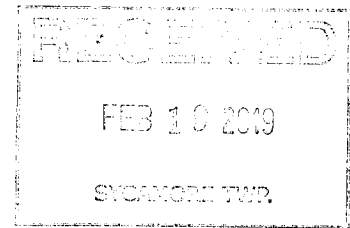


SYCAMORE TOWNSHIP, OH
 DEPARTMENT OF PLANNING & ZONING
 8540 KENWOOD ROAD, CINCINNATI, OH 45236
 513.792.7250 PHONE 513.792.8564 FAX



ZONING COMMISSION APPLICATION			
FEES:			
ZONE CHANGE	\$1,000	MINOR ADJUSTMENT TO A PUD	\$200
PUD I	\$1,000	MAJOR ADJUSTMENT TO A PUD	\$1,000
PUD II	\$1,200	MINOR ADJUSTMENT TO LASR	\$200
LASR	\$1,000	MAJOR ADJUSTMENT TO LASR	\$1,000
THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN			

APPLICATION NUMBER
2019-03MA DO NOT WRITE IN THIS SPACE

1. PROJECT ADDRESS: 7745 E Kemper Rd ZIP CODE: 45249

2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER
OWNER United Dairy Farmers	3955 Montgomery Rd	Cincinnati		45212	513-396-8700
CONTRACTOR					
DESIGNER Hixson Inc	659 Van Meter St	Cincinnati		45202	513-241-1230
APPLICANT Hixson Inc	659 Van Meter St	Cincinnati		45202	513-241-1230
APPLICANTS E-MAIL ADDRESS nkluender@hixson-inc.com					

3. ZONING COMMISSION ACTION REQUESTED:

ZONE CHANGE FROM ZONE _____ TO ZONE _____
 PUD I PUD II LASR
 MAJOR ADJUSTMENT TO A PUD MINOR ADJUSTMENT TO A PUD
 MAJOR ADJUSTMENT TO A LASR MINOR ADJUSTMENT TO A LASR

4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:
 Current building is office use. Proposed use is light manufacturing (production facility) and office use.
 Manufacturing will be 27,800sf, remaining will be office use at 17,700 sf.

5. SQUARE FEET: 45,522 6. USE: Light Manufacturing 7. HEIGHT: 20'
 8. EST. START DATE: March 15, 2019 9. EST. FINISH DATE: Sept 1, 2019 10. # OF SIGNS: N/A

THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Zoning Commission application.

NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.

Charles D. Fite 2-18-2019
 APPLICANT'S SIGNATURE DATE
Charles D. Fite 2-18-2019
 PROPERTY OWNER'S SIGNATURE DATE

February 19, 2019

Sycamore Township
Department of Planning and Zoning
8540 Kenwood Rd
Cincinnati, OH 45236

Re: United Dairy Farmers
Doughnut Processing Plant Renovation Project
Hixson Job No. 9986.20

Letter of Intent

The following items are included in the scope of this project:

Building

- Renovation from office use to a Food Production Facility.
- Exhaust Fans (3) to be added onto the roof.
- Repaint Mansard roof.
- No signage changes.
- Modify the store front to add double entrance doors.
- No other exterior building modifications.

Site

- Parking Layout will be modified.
- Site lighting to be revised.
- Relocate two (2) dumpsters to west side of building.
- All new or existing utility equipment will be fenced or screened.
- The surrounding land uses of the project site is Zoned "F" on the west, east and South and is a mix of production and office facilities. To the north of Kemper Rd the land use is zoned "A" and "OO" and is being used as office space.

HIXSON



Neil R. Kluender, PMP, LEED AP BD+C
Senior Project Manager

RECEIVED

FEB 19 2019

SYCAMORE TWP.



February 19, 2019

Sycamore Township
Department of Planning and Zoning
8540 Kenwood Rd
Cincinnati, OH 45236

Re: United Dairy Farmers
Doughnut Processing Plant Renovation Project
Hixson Job No. 9986.20

PUD Application completeness checklist

2. Letter of intent

- a. Building use changes from an office to food production facility.
- b. 27,800 sf.
- c. Existing building use is an office. Proposed change to light manufacturing (food manufacturing facility).
- d. Existing building exterior treatment will not be changed, no additions to be added. The mansard roof to be repainted. A new double door entry will be added. Interior modifications as required.
- e. The surrounding land uses of the project site is Zoned "F" on the west, east and South and is a mix of production and office facilities. To the north of Kemper Rd the land use is zoned "A" and "OO" and is being used as office space.
- f. Existing building, no additions, minimal exterior modifications (see Item 2d above)
- g. (1) The proposed change fits within 'FF' zoning and therefor fits within the community objectives and plans. (2) The existing building exterior will remain the same (a new entry door will be added at front of building, the mansard roof will be repainted, several existing window/wall panels will be removed and replaced with dock doors at the rear of the building), new landscaping will be added (3) minimal changes will have no effect on the adjacent property (4) A new water line will be required for this project.

HIXSON

A handwritten signature in black ink, appearing to read "Neil Kluender". The signature is fluid and cursive.

Neil R. Kluender, PMP, LEED AP BD+C
Senior Project Manager

TITLE COMMITMENT NOTES
 CHICAGO TITLE INSURANCE COMPANY COMMITMENT NUMBER
 36-0143-010-1778 DATED DECEMBER 21, 2018 @ 7:59 A.M. (TRACT I) & DECEMBER 26, 2018 @ 7:59 A.M. (TRACT II)

- 1-12. ITEMS INTENTIONALLY OMITTED, NOT ADDRESSED HEREON.
- 13. TEMPORARY CONSTRUCTION EASEMENT AS RECORDED IN D.B. 6701, PG. 412 IS SHOWN HEREON.
- 14. DOCUMENT NOT PROVIDED.
- 15. EASEMENTS AS RECORDED IN D.B. 4289, PG. 553 ARE LISTED BELOW AND SHOWN HEREON.

- INGRESS, EGRESS & UTILITY EASEMENT
- 10' STORM SEWER EASEMENT
- 24" WIDE CINCINNATI BELL EASEMENT

• 10' WIDE SANITARY SEWER EASEMENT IS NOT ABLE TO BE PLOTTED, EXTENTS OF SANITARY SEWER LATER UNKNOWN.

16. EASEMENT AS RECORDED IN O.R. 7204, PG. 1530 DOES NOT ENCUMBER THE SUBJECT PROPERTY. THE EASEMENT IS WITHIN THE RIGHT OF WAY OF EAST KEMPER ROAD.

17. TEMPORARY CONSTRUCTION EASEMENT AS RECORDED IN O.R. 7230, PG. 1175 IS SHOWN HEREON.

18. ITEM INTENTIONALLY OMITTED, NOT ADDRESSED HEREON.

19. UTILITY EASEMENT AS RECORDED IN D.B. 2025, PG. 261 DOES NOT APPEAR TO ENCUMBER THE SUBJECT PROPERTY PER THE DESCRIPTION OF THE PARCEL.

20. REQUEST FOR PERMISSION TO TAP SEWER AS RECORDED IN D.B. 4235, PG. 766 MAY BE APPLICABLE TO THE SUBJECT PROPERTY. THE PARCEL DESCRIBED WITHIN SAID DOCUMENT IS ADJACENT TO THE SUBJECT PROPERTY BUT THE SEWER TO BE TAPPED IS LOCATED WITHIN THE SUBJECT PROPERTY.

22. EASEMENTS AS RECORDED IN D.B. 4311, PG. 1804 ARE LISTED BELOW AND SHOWN HEREON.

- INGRESS, EGRESS & UTILITY EASEMENT
- 10' STORM SEWER EASEMENT
- 24" WIDE CINCINNATI BELL EASEMENT
- 10' WIDE SANITARY SEWER EASEMENT IS NOT ABLE TO BE PLOTTED, EXTENTS OF SANITARY SEWER LATER UNKNOWN.

23. PRIVATE DRAINAGE EASEMENT AS RECORDED IN P.B. 227, PAGES 47&48 IS SHOWN HEREON.

24. 15' SANITARY SEWER EASEMENT AS RECORDED IN P.B. 242, PG. 71 IS SHOWN HEREON.

25-31. ITEMS INTENTIONALLY OMITTED, NOT ADDRESSED HEREON.

SURVEYOR CERTIFICATION

TO RIVERBEND COMMERCIAL TITLE AGENCY LIMITED PARTNERSHIP & CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1 THRU 4, 6(B), 7(A), 7(B)(1), 8, 9, 14, 16 AND 17 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON: JANUARY 18, 2019.

DATE OF PLAT OR MAP: JANUARY 30, 2019

DATED THIS _____ DAY OF _____, 20 _____

STEPHEN L. CAHILL
 OHIO REGISTERED SURVEYOR #7862

GENERAL NOTES:

THERE IS NO OBSERVED EVIDENCE OF RECENT EARTH MOVEMENT, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT PARCEL.

THERE ARE NO KNOWN PROPOSED RIGHT OF WAY CHANGES OR RECENT STREET OR SIDEWALK CONSTRUCTION ON THE SUBJECT PARCEL.

THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

THERE ARE NO KNOWN OR DELINEATED WETLANDS ON THE SUBJECT PARCEL.

THERE ARE NO APPARENT OR VISIBLE TANKS OR DRAINAGE FIELDS.

ZONING
 SUBJECT PROPERTY IS ZONED "FF" PLANNED LIGHT INDUSTRIAL DISTRICT
 FRONT YARD SETBACK = 40'
 SIDE YARD SETBACK = 0'
 REAR YARD SETBACK = 10'
 SUBJECT TO INTERPRETATION BY LOCAL ZONING AUTHORITIES
 ZONING INFORMATION NOT SUPPLIED BY INSURER

PARKING SUMMARY
 218 PARKING SPACES
 12 HANDICAP PARKING SPACES
 230 TOTAL PARKING SPACES

FLOOD ZONE
 SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X"
 AS DETERMINED BY A PERSONAL REVIEW OF FLOOD MAP NO. 39061C0113E, DATED 2-17-10 OF THE NATIONAL FLOOD INSURANCE PROGRAM

UNDERGROUND UTILITIES
 EXISTING UNDERGROUND UTILITIES REPRESENTED ON THIS DRAWING ARE APPROXIMATE LOCATION ONLY BASED ON FIELD OBSERVATIONS AND AVAILABLE RECORDS. CONTACT THE LOCAL UTILITY PROTECTION SERVICES AND AGENCIES PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DESIGN.

THIS ALTA/NSPS LAND TITLE SURVEY ORIGINAL WAS PREPARED WITH CERTAIN ITEMS DELINEATED IN COLOR FOR CLARITY. ANY REPRODUCTION OF THIS PLAT IN BLACK AND WHITE COULD LOSE SOME DEFINITION OF TITLE COMMITMENT AND EXISTING CONDITIONS GRAPHICS.

LEGEND

⊕	Ex. Light Pole
⊙	Ex. Utility Pole
—	Ex. Guy Wire
⊠	Ex. Electric Box
⊙	Ex. Telephone Manhole
⊠	Ex. A.C. Unit
—	Ex. Sign
•	Ex. Ballard
▲	Ex. Flood Light
⊠	Ex. Fire Hydrant
⊠	Ex. Water Valve
⊠	Ex. Water Meter
⊠	Ex. Water Manhole
⊠	Ex. Gas Meter
⊠	Ex. Sanitary Sewer Manhole
⊠	Ex. Storm Sewer Manhole
⊠	Ex. Catch Basin
⊠	Ex. Double Gutter Inlet
⊠	Ex. Single Gutter Inlet
—	Ex. Overhead Utility Lines
—	Ex. Underground Utility Lines
—	Ex. Guardrail

EXISTING UNDERGROUND UTILITIES REPRESENTED ON THIS DRAWING ARE APPROXIMATE LOCATION ONLY BASED ON FIELD OBSERVATIONS AND AVAILABLE RECORDS. CONTACT THE LOCAL UTILITY PROTECTION SERVICES AND AGENCIES PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DESIGN.

