the east is the Clete McDaniels Sports Complex as well as one free standing building also owned by the applicant. The proposed addition is buffered from the Sports Complex by a heavily wooded area that is to remain. To the south is light industrial uses. To the west is the Village Green mobile home park as well as two small light industrial types businesses. The proposed addition is in keeping with the character and density of the immediate surroundings.
  - f. **Changes in Character and Conditions of the Area:** No changes in the character or condition of the area have occurred to prompt this PUD application. The previous PUD (for the 2011 addition) status and use of the property is acceptable for the proposed addition. No changes are necessary to make the property appropriate for the proposed storage use.
  - g. **Effect on Community and Area:**
    - 1. **Effect on Community Objectives and Plans:** As the request is for a building addition that has the same use as the existing building, there is no negative impact on the community objectives and plans. There will be positive effects by having economic growth in the area by means of increased tax base and additional employees.
    - 2. **Character of the Immediate Area:** The character of the immediate area will remain basically the same. The addition will compliment the existing facility and its position on the site (towards the rear of the property) will make it fairly unnoticeable from the main street. Its wall material and height will closely match that of the existing main building.
    - 3. **Adjacent Property:** This proposed addition will not affect adjacent properties. All stormwater accumulated from the new building's roof area will be discharged to existing underground storm sewers and the existing topography will be graded to include a new retention area.
    - 4. **Public Facilities and Services:** The need for public services would grow only in that the added square footage will increase the amount of stored material on site. The addition will be fully sprinklered, as is the main building. The addition's size is not significant and was indicated as future work on the 2011 PUD.
  - h. **Other Information:** The existing building and overall site are well maintained and the property owner makes every effort to abide by Sycamore Township regulations as is evident from the 2011 addition where new landscaping was added between the existing building and School Rd. The owner is experiencing demand for their product and finds it necessary to add production equipment (in the main building) as well as storage (in the addition).

**End of Document**



RVP Surveying  
6230 Centre Park Drive, Suite C  
West Chester, Ohio 45069  
513-823-2175

---

January 22, 2019

Re: Combined Containerboard Expansion

The attached description of the property proposed to be developed is a complete, proper and legal description thereof.

A handwritten signature in blue ink, appearing to read 'Charles J. Kluener', is written over a horizontal line.

Charles J. Kluener  
Ohio Registered Surveyor No. 8057



NON-CONFORMING DOCUMENT  
ADDITIONAL RECORDING FEE  
(ORC 317.114)

0.50  
0.00

Transfer fee  
Conveyance fee  
Total

Convey number: 24058  
Deed number: 243164  
Instr. number: 07/28/2011  
Transfer date: Sec. 319.202, R.C.  
Sec. 322.02 R.C.  
Dusty Rhodes  
Hamilton County Auditor  
Sales amount: 0  
District No. 0

Wayne Coates  
Hamilton County Records Office  
Doc #: 11-0085304 Type: DE  
Filed: 07/28/11 12:26:36 PM \$44.00  
Off.Rec.: 11784 01260 F K22 4 231

b1178401260fb

FOR RECORDER'S USE ONLY

<sup>4</sup>  
**QUIT CLAIM DEED**

COMBINED CONTAINERBOARD, INC., a Delaware corporation (hereinafter "Grantor"), for valuable consideration to it paid by COMBINED CONTAINERBOARD, INC., a Delaware corporation (hereinafter "Grantee"), remises, releases and forever quit claims and assigns to said Grantee, its successors and assigns forever, the following real property (the "Property"):

**See Exhibit A attached hereto**

and all the estate, title and interest of said Grantor either in law or in equity, of, in and to said premises; together with all of the privileges and appurtenances to the same belonging, and all rents, issues and profits hereof; to have and to hold the same to the only proper use of the said Grantee.

Prior Instrument Reference: Official Record Volume 6798, Page 3074 of the Hamilton County, Ohio Records

Official Record Volume 8083, Page 745 of the Hamilton County, Ohio Records

Being the same Property contained in that certain consolidation plat recorded in Plat Book 430, Page 40 of the Hamilton County, Ohio Records.

The purpose of this deed is to place the consolidated legal description of the Property of Record.

11784 1260

Grantor has executed this Deed this 30 day of June, 2011

**GRANTOR:** COMBINED CONTAINERBOARD, ~~INC.~~ <sup>INC.</sup>  
a Delaware corporation

*PHILIP WENGER*

Printed Name: Philip Wenger

Title: Vice-President and General Manager

STATE OF OHIO )

: SS:

COUNTY OF HAMILTON )

The foregoing instrument was acknowledged before me this 30 day of June, 2011 by Philip Wenger, the Vice President and General Manager of COMBINED CONTAINERBOARD, INC., a Delaware corporation, on behalf of the corporation.

*Diana M. Tibbetts*

Notary Public

**DIANA M. TIBBETTS**  
Notary Public, State of Ohio  
My Commission Expires 05-09-2015

11784 1261

**Exhibit A**

Situated in Sections 1 and 7, Town 3, Entire Range 2, Sycamore Township, Hamilton County, Ohio and being all of Lot 11 and Part of Lot 10 of Nordloh's First Industrial Subdivision, as recorded in Plat Book 112, Pages 5 and 6, the same being conveyed to Combined Containerboard Inc. in Official Record 8083, Page 745 and Official Record 6798, Page 3074 of the Hamilton County, Ohio Recorder's Office, and being more particularly described as follows:

Begin at a found 5/8" iron pin (McGill Smith Punshon) at the Northwest corner of the above mentioned Lot 11, said iron pin also being at the intersection of the existing South right-of-way line of School Road (60' R/W) with the existing East right-of-way line of the Cincinnati, Lebanon & Northern Railroad (60' R/W) and the TRUE POINT OF BEGINNING;

60  
1000-0003-  
thence, from the TRUE POINT OF BEGINNING and with the existing South right-of-way line of the above mentioned School Road, North 87°16'17" East, passing a found 5/8" iron pin (McGill Smith Punshon) at 422.00 feet, a total distance of 651.85 feet to a found mag-nail at the Northwest corner of a 5.07 acre tract conveyed to Combined Containerboard Inc. in Official Record 7440, Page 538;

100-0013-  
thence, leaving the existing South right-of-way line of the above mentioned School Road, and with the West line of the above mentioned 5.07 acre tract, South 04°46'32" West, 847.78 feet to a found 5/8" iron pin (McGill Smith Punshon) on the North line of a 5.93 acre tract conveyed to The Cincinnati Gas & Electric Company in Deed Book 3403, Page 556, the same being the North line of Lot 1 of the above mentioned Nordloh's First Industrial Subdivision;

600-0013-  
thence, leaving the East line of the above mentioned 5.07 acre tract and with the North line of the above mentioned 5.93 acre tract, South 88°30'07" West, 231.41 feet to a found mag-nail in a concrete monument at the Northeast corner of a 5.0103 acre tract conveyed to The Cincinnati Gas & Electric Company in Deed Book 2950, Page 355;

thence, leaving the North line of the above mentioned 5.93 acre tract and with the North line of the above mentioned 5.0103 acre tract and also a 5.1171 acre tract conveyed to The Cincinnati Gas & Electric Company in Deed Book 2808, Page 9, North 85°08'19" West, 569.84 feet to a set 5/8" iron pin on the existing East right-of-way line of the above mentioned Cincinnati, Lebanon & Northern Railroad, the same being the Southwest corner of Lot 11 of the above mentioned Nordloh's First Industrial Subdivision;

thence, with the existing East right-of-way of the above mentioned Cincinnati, Lebanon & Northern Railroad, the following two courses: along a curve to the left having a radius of 1402.09 feet, an arc length of 646.76 feet, a chord bearing North 18°30'10" East, and a chord length of 641.04 feet;

thence, North 05°17'17" East, 164.44 feet to the TRUE POINT OF BEGINNING.

Containing 12.9984 acres of land and subject to all easements and rights-of-way of record. The basis of bearings is NAD83 Ohio State Plane Coordinates, South Zone (3402).

11784 1262

DESCRIPTION ACCEPTABLE  
HAMILTON COUNTY ENGINEER

Tax Map - 7-28-11 23

CAGIS - \_\_\_\_\_

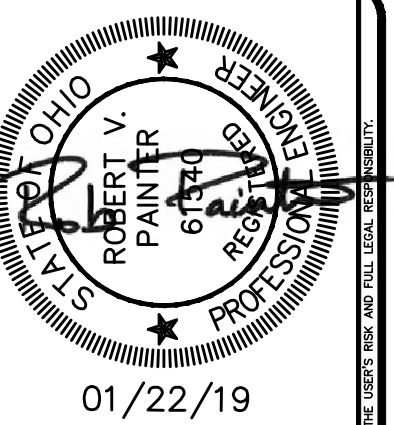
The above description was prepared from a survey made on June 15, 2011 under the direction of Joan M. Bolser, Ohio Professional Surveyor #8493.

The above description is a complete, proper and legal description of the property.

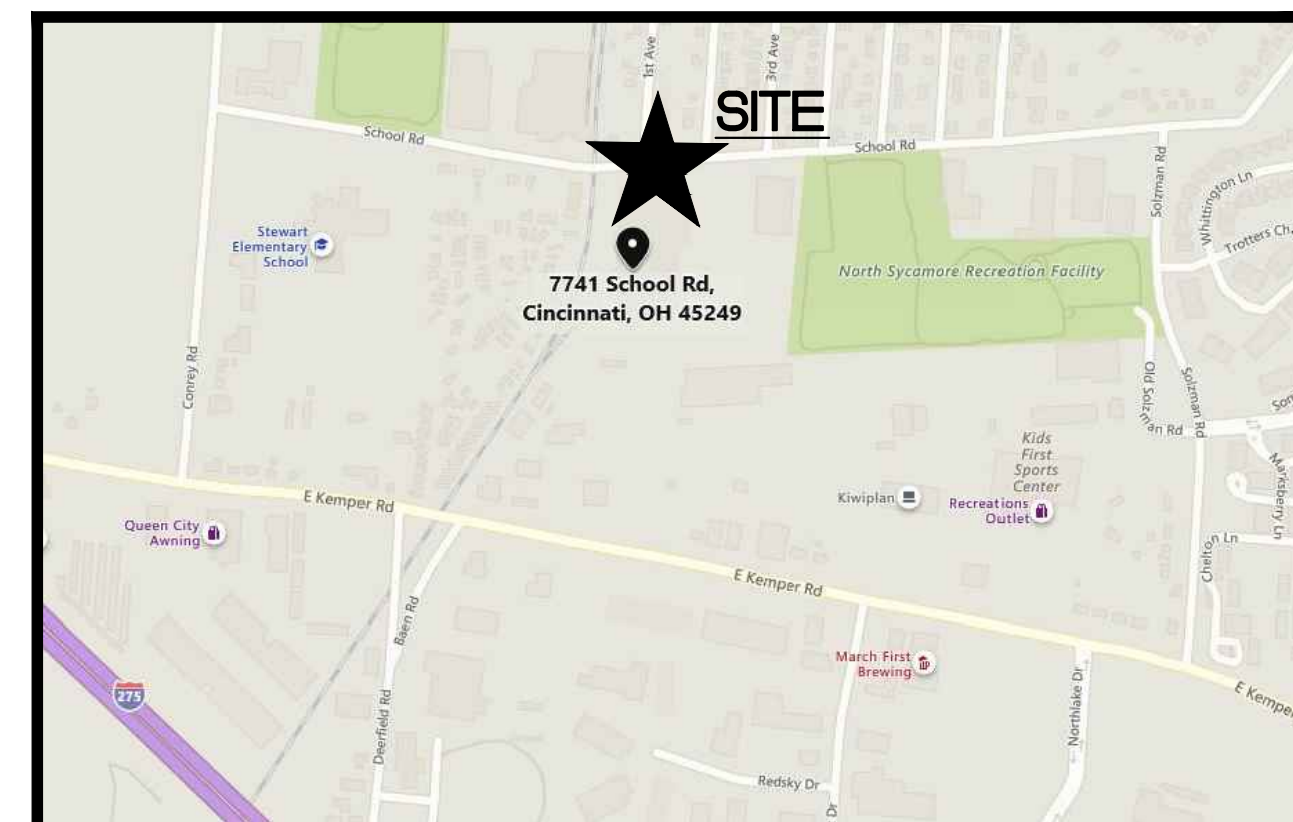
11784 1263



# PRELIMINARY DEVELOPMENT PLAN COMBINED CONTAINERBOARD EXPANSION



7741 SCHOOL ROAD  
SYCAMORE TOWNSHIP, HAMILTON COUNTY, OHIO



VICINITY MAP  
NOT TO SCALE

**GENERAL NOTES**

- ALL PLANS & CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT "RULES AND REGULATIONS" OF SYCAMORE TOWNSHIP, HAMILTON COUNTY, AND APPLICABLE OHIO DEPARTMENT OF TRANSPORTATION STANDARDS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
- THE CONTRACTOR IS TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND FURNISH OWNER'S REPRESENTATIVE WITH WRITTEN REPORTS. **OWNER WILL OBTAIN OHIO EPA PERMITS.**
- ITEM NUMBERS REFER TO THE OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS, AND ALL CONSTRUCTION WORK SHALL BE DONE ACCORDING TO SAID SPECIFICATIONS AND IN ACCORDANCE WITH APPLICABLE STANDARDS OF SYCAMORE TOWNSHIP AND HAMILTON COUNTY. WHEN IN CONFLICT, SYCAMORE TOWNSHIP REQUIREMENTS SHALL PREVAIL.
- CONTRACTOR TO REMOVE TREES AND CLEAR AREAS AS NECESSARY TO PERFORM ALL SITE WORK INCLUDING GRADING AND UTILITY WORK.
- PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
- ALL FILL UNDER PAVEMENT SHALL BE COMPACTED TO THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS AND THE SPECIFICATIONS.
- COMPACTED FILLS ARE TO BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO CUTTING OF TRENCHES FOR PLACEMENT OF SAID SEWERS. ALL FILLS SHALL BE CONTROLLED, COMPACTED, AND INSPECTED BY AN APPROVED TESTING LABORATORY OR AN INSPECTOR FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK BY IMPORTING OR EXPORTING AS NECESSARY TO ACHIEVE DESIGN GRADES AND SPECIFICATIONS.
- ADJUST ALL EXISTING CASTINGS AND CLEANOUTS WITHIN PROJECT AREA TO GRADE AS REQUIRED.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL, PRACTICES REQUIRED BY SYCAMORE TOWNSHIP, HAMILTON COUNTY, AND THE OHIO EPA.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH ODOT ITEM 659.
- ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER.
- ALL STORM STRUCTURES ARE ODOT TYPES UNLESS OTHERWISE INDICATED.
- STORM SEWER PIPE LABELED "STM" SHALL BE ONE OF THE FOLLOWING: PVC SDR-35, PVC PROFILE PIPE PER ODOT ITEM 707.42, HIGH DENSITY POLYETHYLENE PER ODOT ITEM 707.33, ALUMINIZED CORRUGATED METAL, ODOT ITEM 707.01, 707.02, OR REINFORCED CONCRETE PIPE, ODOT ITEM 706.02 CLASS IV. STORM SEWER PIPE LABELED "RCP" SHALL BE REINFORCED CONCRETE PIPE, ODOT ITEM 706.02 CLASS IV. ALL STORM IS TO BE INSTALLED PER ODOT ITEM 611. ALL STORM PIPE USED MUST HAVE A MANUFACTURER SPECIFIED FRICTION FACTOR OF 0.015 (n=0.015) OR LESS.