EXHIBIT A

TRACT I: 7709 EAST KEMPER ROAD

AUDITOR'S PARCEL NO. 600-0013-0044
 SITUATE IN SECTION 1, TOWN 3, ENTIRE RANGE 2, SYCAMORE TOWNSHIP, HAMILTON COUNTY, STATE OF OHIO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WEST LINE OF SECTION 1 AND THE CENTERLINE OF KEMPER ROAD; THENCE WITH SAID WEST LINE SOUTH 06°01'35" WEST, 59.81 FEET TO A POINT IN THE SOUTH RIGHT-OF-WAY LINE OF KEMPER ROAD AS NOW CONSTRUCTED, SAID POINT BEING THE REAL POINT OF BEGINNING FOR THIS DESCRIPTION; THENCE WITH SAID SOUTH LINE SOUTH 77°07'14" EAST, 130.00 FEET TO A POINT IN THE EAST LINE OF A 1.253 ACRE PARCEL CONVEYED TO BELCAN ASSOCIATES BY DEED RECORDED IN DEED BOOK 6226 PAGE 667 HAMILTON COUNTY, OHIO RECORDER'S OFFICE;

- THENCE WITH THE LINES OF SAID PARCEL THE FOLLOWING THREE COURSES AND DISTANCES:
1. SOUTH 06°01'35" WEST, 363.17 FEET TO THE SOUTHEAST CORNER;
 2. NORTH 77°08'00" WEST, 130.00 FEET TO THE SOUTHWEST CORNER;
 3. NORTH 06°01'35" EAST, 363.20 FEET TO THE POINT OF BEGINNING, CONTAINING 1.0762 ACRES OF LAND.

THE ABOVE DESCRIPTION BEING PART OF THE PREMISES CONVEYED TO BELCAN ASSOCIATES BY DEED RECORDED IN DEED BOOK 8473, PAGE 1854, HAMILTON COUNTY, OHIO RECORDER'S OFFICE. PREPARED FROM A PLAT OF SURVEY BY MCGILL SMITH PUNSHON, INC., DATED MARCH 27, 2000.

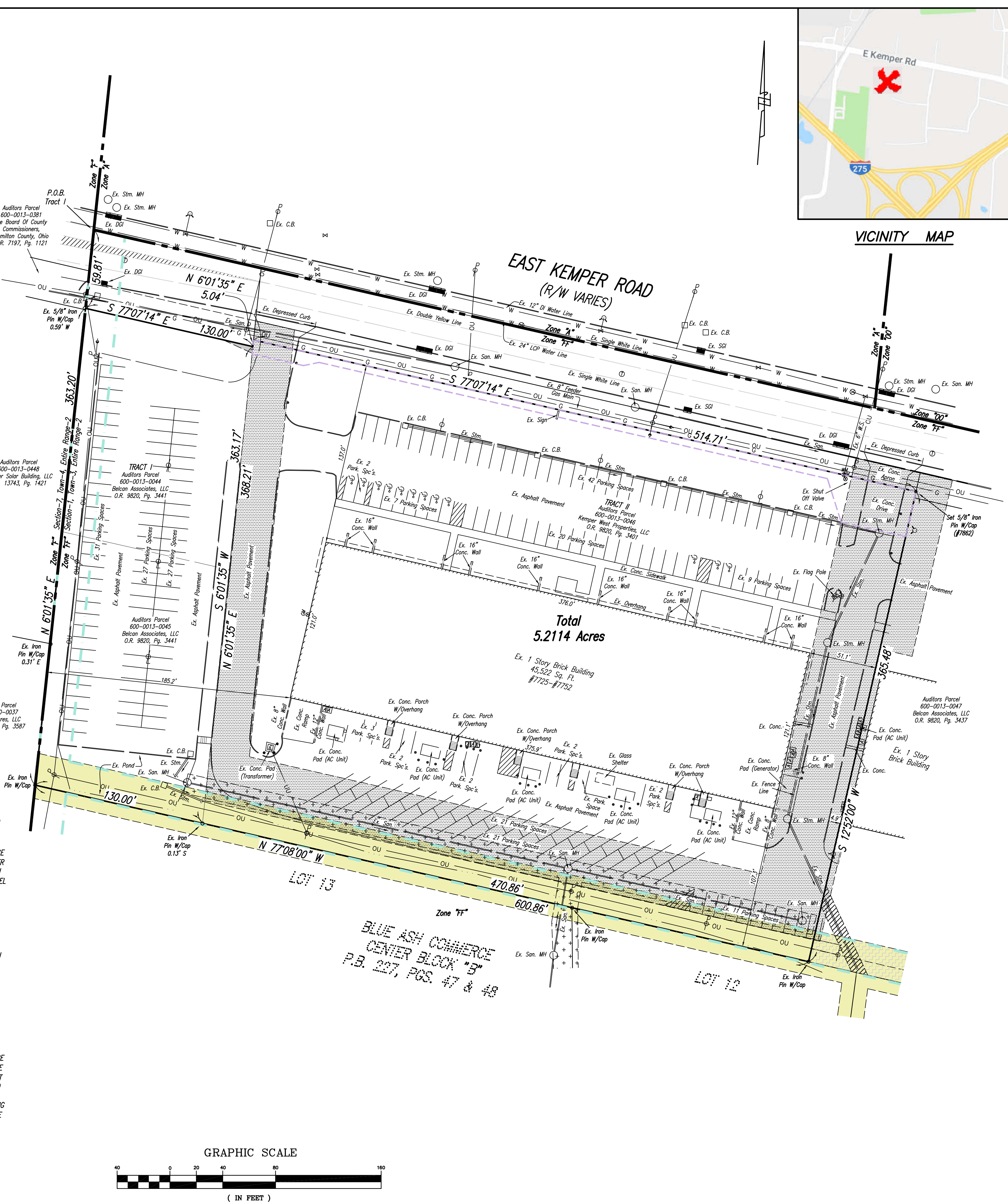
TRACT II: 7745 EAST KEMPER ROAD

AUDITOR'S PARCEL NO. 600-0013-0046
 SITUATE IN SECTION 1, TOWN 3, ENTIRE RANGE 2, SYCAMORE TOWNSHIP, HAMILTON COUNTY, STATE OF OHIO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WEST LINE OF SECTION 1 AND THE CENTERLINE OF KEMPER ROAD; THENCE WITH SAID WEST LINE SOUTH 06°01'35" WEST, 40.29 FEET TO A POINT IN THE FORMER SOUTH RIGHT-OF-WAY LINE OF KEMPER ROAD; THENCE WITH SAID SOUTH LINE SOUTH 77°08'00" EAST, 130.00 FEET TO A POINT IN THE WEST LINE OF THE 4.306 ACRES PARCEL CONVEYED TO RALPH G. ANDERSON BY DEED RECORDED IN DEED BOOK 6260 PAGE 2411 HAMILTON COUNTY, OHIO RECORDER'S OFFICE; THENCE WITH SAID WEST LINE SOUTH 06°01'35" WEST, 14.51 FEET TO A POINT IN THE SOUTH LINE OF KEMPER ROAD AS NOW CONSTRUCTED AND THE REAL POINT OF BEGINNING FOR THIS DESCRIPTION; THENCE WITH SAID SOUTH LINE SOUTH 77°07'14" EAST, 514.71 FEET TO A POINT IN THE EAST LINE OF THE AFORESAID 4.306 ACRE PARCEL;

- THENCE WITH THE LINES OF SAID PARCEL THE FOLLOWING THREE COURSES AND DISTANCES:
1. SOUTH 12°52'00" WEST, 365.48 FEET TO THE SOUTHEAST CORNER;
 2. NORTH 77°08'00" WEST, 470.86 FEET TO THE SOUTHWEST CORNER;
 3. NORTH 06°01'35" EAST, 368.21 FEET TO THE POINT OF BEGINNING, CONTAINING 4.1352 ACRES OF LAND.

THE ABOVE DESCRIPTION BEING PART OF THE PREMISES CONVEYED TO RALPH G. ANDERSON, TRUSTEE, BY DEED RECORDED IN DEED BOOK 8470 PAGE 1061, HAMILTON COUNTY, OHIO RECORDER'S OFFICE. PREPARED FROM A PLAT OF SURVEY BY MCGILL SMITH PUNSHON, INC., DATED MARCH 27, 2000.



ALTA/NSPS LAND TITLE SURVEY

UNITED DAIRY FARMERS
 SECTION-1, TOWN-3, E-RANGE-2
 SYCAMORE TOWNSHIP
 HAMILTON COUNTY, OHIO

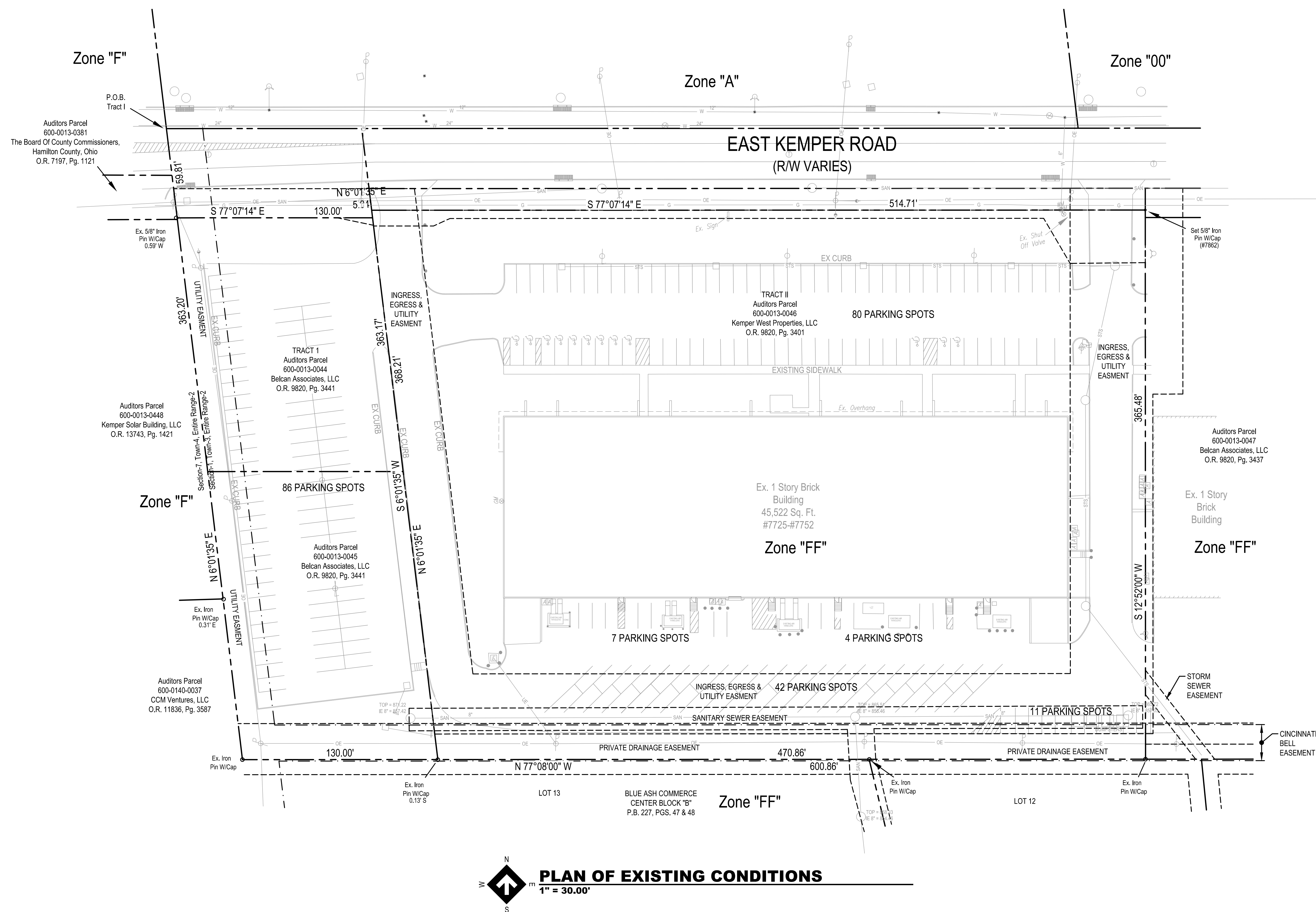
Scale: 1" = 40'