- ALL WATERMAIN CROSSINGS SHALL MAINTAIN A VERTICAL SEPARATION OF 18" MINIMUM. SANITARY SEWER SHALL BE LOCATED A MINIMUM OF 18" BELOW WATERMAIN AT ALL CROSSINGS. WATERMAIN SHALL BE LOCATED A MINIMUM OF 10' HORIZONTALLY FROM ANY SANITARY SEWER. ALL MEASUREMENTS SHALL BE TAKEN FROM OUTSIDE OF SEWER PIPE TO THE OUTSIDE OF WATERMAIN PIPE. ONE FULL LENGTH OF WATERMAIN PIPE SHALL BE LOCATED AT ALL CROSSINGS TO ENABLE BOTH JOINTS TO BE LOCATED AS FAR FROM SEWER AS POSSIBLE. ALL WATER SHALL HAVE A MINIMUM OF 4' OF COVER.
- ALL CATCH BASINS IN THE PAVEMENT OR CURB ARE TO HAVE 4" PERFORATED UNDERDRAINS EXTENDING 12 LF FROM THE CATCH BASIN IN EACH UPHILL DIRECTION.
- ANY FIELD TILE CUT IN EXCAVATION WHICH DRAINS AN OFFSITE AREA MUST BE TIED INTO THE STORM DRAINAGE SYSTEM.
- ALL CATCH BASINS WITH DEPTH GREATER THAN 4.5' SHALL BE PROVIDED WITH DUCTILE IRON, CAST ALUMINUM, OR STEEL REINFORCED PLASTIC STEPS. STEPS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 611.
- DISTANCES SHOWN FOR BOTH SANITARY AND STORM SEWER PIPES ARE MEASURED FROM CENTER OF STRUCTURE. CONTRACTOR RESPONSIBLE FOR ACTUAL FIELD CUT LENGTH. COORDINATES FOR STORM & SANITARY STRUCTURES ARE SHOWN TO THE CENTER OF STRUCTURE.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS. IF THERE ARE ANY CONFLICTS NOTIFY THE ENGINEER IMMEDIATELY.
- FORTY-EIGHT HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: THE OHIO UTILITY PROTECTION SERVICES (OUPS), AND ALL OTHER AGENCIES WHICH MAY HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF OHIO UNDERGROUND PROTECTION, INC.
- CONTRACTOR TO REMOVE & REPLACE PAVEMENT AS SPECIFIED.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- SITE SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

PUD SHEET INDEX

TITLE SHEET	1
EXISTING FEATURES & ZONING PLAN	2
PROPOSED FEATURES PLAN	3
PROPOSED GRADING PLAN	4

**ENGINEER**

RVP ENGINEERING, LLC  
ROB PAINTER, P.E.  
6230 SUITE C, CENTRE PARK DRIVE  
WEST CHESTER, OHIO 45069  
513-403-1084

**APPLICANT**

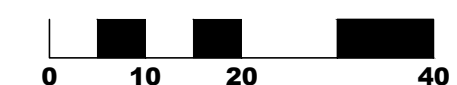
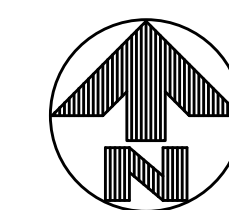
RVP ENGINEERING, LLC  
ROB PAINTER, P.E.  
6230 SUITE C, CENTRE PARK DRIVE  
WEST CHESTER, OHIO 45069  
513-403-1084

**OWNER**

COMBINED CONTAINERBOARD INC  
7741 SCHOOL ROAD  
CINCINNATI, OHIO 45249

PROPOSED FEATURES NOTES:

- PERIMETER BOUNDARY AREA OF SITE: 12.998 AC.
- ZONE (GROSS) AREA OF ENTIRE SITE INCLUDING RIGHT OF WAY: 13.08 AC.
- ZONE (GROSS) AREA OF ENTIRE SITE INCLUDING THE CENTERLINE OF SCHOOL RD AND 1ST AVE: 13.55 AC.
- PROPOSED USE OF SITE: WAREHOUSE/INDUSTRIAL.
- IMPERVIOUS SURFACE RATIO: 0.65.
- NEW BUILDING EXPANSION
- EXISTING BUILDING SF = 168,170.
- PROPOSED EXPANSION SF = 25,870
- 52 EXISTING PARKING SPACES, 34 PARKING SPACES REQUIRED DURING MAX SHIFT.
- NO ROADWAY IMPROVEMENTS AND CONSTRUCTION IS LIMITED TO THE PROPERTY BOUNDARIES.



**NOTE:**  
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



REVISIONS

NO.	DATE	DESCRIPTION

**CONTAINERBOARD**  
 7741 SCHOOL RD  
 SYCAMORE TOWNSHIP  
 TITLE SHEET

SCALE:  
DATE: 10/24/18  
DRAWN: JGR  
DESIGNED: JGR  
CHECKED: RVP  
XREF:  
JOB NO.: 18091

CONTAINERBOARD

Page  
1  
OF  
4



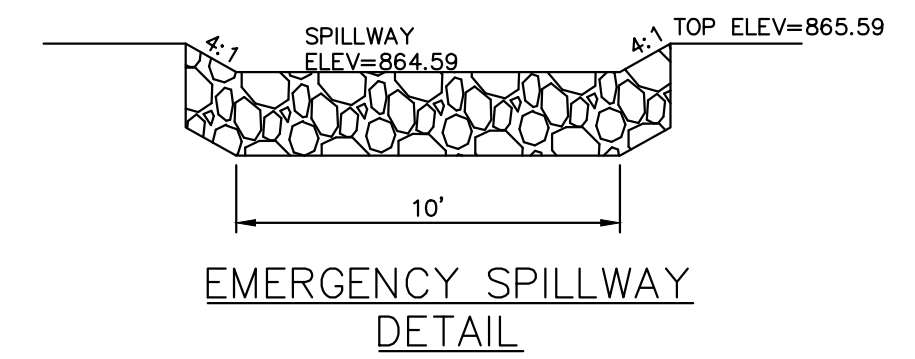
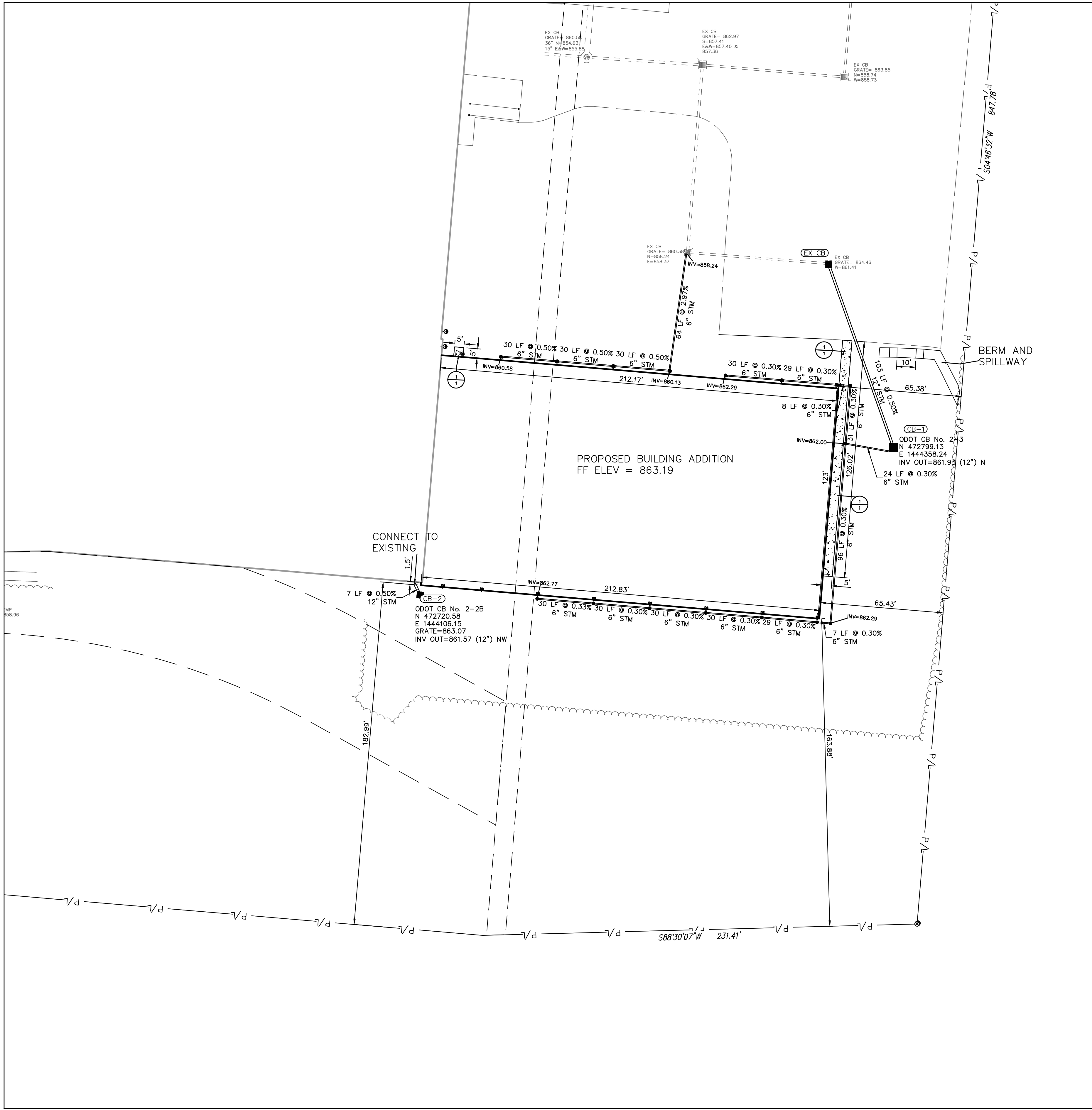




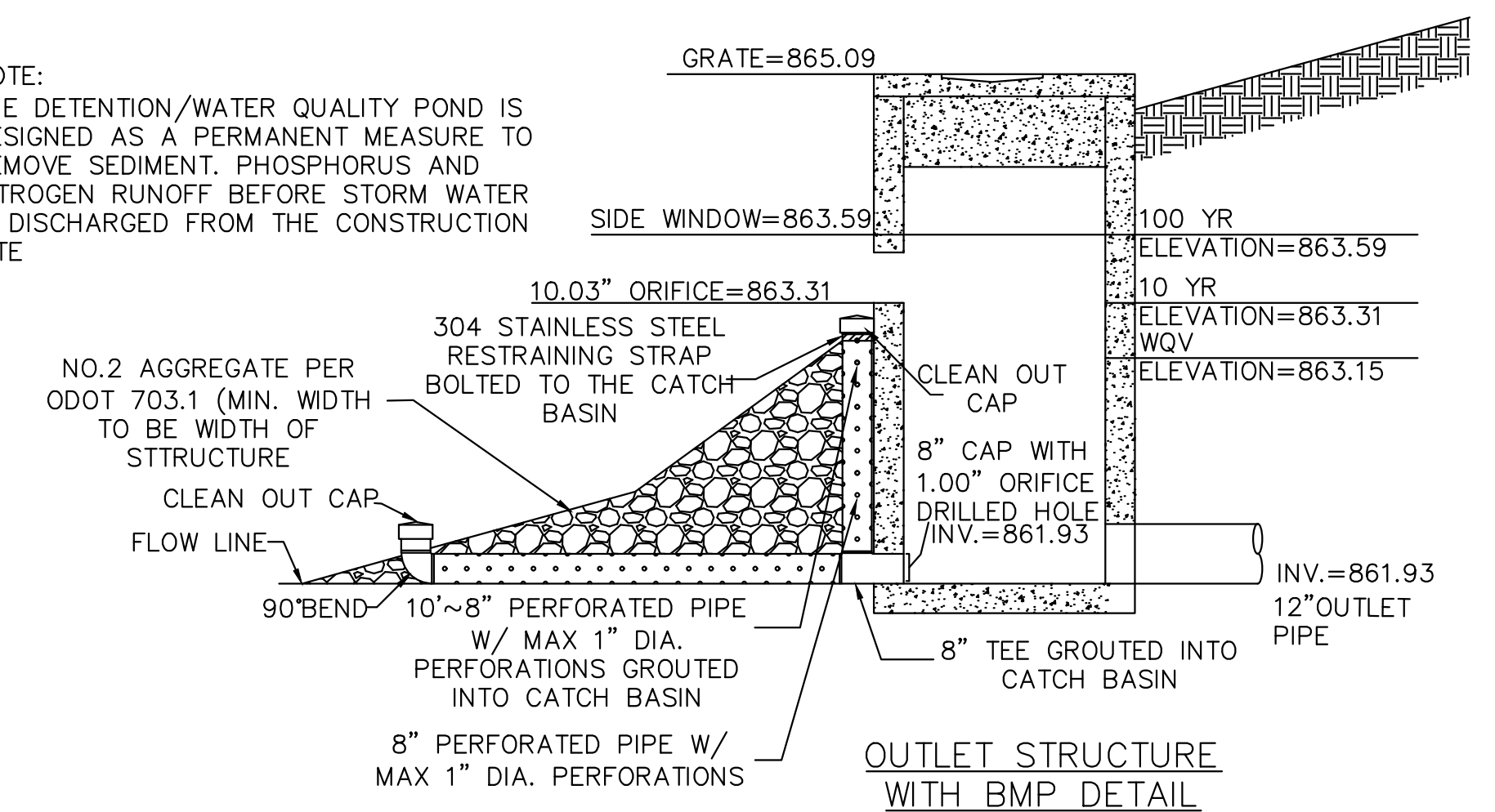
NO.	REVISIONS

**CONTAINERBOARD**  
7741 SCHOOL RD  
SYCAMORE TOWNSHIP

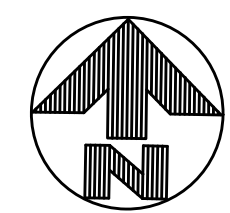
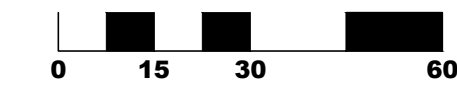
**PROPOSED FEATURES PLAN**