Job No. 19-0005

1

**EXISTING
PARKING SUMMARY**

PARKING SPACES	218
HANDICAPPED SPACES	12
TOTAL SPACES	230
LESS 30 SPACES FOR EXISTING TENANT	200 NET PARKING SPACES

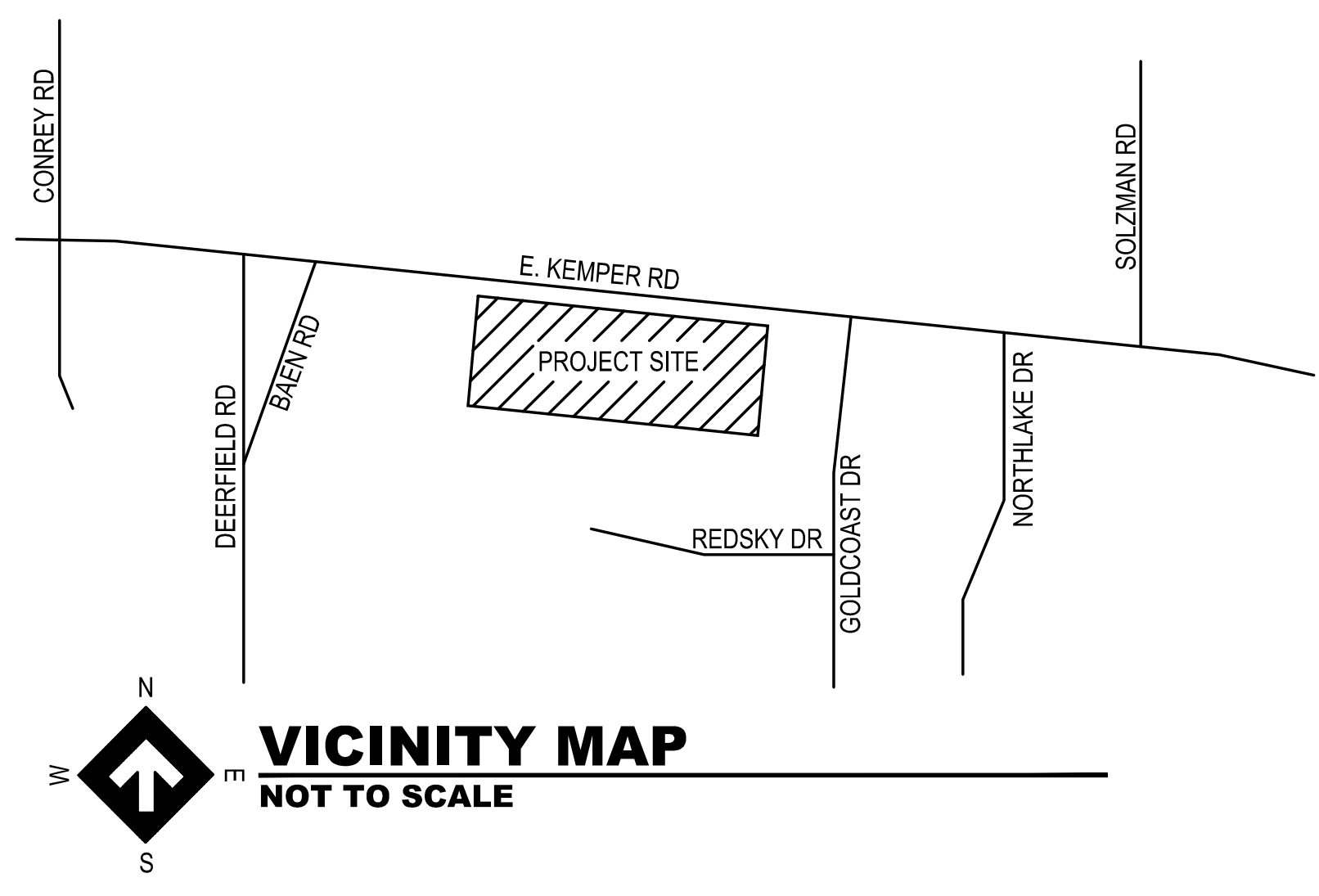
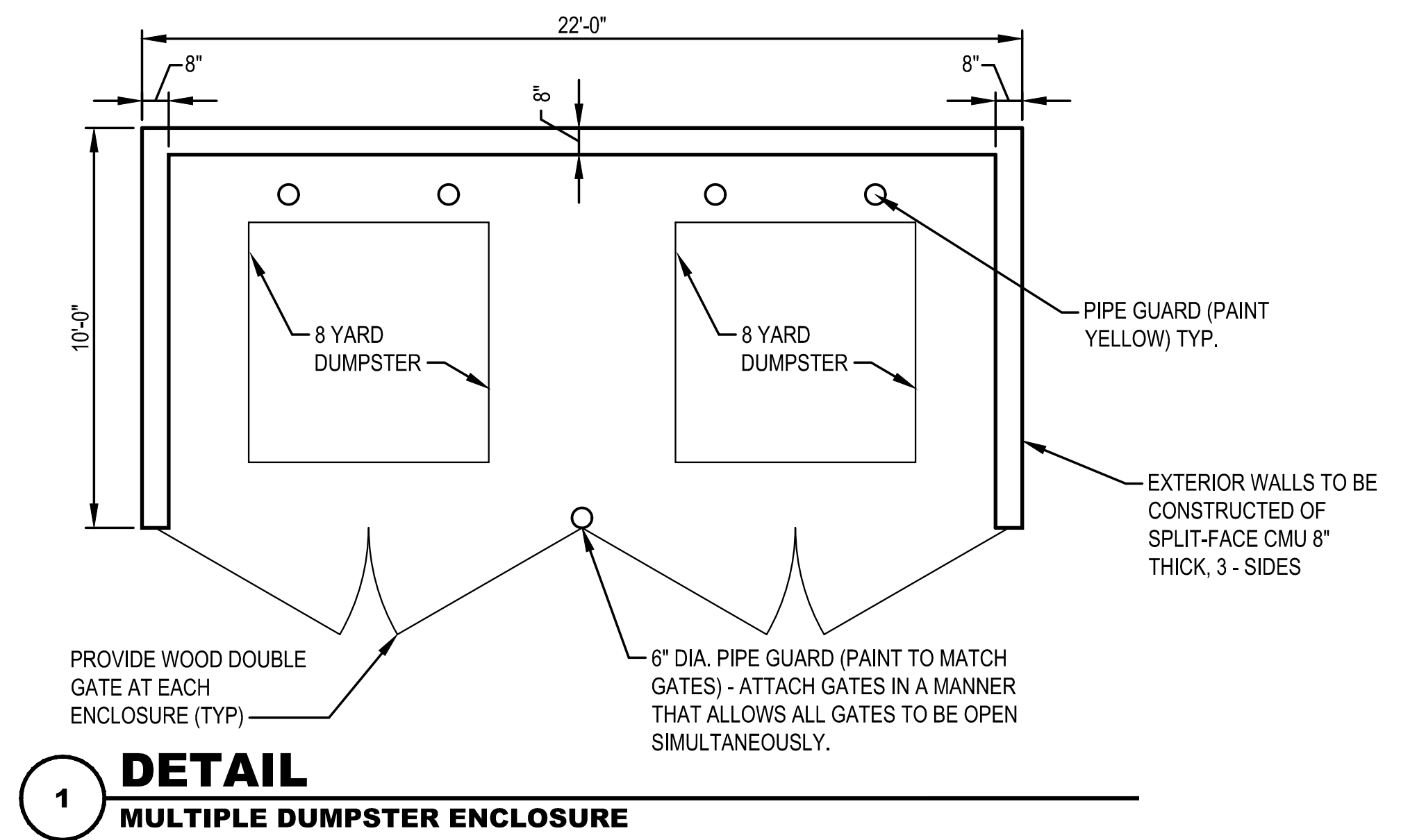
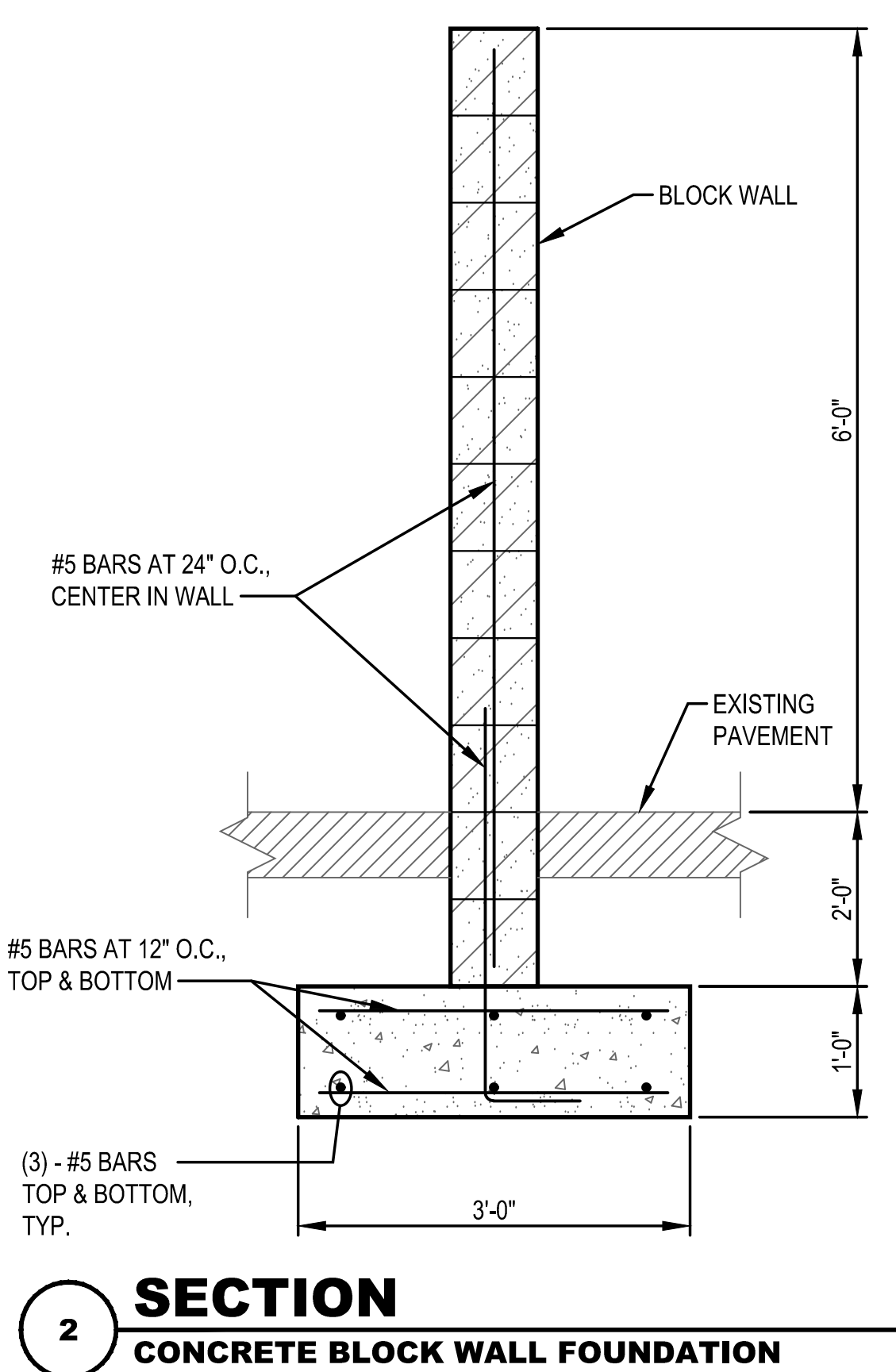


02/19/19

9986.10

UDF
7745 E. KEMPER ROAD
SYCAMORE TOWNSHIP

HIXSON
 ARCHITECTURE ENGINEERING INTERIORS
 659 Van Meter Street
 Cincinnati, Ohio 45202-1568
 t 513 241 1230
 f 513 241 1287
 www.hixson-inc.com



DEVELOPMENT NOTES
 A. PARCELS 600-0013-0044, 600-0013-0045, AND 600-0013-0046 TO BE CONSOLIDATED INTO ONE PARCEL.