NOTE:  
THE DETENTION/WATER QUALITY POND IS DESIGNED AS A PERMANENT MEASURE TO REMOVE SEDIMENT, PHOSPHORUS AND NITROGEN RUNOFF BEFORE STORM WATER IS DISCHARGED FROM THE CONSTRUCTION SITE



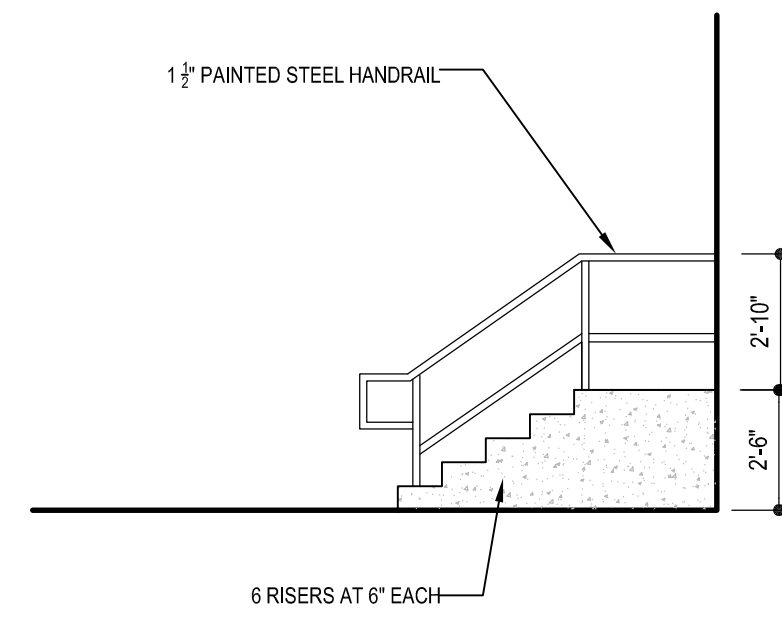
NOTE:  
8" ORIFICE AND 12" OUTLET PIPES ARE TO BE CAST IN CONCRETE WALLS OR GROUDED SOLID (WATER TIGHT) WITHIN THE ANNULAR SPACE BETWEEN THE PIPE AND STRUCTURE. THE OUTLET PIPE MUST BE LAID ON A REINFORCED CONCRETE PAD OR FLOWABLE CONTROL DENSITY FILL. ANTI-SEEP COLLARS ARE AN ACCEPTABLE ALTERNATIVE.



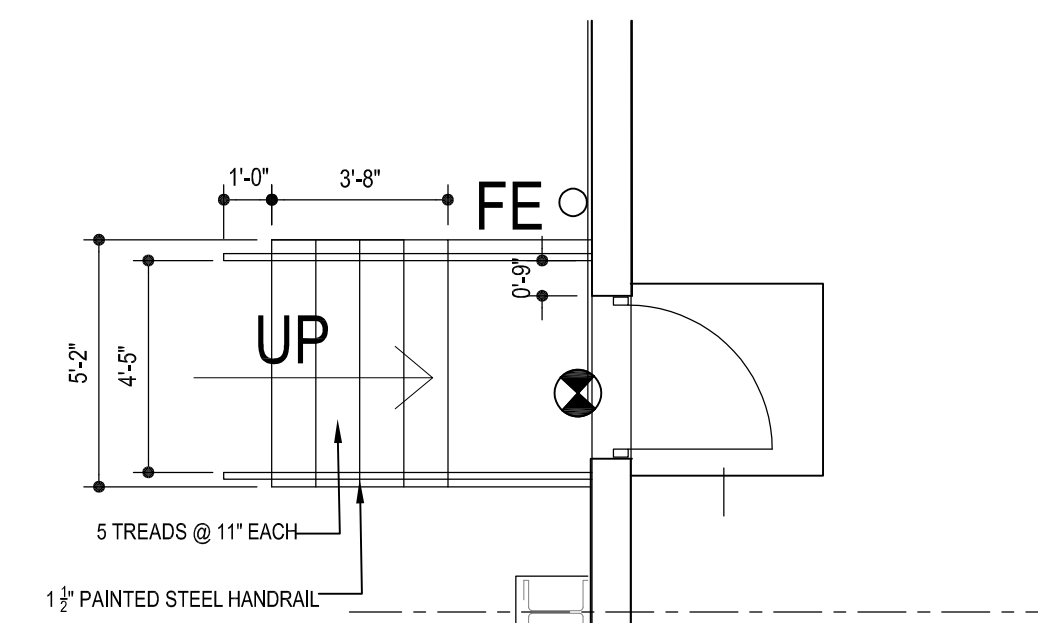
SCALE:  
DATE: 10/24/18  
DRAWN: JGR  
DESIGNED: JGR  
CHECKED: RVP  
XREF:  
JOB NO.: 18091