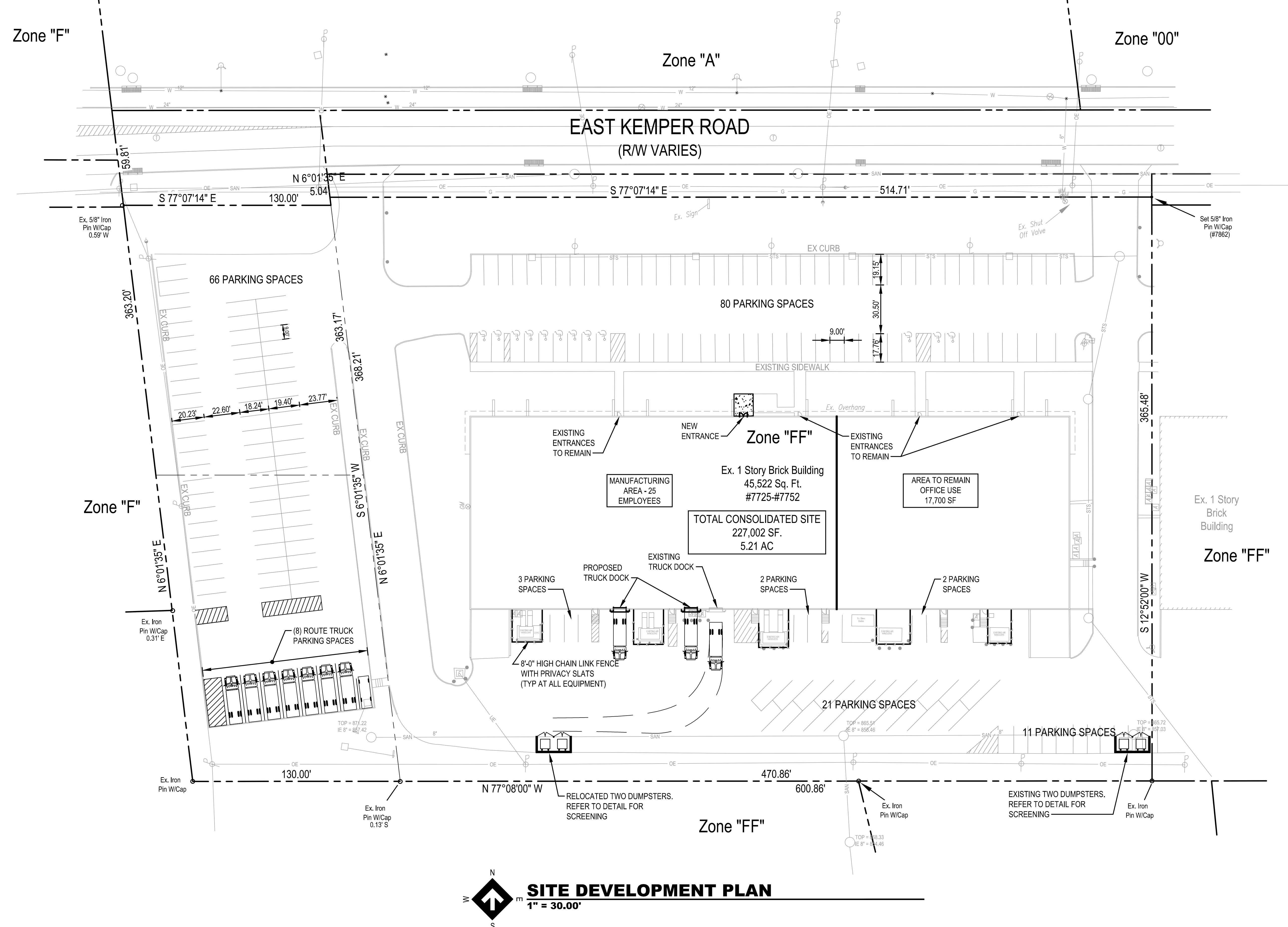
PROPOSED PARKING SUMMARY

PARKING SPACES	173
HANDICAPPED SPACES	12
TOTAL SPACES	185
LESS 30 SPACES FOR EXISTING TENANT	
155 NET PARKING SPACES	

PARKING REQUIRED:
 MANUFACTURING ZONING REQUIREMENTS: ONE SPACE PER ONE AND ONE-HALF EMPLOYEES ON MAXIMUM WORK SHIFT PLUS ONE SPACE FOR FACILITY VEHICLE.
 FACILITY WILL HAVE 25 EMPLOYEES
 25/1.5 = 17 + 8 FACILITY VEHICLES = 25

REMAINDER OF BUILDING WILL REMAIN OFFICE USE.
 OFFICE BUILDINGS 0 - 20,000 SQ FT: FOUR SPACES FOR THE FIRST 1,000 SQ FT PLUS 1 SPACE FOR EVERY 400 SQ NET AREA OVER 1,000 SQ FT (RATIO 2.5/1000 SQ FT)
 17,700 SQ FT
 1000 SQ FT = 4 SPACES
 16,700 (ROUND UP TO 17,000) SQ FT = 43 + 4 = 47 SPACES

TOTAL PARKING REQUIRED FOR FACILITY = 72 SPACES

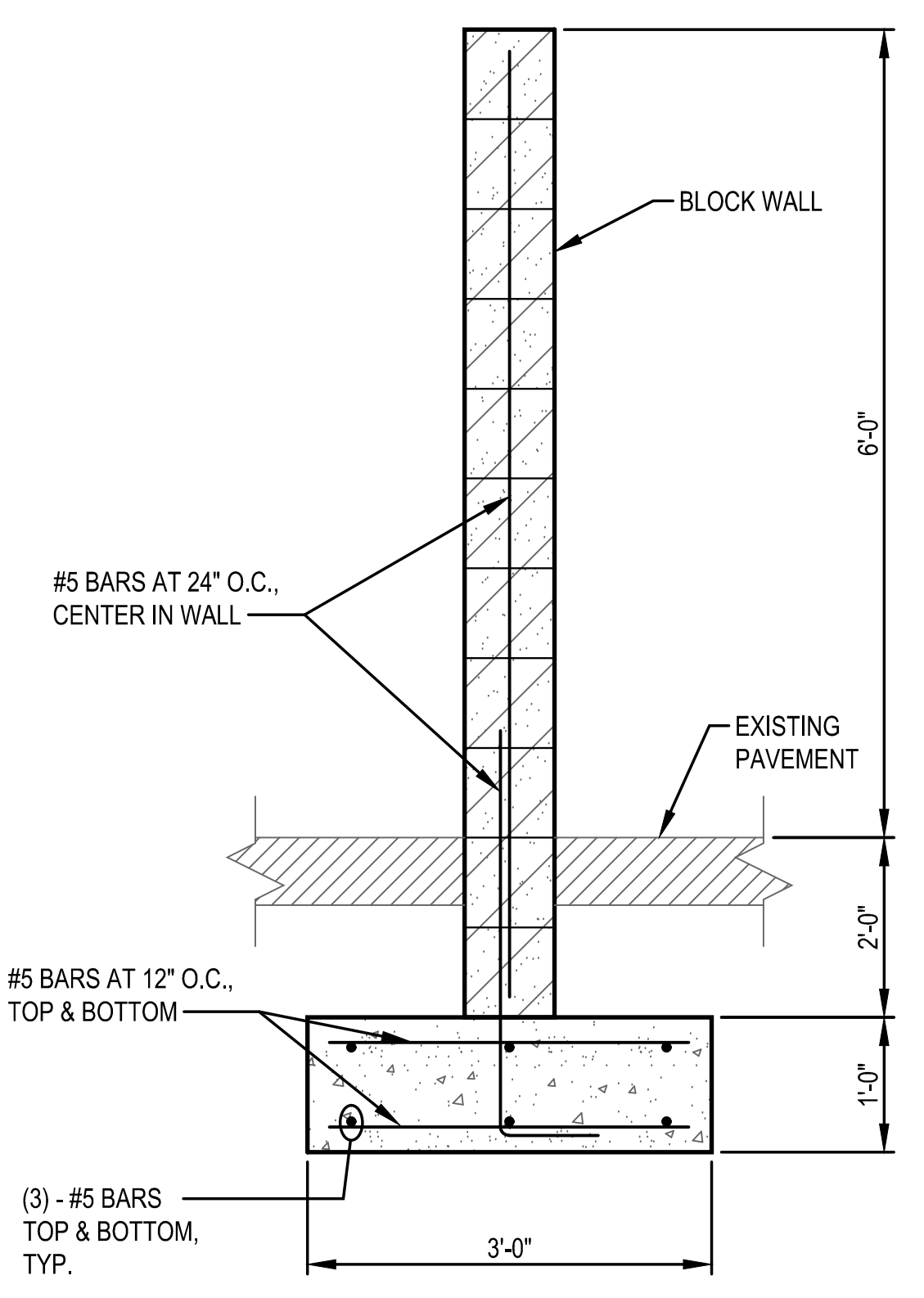


02/19/19

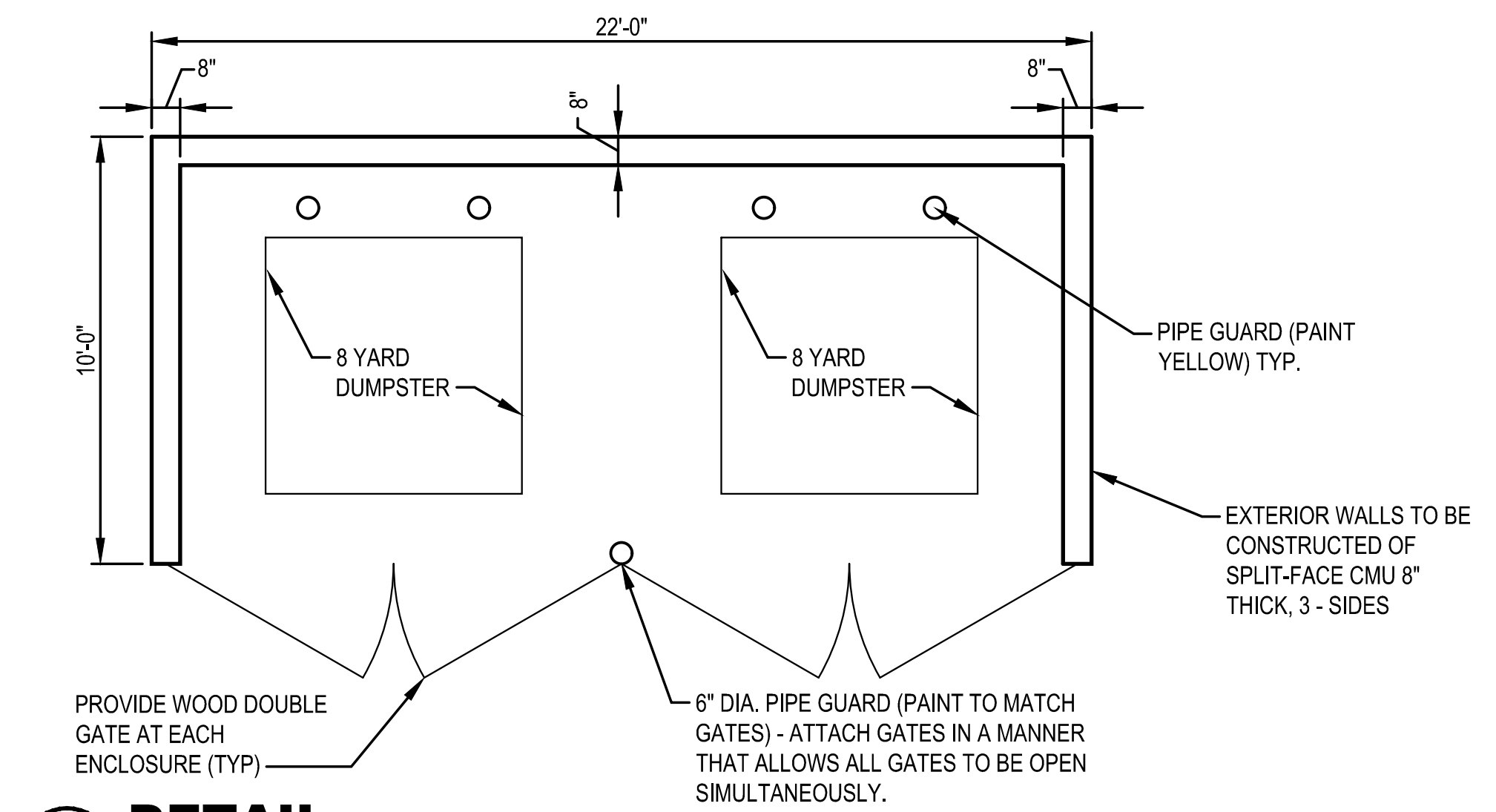
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UDF
7745 E. KEMPER ROAD
SYCAMORE TOWNSHIP

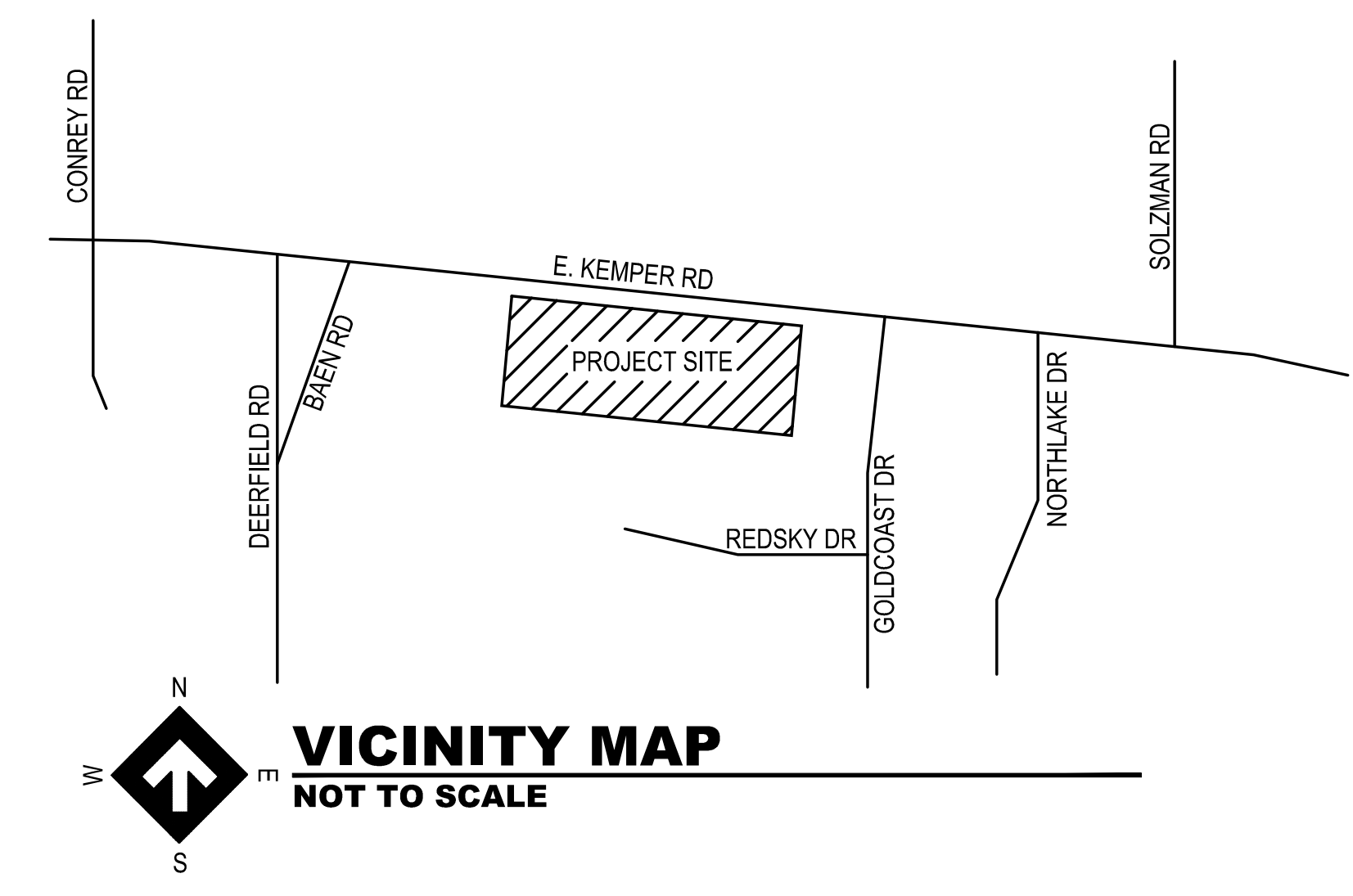
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2 SECTION
CONCRETE BLOCK WALL FOUNDATION



1 DETAIL
MULTIPLE DUMPSTER ENCLOSURE



VICINITY MAP
NOT TO SCALE

DEVELOPMENT NOTES

A. PARCELS 600-0013-0044, 600-0013-0045, AND 600-0013-0046 TO BE CONSOLIDATED INTO ONE PARCEL.

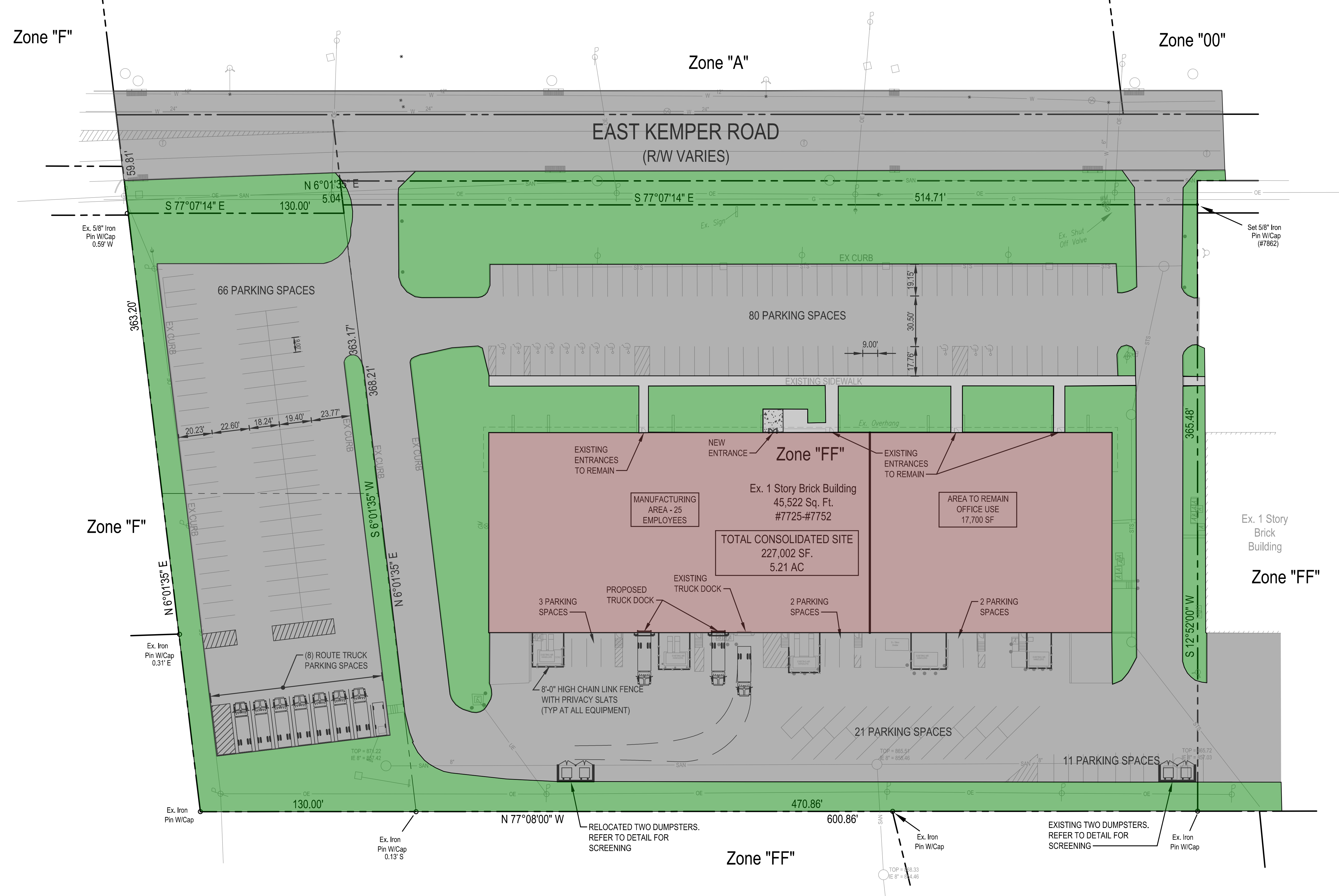
PROPOSED PARKING SUMMARY

PARKING SPACES	173
HANDICAPPED SPACES	12
TOTAL SPACES	185
LESS 30 SPACES FOR EXISTING TENANT	
155 NET PARKING SPACES	

PARKING REQUIRED:
MANUFACTURING ZONING REQUIREMENTS: ONE SPACE PER ONE AND ONE-HALF EMPLOYEES ON MAXIMUM WORK SHIFT PLUS ONE SPACE FOR FACILITY VEHICLE.
FACILITY WILL HAVE 25 EMPLOYEES
25/1.5 = 17 + 8 FACILITY VEHICLES = 25