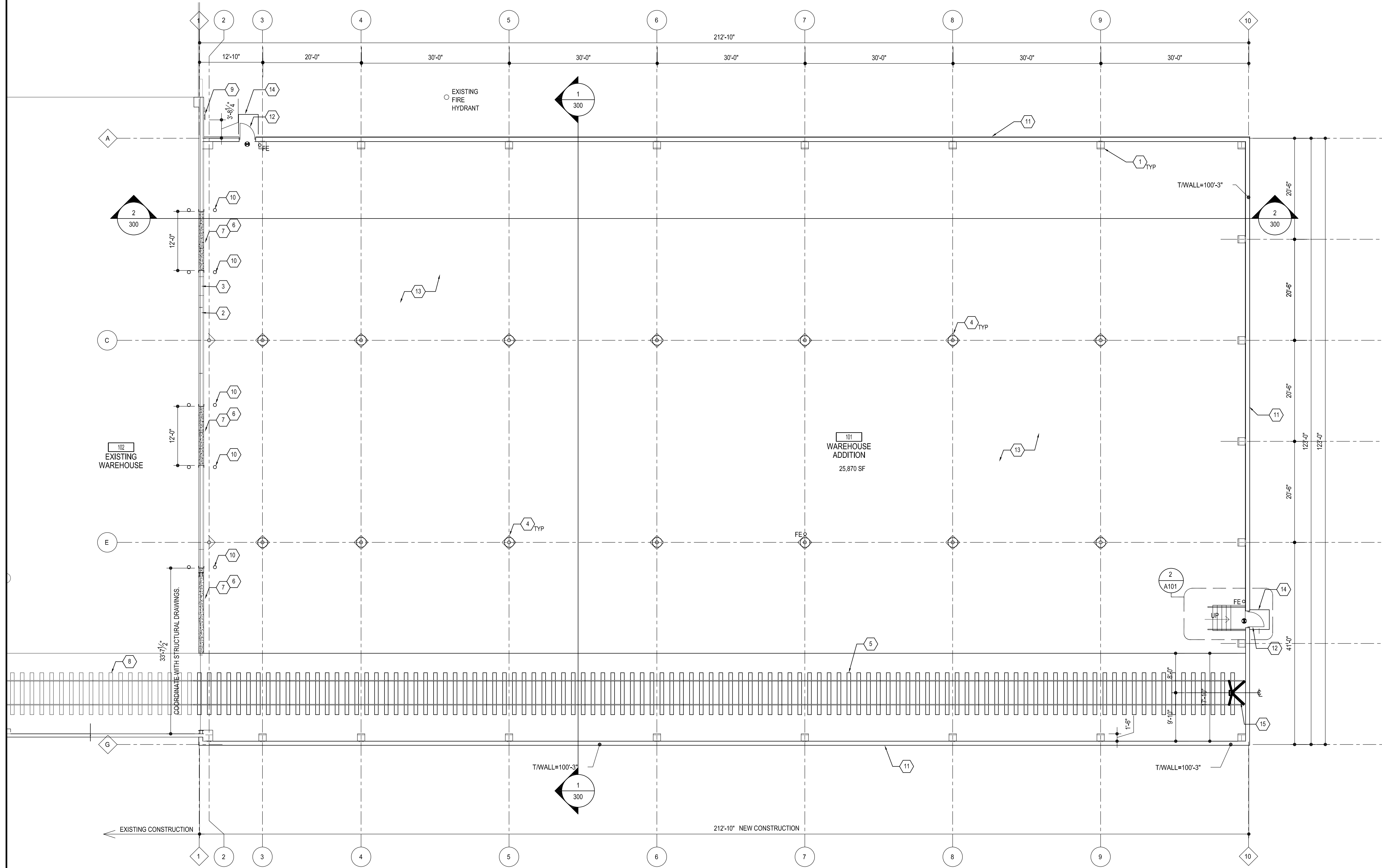




**ENLARGED STAIR SECTION**  
SCALE: 1/4" = 1'-0"



**ENLARGED STAIR FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



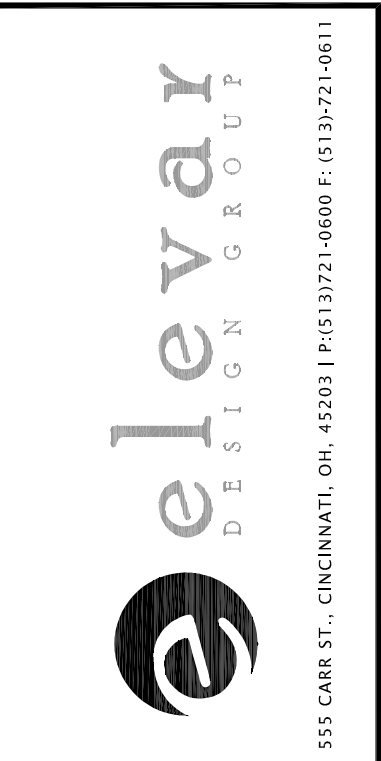
**FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

**GENERAL NOTES**

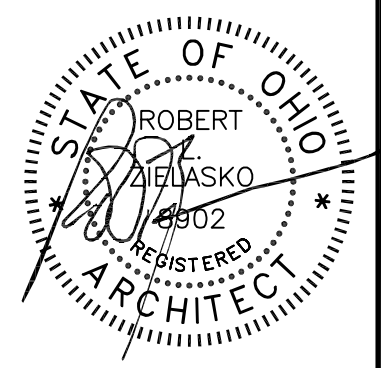
- A. REFER TO CIVIL DRAWINGS FOR FINAL GRADING AND COORDINATE.
- B. CONTRACTOR SHALL HAVE LOCATED ON-SITE ALL UNDERGROUND UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO BREAKING GROUND.
- C. TYPICAL MOUNTING HEIGHTS FOR FIXTURES AND ACCESSORIES TO FOLLOW PROPOSED A.D.A. REGULATIONS FOR ADULTS.
- D. ALL WALLS TO BE EXTENDED TO UNDERSIDE OF STRUCTURE ABOVE U.N.O.
- E. SEE STRUCTURAL SHEETS FOR FRAMING PLANS AND DETAILS.
- F. ALL EXPOSED INDOOR CONCRETE SLABS TO BE SEALED.
- G. THE INFORMATION GIVEN HEREIN AND ON THE PLANS IS AS EXACT AS COULD BE SECURED FOR BIDDING PURPOSES. ACCURACY IS TO BE FIELD VERIFIED. CONTRACTORS MUST EXAMINE THE JOB CONDITIONS AND VERIFY ALL MEASUREMENTS, DISTANCES, ELEVATIONS, CLEARANCES, ETC. AND BASE THE BID AND WORK ON VERIFIED CONDITIONS.
- H. DIMENSIONS ARE STRUCK TO PARTITION AND WALL FIRST-LAID SUBSTRATES (FACE OF STUD, FACE OF CMU) UNLESS NOTED OTHERWISE.
- I. ALL OPENINGS IN MASONRY WALLS TO HAVE LINTELS. SEE ALSO STRUCTURAL DRAWINGS FOR LINTEL TYPES.
- J. ALL INTERIOR WALLS TO UNDERSIDE OF DECK UNLESS NOTED OTHERWISE- COORDINATE WITH STRUCTURAL DRAWINGS.
- K. PROVIDE INSULATION AT ALL VOIDS, POCKETS, ETC. AT ALL EXTERIOR WALLS WHERE WALLS TERMINATE AT UNDERSIDE OF DECK- COORDINATE WITH WALL SECTIONS AND SPECIFICATIONS.
- L. THE ENTIRE PERIMETER OF THE BUILDING SHALL HAVE PERIMETER INSULATION- COORDINATE WITH WALL SECTIONS.

**DRAWING NOTES**

- 1. STEEL COLUMN REFER TO STRUCTURAL DRAWING
- 2. EXISTING CMU WALL
- 3. EXISTING METAL LOUVER
- 4. 36" HIGH COLUMN PROTECTION
- 5. RAILROAD SPUR EXTENSION
- 6. NEW CONCRETE SLAB TO FLUSH WITH EXISTING. REFER TO STRUCTURAL DRAWINGS
- 7. PROVIDE NEW CONCRETE INFILL @ AREA OF REMOVED CMU WALL
- 8. EXISTING RAILROAD TRACK
- 9. EXISTING FIRE RISER VALVE ON EXTERIOR OF EX. BLDG
- 10. 6" DIA X 48" HIGH PAINTED STEEL BOLLARD. SEE DETAIL 5/A310
- 11. PREFINISHED METAL WALL PANELS ON STEEL GIRTS
- 12. 3'-0" X 7'-0" HOLOW METAL FLUSH DOOR WITH HM FRAME. PROVIDE 1 1/2" PAIR HINGES, LEVER LOCKSET WITH OFFICE FUNCTION, CLOSER, WEATHER STRIPPING, ADA COMPLIANT THRESHOLD, AND DOOR SILENCER.
- 13. CONCRETE FLOOR - SEE STRUCTURAL DRAWINGS.
- 14. CONCRETE PAD - SEE CIVIL DRAWINGS.
- 15. STEEL BUMPING POST PER GOVERNING RAILROAD REQUIREMENTS.



**Combined Containerboard Warehouse Addition**  
 7741 School Road, Cincinnati, OH 45249  
**North Shore Construction & Development Services**  
 P. O. Box 14652, Cincinnati, Ohio 45250

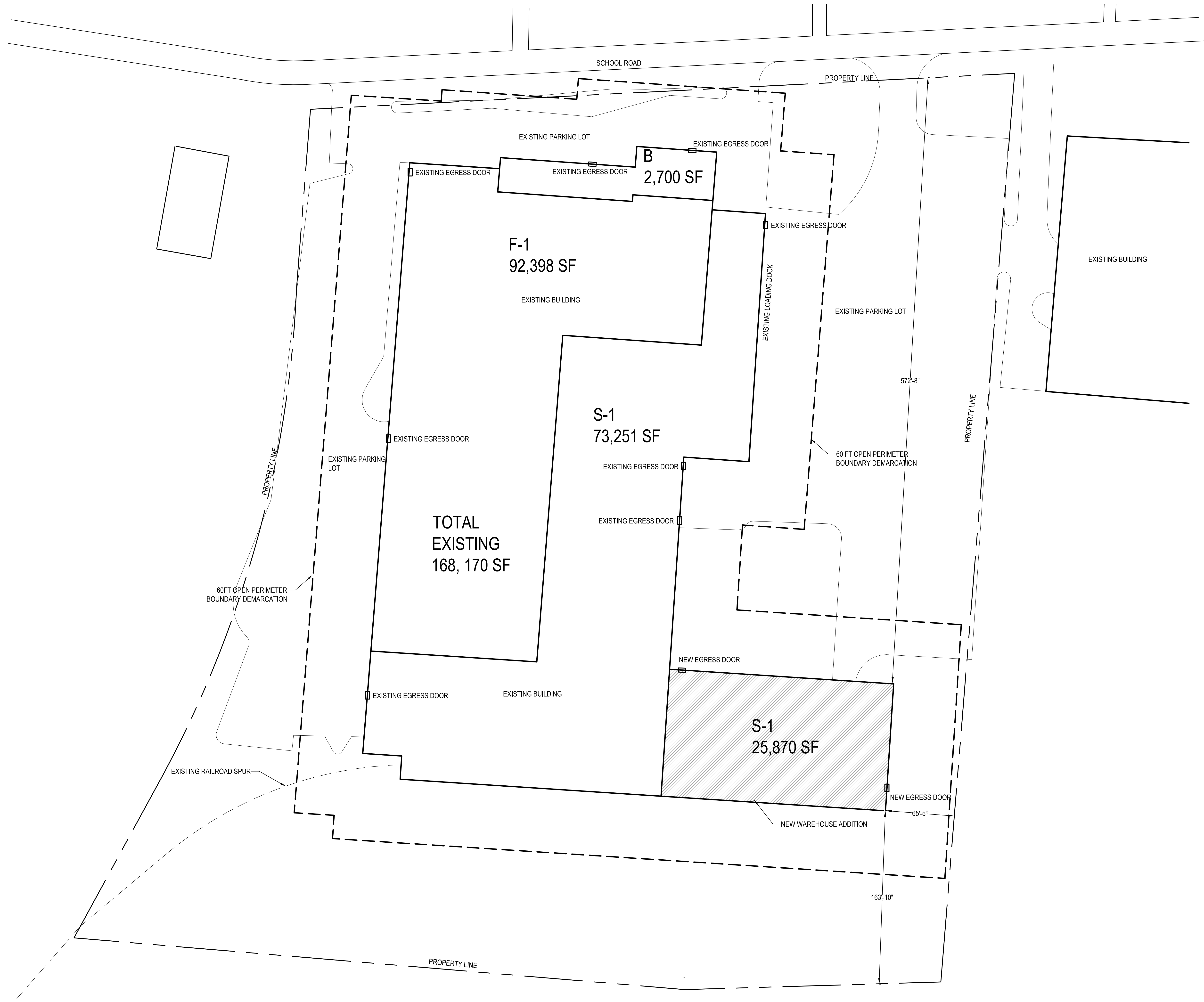


ISSUED	DATE
PERMIT SUBMITTAL	12/18/18
SHEET TITLE	
<b>FIRST FLOOR PLAN</b>	
SCALE AS NOTED	COMM. NO. E-10330
DRAWN BY BB	DATE DEC 2018
SHEET #	
<b>A101</b>	

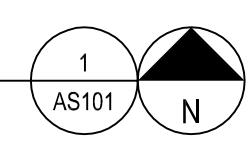








ARCHITECTURAL SITE PLAN  
SCALE: NTS



Robert L. Zielasko, License #8808902  
Expiration Date: 12/31/2019

ISSUED	DATE
PERMIT SUBMITTAL	12/18/18
SHEET TITLE	

ARCHITECTURAL  
SITE PLAN


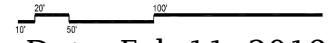
SCALE	COMM. NO.
AS NOTED	E-10330
DRAWN BY	DATE
BB	DEC 2018
SHEET #	

AS101





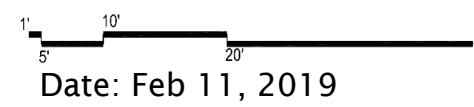
- GRASS / FOLIAGE
- PUBLIC ROADS
- NOT IN CONTRACT
- PARKING AREA
- NEW ADDITION
- EXISTING WAREHOUSE
- TREE LINE/ LANDSCAPING

  
  