REMAINDER OF BUILDING WILL REMAIN OFFICE USE.
OFFICE BUILDINGS 0 - 20,000 SQ FT: FOUR SPACES FOR THE FIRST 1,000 SQ FT PLUS 1 SPACE FOR EVERY 400 SQ NET AREA OVER 1,000 SQ FT (RATIO 2.5/1000 SQ FT)
17,700 SQ FT
1000 SQ FT = 4 SPACES
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TOTAL PARKING REQUIRED FOR FACILITY = 72 SPACES



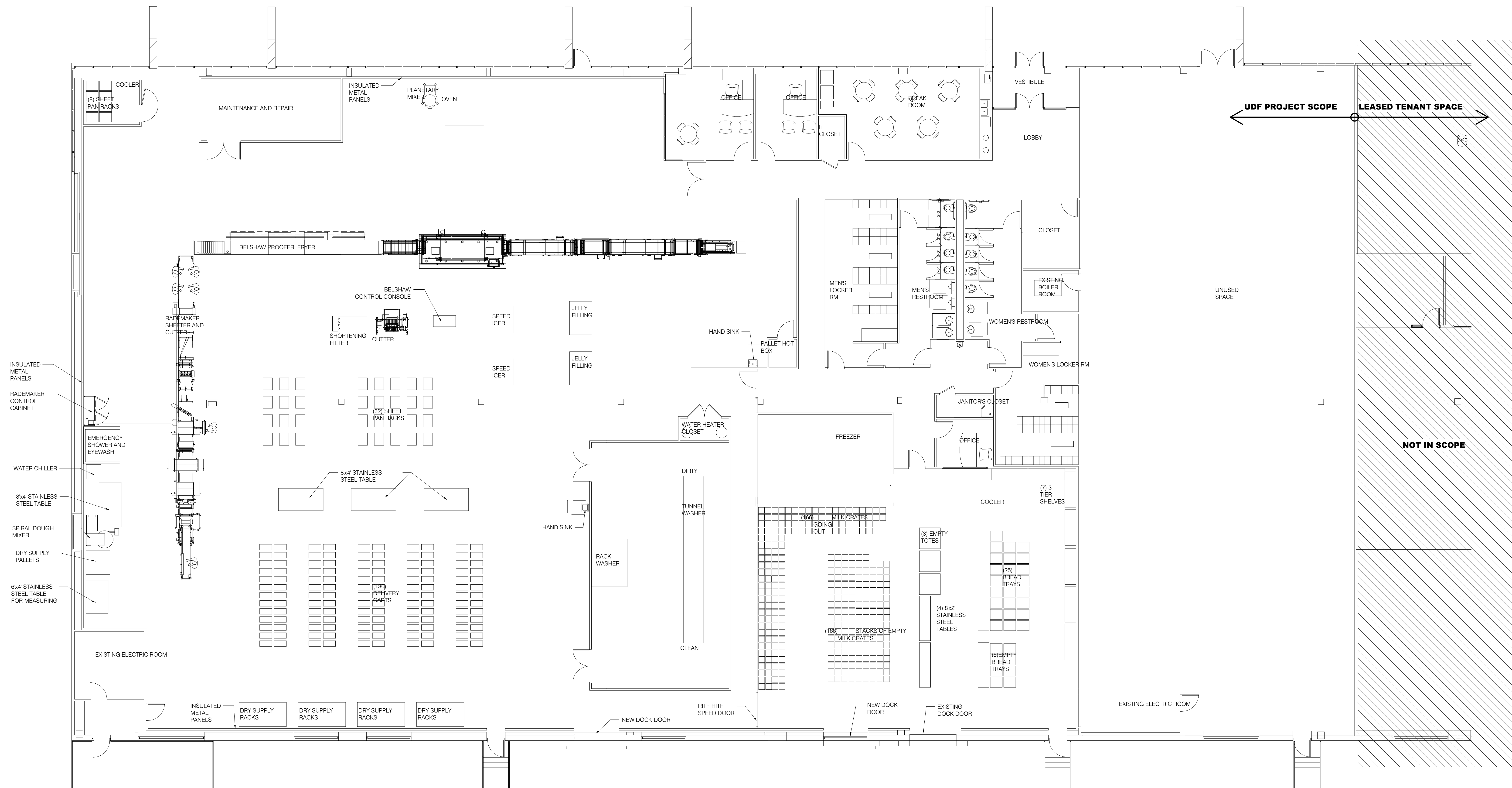
SITE DEVELOPMENT PLAN
1" = 30.00'

02/19/19

9986.10

UDF
7745 E. KEMPER ROAD
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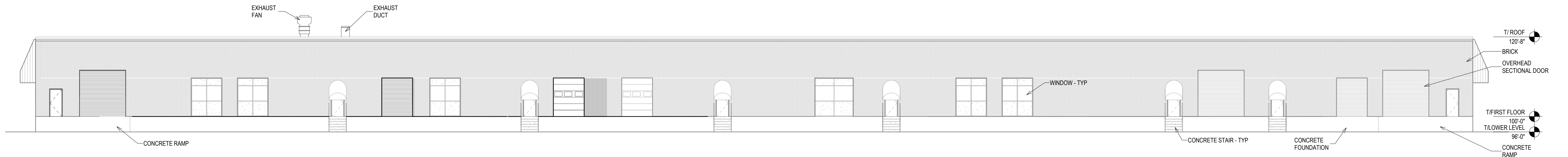

FIRST FLOOR PLAN
 1/8" = 1'-0" TOTAL UDF 27,800 SF

02/19/2019

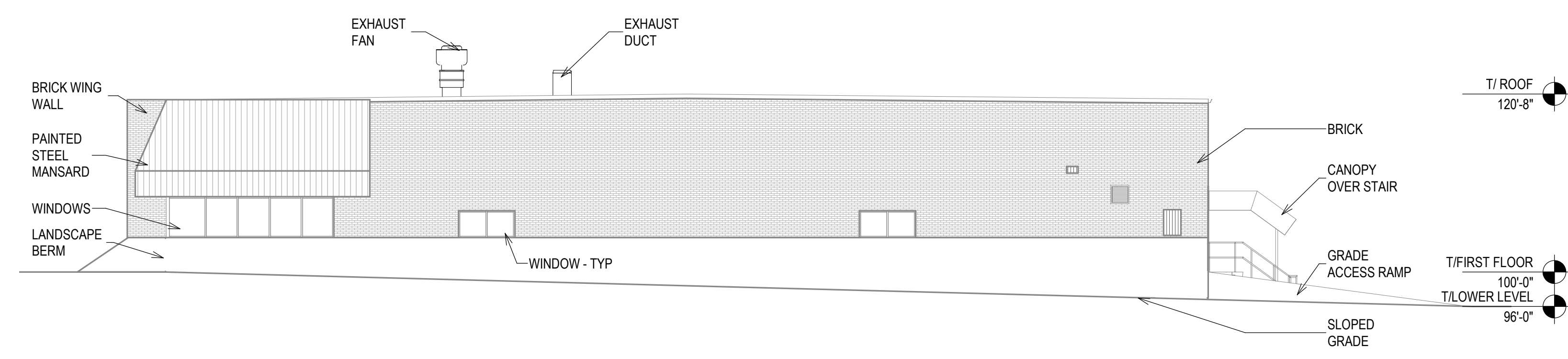
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FIRST FLOOR PLAN
UDF
7745 E. KEMPER ROAD
SYCAMORE TOWNSHIP

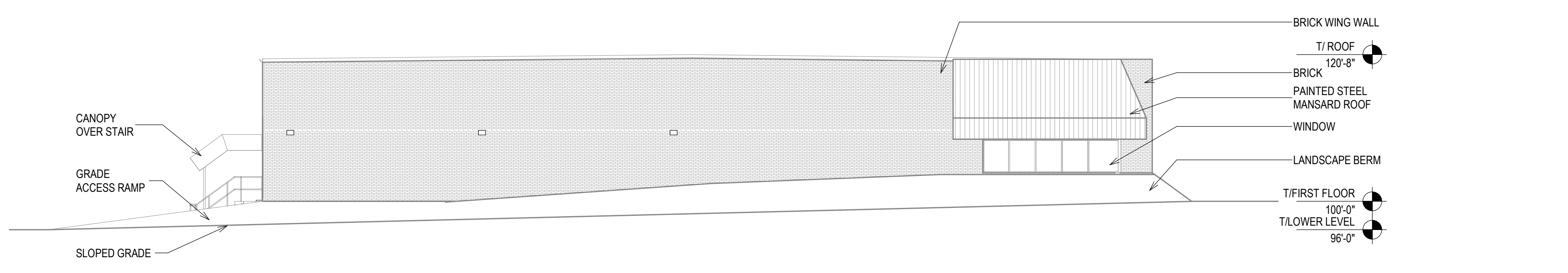
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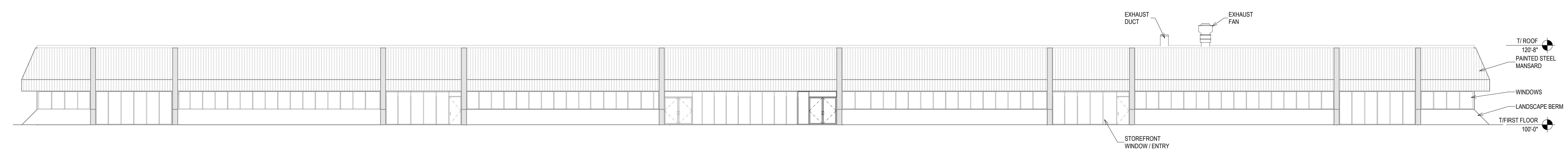
1 South
3/32" = 1'-0"



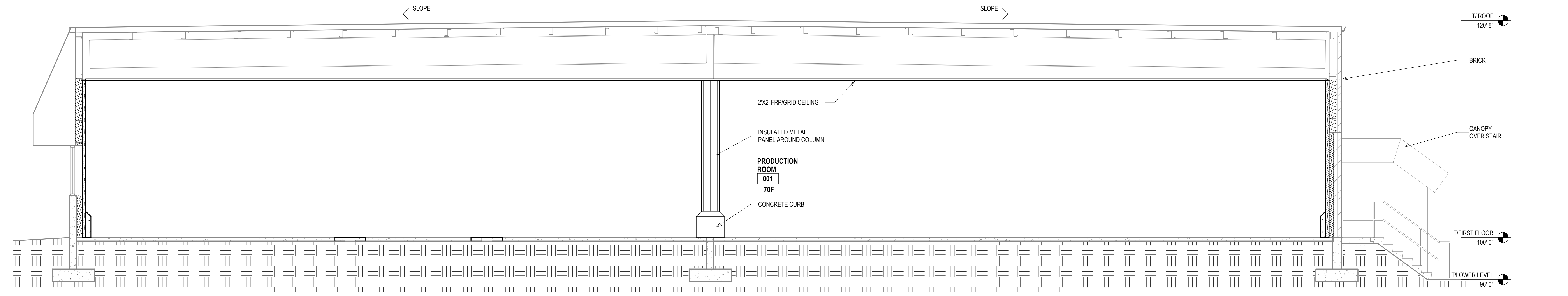
3 West
3/32" = 1'-0"



4 East
3/32" = 1'-0"



2 North
3/32" = 1'-0"



5 SECTION
1/4" = 1'-0"

02/19/2019

9986.10

BUILDING ELEVATIONS AND SECTION
UDF
7745 E. KEMPER ROAD
SYCAMORE TOWNSHIP

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t513 241 1230
f513 241 1287
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Cree Edge™ Series

LED Security Wall Pack Luminaire

Product Description

The Cree Edge™ wall mount luminaire has a slim, low profile design. The luminaire end caps are made from rugged die cast aluminum with integral, weatherright LED driver compartments and high performance aluminum heat sinks specifically designed for LED applications. Housing is rugged aluminum. Includes a lightweight mounting box for installation over standard and mud ring single gang J-Boxes. Secures to wall with four 3/16" (5mm) screws (by others). Conduit entry from top, bottom, sides and rear. Allows mounting for upright or downlight. Designed and approved for easy through-wiring. Includes leaf/debris guard.

Applications: General area and security lighting

Performance Summary

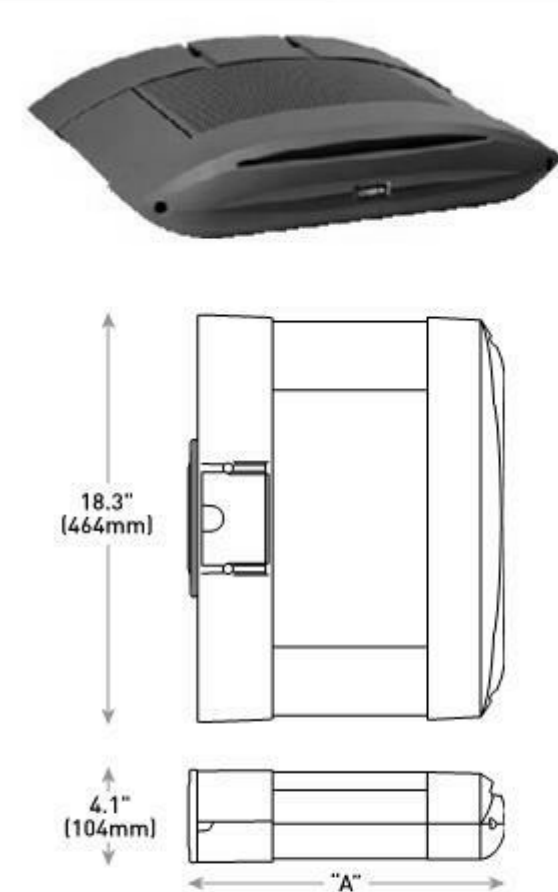
Patented NanoOptic® Product Technology
Assembled in the U.S.A. of U.S. and imported parts
CR: Minimum 70 CRI
CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard
Limited Warranty: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed	Beauty Plate	Hand-Held Remote
Bird Spikes XA-BRDSPK	WM-PL12* - 12" (305mm) Square WM-PL12M* - 12" (305mm) Square - Covers holes left by mounted wall packs	XA-SENREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

* Most specify color



LED Count (x10)	Dim. "A"	Weight
02	9.9" (251mm)	20 lbs. (9.1kg)
04	11.9" (302mm)	22 lbs. (10.0kg)
06	13.9" (353mm)	25 lbs. (11.3kg)
08	15.9" (404mm)	27 lbs. (12.2kg)
10	17.9" (455mm)	31 lbs. (14.1kg)
12	19.9" (506mm)	32 lbs. (14.5kg)

Ordering Information

Example: SED-EDG-2M-WM-04-E-UL-SV-700

SEC-EDG	Optic	Mounting	LED Count (x10)	E	UL	Series	Voltage	Color Options	Drive Current	Options					
SEC-EDG	2M Type II Medium	WM Wall Mount	04	E	UL	BK	350	Black	350mA	DIM 0-10V Dimming - Control by others - Refer to DIMMING SPEC SHEET for details - Can't exceed specified drive current					
											06	UM	BK	525	525mA
											08	UM	BK	525	525mA
	2S Type II Short w/BSL	10	SV	12	UL	SV	700	Silver	700mA	F Fuse - Refer to FUSE SPEC SHEET for availability with FML option - Available for U.S. applications only					
											04	UM	SV	700	700mA
											08	UM	SV	700	700mA
	2SB Type II Short w/BSL	12	WH	12	UL	WH	700	White	700mA	M Multi-Level - When code dictates fusing, use time delay fuse - Refer to MULTI-LEVEL SPEC SHEET for details - Intended for downlight applications with 0° tilt - Available only with 20 LEDs and UL voltage - May only be combined with F option with 525mA drive current - Not available with other options					
											04	UM	WH	700	700mA
											08	UM	WH	700	700mA
	3M Type III Medium	4M Type IV Medium w/BSL	4MB Type III Medium w/BSL	4M Type IV Medium w/BSL	4MB Type III Medium w/BSL	4M Type IV Medium w/BSL	4MB Type III Medium w/BSL	4M Type IV Medium w/BSL	4MB Type III Medium w/BSL	4M Type IV Medium w/BSL	P Photocell - Must specify HL or SL voltage - Refer to PHOTOCELL SPEC SHEET for details - Intended for downlight applications with 0° tilt - Refer to PHOTOCELL SPEC SHEET for details - Intended for downlight applications with 0° tilt 40K 4000K Color Temperature - Maximum 70 CRI - Color temperature per luminaire				



US: lighting.cree.com T (800) 234-6800 F (262) 504-5415

Rev. Date: V5 01/09/2019



Canada: www.cree.com/canada T (800) 473-1234 F (800) 890-7507

TYPE A CUTSHEET

12" = 1'-0"

SITE LIGHTING FIXTURE SCHEDULE			
TYPE	MODEL NUMBER AND DESCRIPTION	LAMPS	NOTES
A	CREE EDGE SERIES FULL CUTOFF WALL MOUNTED LED, BROWN 277V		
P	CREE OSQ SERIES POLE MOUNTED AREA LIGHT, FULL CUTOFF, 16 POLE, BROWN 277V		

OSQ Series

OSQ™ High Output LED Area/Flood Luminaire featuring Cree TrueWhite® Technology

Product Description

The OSQ™ High Output Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatherright LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The OSQ high output luminaire is a suitable upgrade for HID applications with one or even multiple 1000 Watt luminaires.

Applications: Auto dealerships, parking lots, campuses, facade lighting, high-mast and general site lighting applications

Performance Summary

Utilizes Cree TrueWhite® Technology on 5000K Luminaires
NanoOptic® Precision Delivery Grid™ optic
Assembled in the U.S.A. of U.S. and imported parts
Initial Delivered Lumens: Up to 68,691
Efficacy: Up to 125 LPW
CR: Minimum 70 CRI (3000K, 4000K & 5700K), 90 CRI (5000K)
CCT: 3000K (+/- 300K), 4000K (+/- 300K), 5000K (+/- 300K), 5700K (+/- 500K)
Limited Warranty: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed	Bird Spikes	Hand-Held Remote
Backlight Shield (10m pair) OSQ-HO-BLSH - Front Facing Optics OSQ-HO-BLSR - Recessed Optics	XA-SENREM OSQ-HO-BRDSPK - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	XA-SENREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

Ordering Information

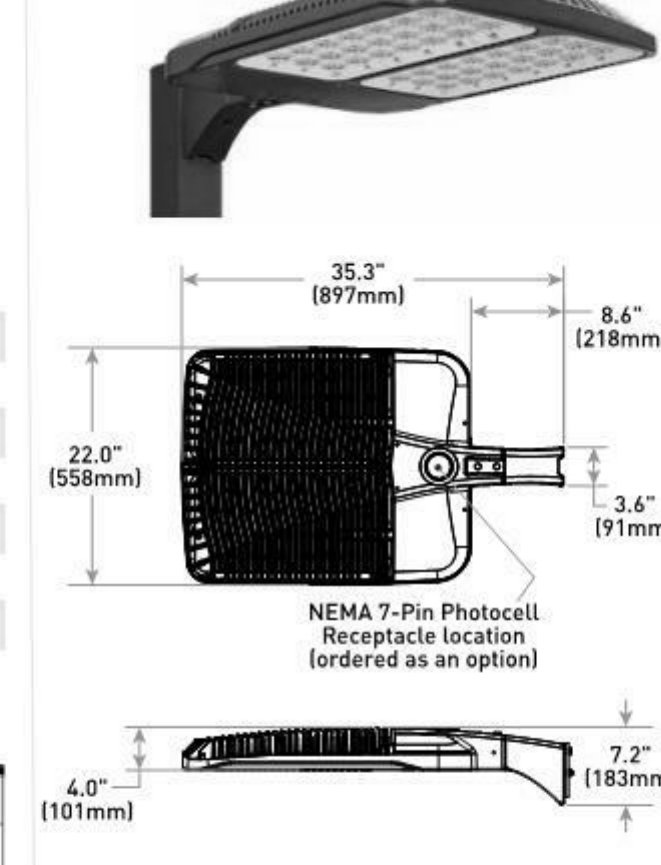
Fully assembled luminaire is composed of two components that must be ordered separately:

Example: Mount: OSQ-HO-AA-SV - Luminaire: OSQ-HO-A-NM-2ME-40L-40K-UL-SV

Mount (Luminaire must be ordered separately)

OSQ-HO-	Color Options	SV Silver	BZ Bronze
OSQ-HO-AA Adjustable Arm			
OSQ-HO-DA Direct Arm		BK Black	WH White

DA Mount

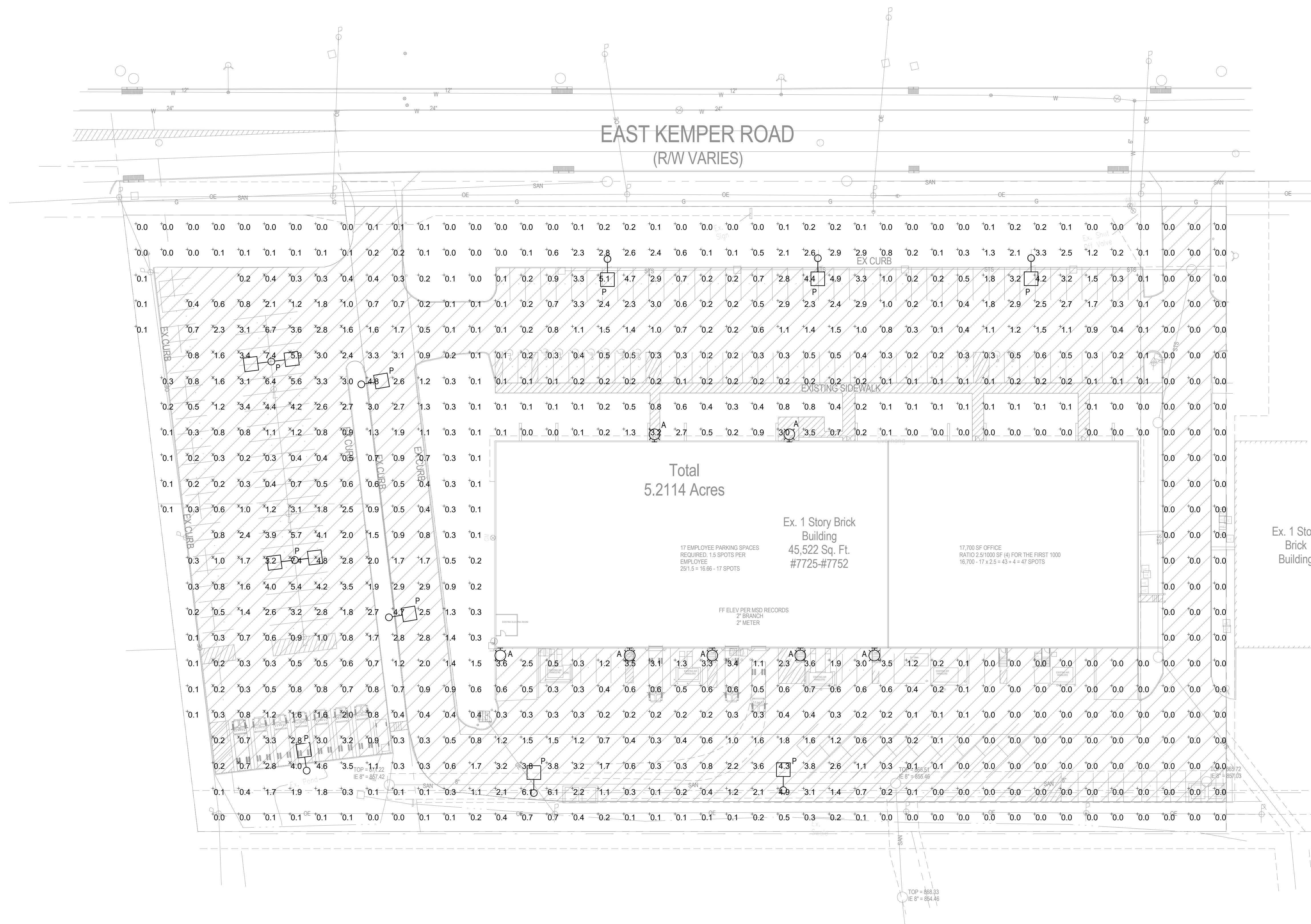


Lumen Package	Voltage	Weight
40/50L	120-480V	70.0 lbs. (31.8kg)
45L	120-480V	72.0 lbs. (32.7kg)