 Date: Feb 11, 2019



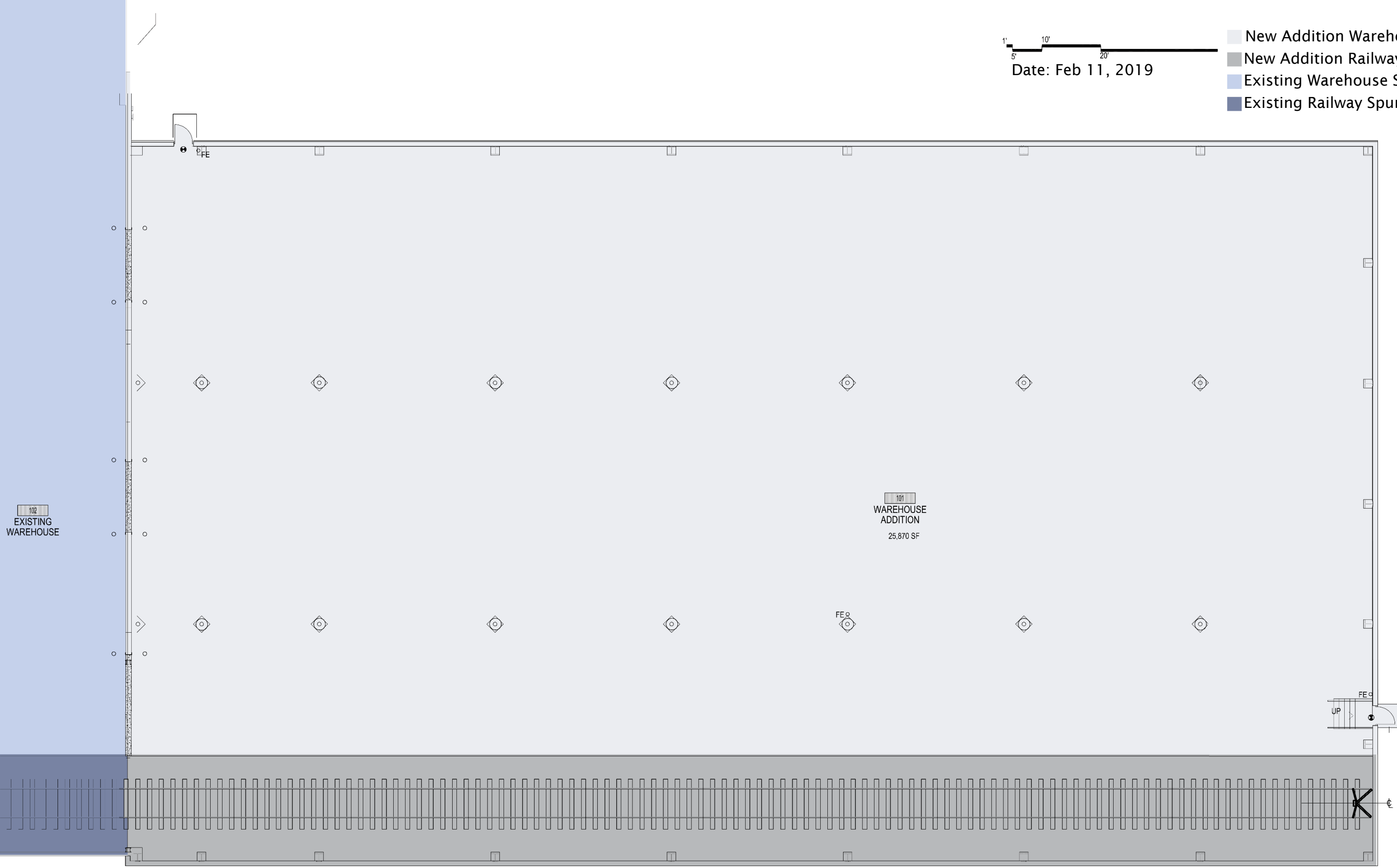
North Shore Construction and Development Service:  
 Combined Containerboard Warehouse Addition  
**PUD Concept Plan**  
 7741 School Road, Cincinnati, OH 45249





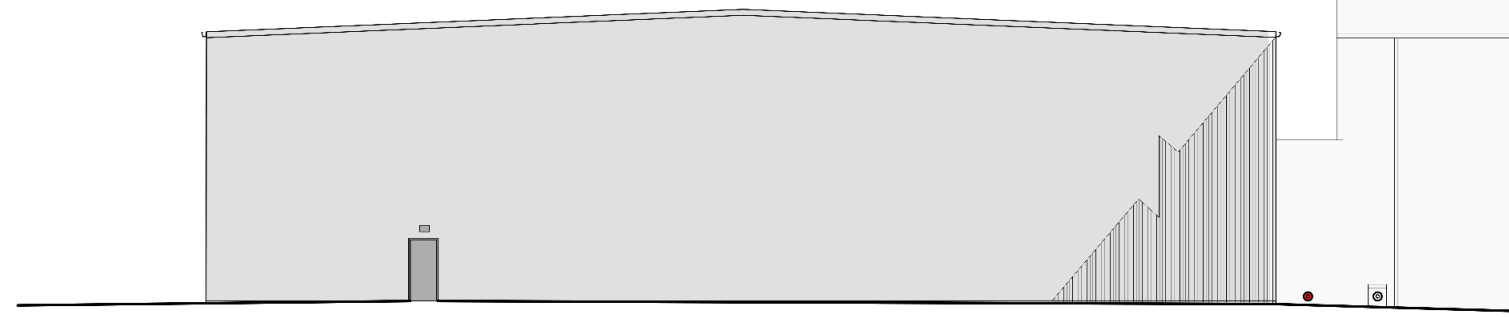
Date: Feb 11, 2019

- New Addition Warehouse Space
- New Addition Railway Spur
- Existing Warehouse Space
- Existing Railway Spur

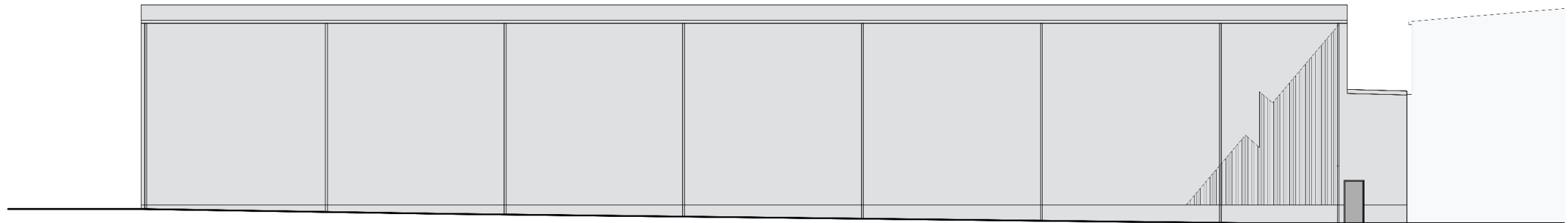


North Shore Construction and Development Service:  
 Combined Containerboard Warehouse Addition  
 7741 School Road, Cincinnati, OH 45249

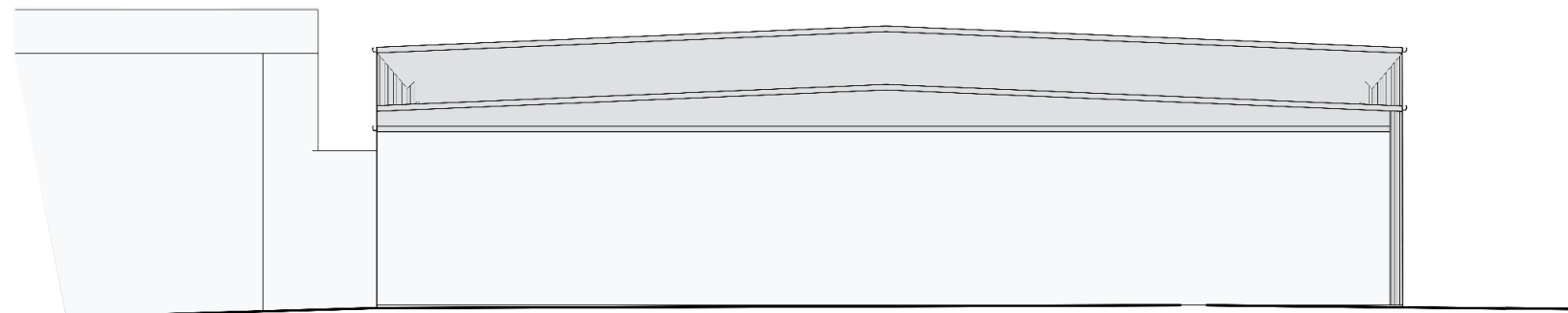




**EAST ELEVATION**  
NOT TO SCALE



**NORTH ELEVATION**  
NOT TO SCALE



**WEST ELEVATION**  
NOT TO SCALE



**SOUTH ELEVATION**  
NOT TO SCALE

North Shore Construction and Development Service:  
Combined Containerboard Warehouse Addition  
7741 School Road, Cincinnati, OH 45249  
Date: Feb 11, 2019