Luminaire (Mount must be ordered separately)										
Product	Version	Mounting	Optic	Lumen Package**	CCT	Voltage	Color Options	Options		
OSQ-HO	A	NM	Asymmetric Type II Medium 3ME* Type III Medium 4ME* Type IV Medium 5ME* Type V Short 6ME* Type VI Short 7ME* Type VII Short 8ME* Type VIII Short 9ME* Type IX Short 10ME* Type X Short 11ME* Type XI Short 12ME* Type XII Short 13ME* Type XIII Short 14ME* Type XIV Short 15ME* Type XV Short 16ME* Type XVI Short 17ME* Type XVII Short 18ME* Type XVIII Short 19ME* Type XIX Short 20ME* Type XX Short 21ME* Type XXI Short 22ME* Type XXII Short 23ME* Type XXIII Short 24ME* Type XXIV Short 25ME* Type XXV Short 26ME* Type XXVI Short 27ME* Type XXVII Short 28ME* Type XXVIII Short 29ME* Type XXIX Short 30ME* Type XXX Short 31ME* Type XXXI Short 32ME* Type XXXII Short 33ME* Type XXXIII Short 34ME* Type XXXIV Short 35ME* Type XXXV Short 36ME* Type XXXVI Short 37ME* Type XXXVII Short 38ME* Type XXXVIII Short 39ME* Type XXXIX Short 40ME* Type XXXX Short 41ME* Type XXXXI Short 42ME* Type XXXXII Short 43ME* Type XXXXIII Short 44ME* Type XXXXIV Short 45ME* Type XXXXV Short 46ME* Type XXXXVI Short 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DRAWING NOTES

- A. REFER TO ES.1 FOR LIGHTING SPECIFICATIONS.
- B. WALL MOUNTED LIGHT FIXTURES TO BE 10' ABOVE FINISHED GRADE.



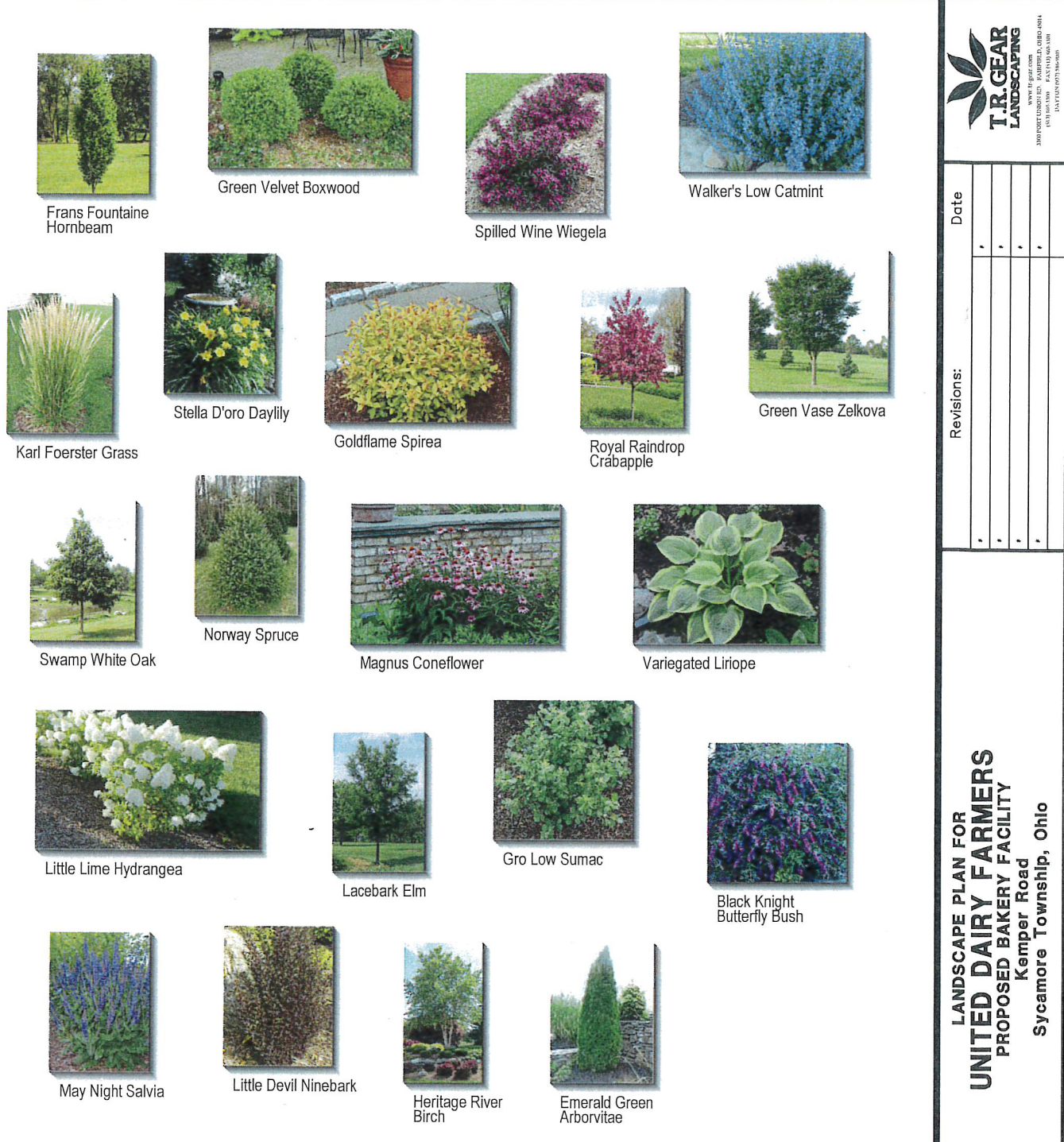
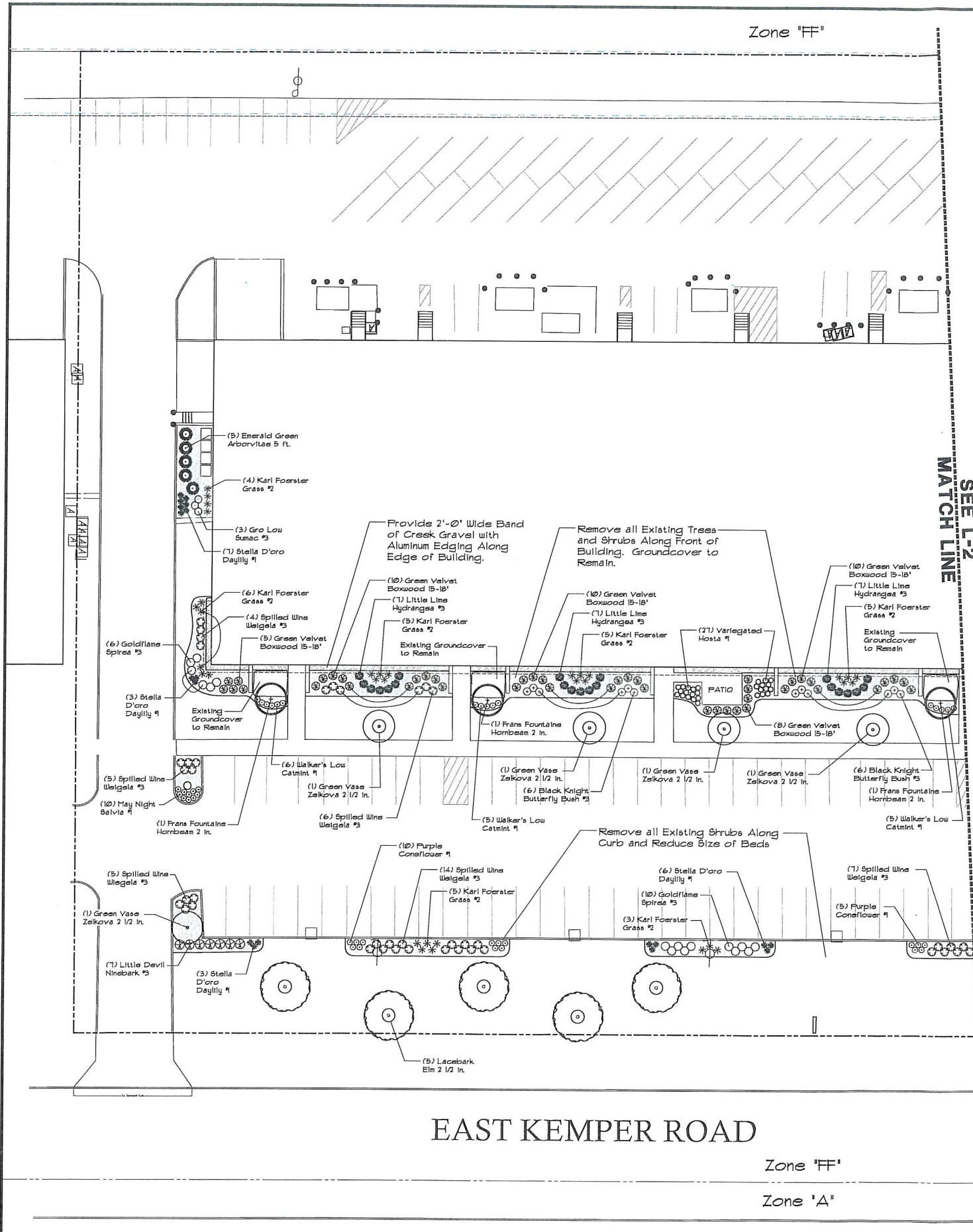
SITE PLAN
1/32" = 1'-0"

02/19/19

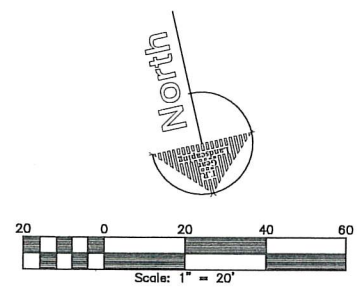
9986.10

SITE LIGHTING PLAN
UDF
7745 E. KEMPER ROAD
SYCAMORE TOWNSHIP

HIXSON
ARCHITECTURE ENGINEERING INTERIORS
659 Van Meter Street
Cincinnati, Ohio 45202-1568
t513 241 1230
f513 241 1287
www.hixson-inc.com



LANDSCAPE PLAN 1"=20'-0"



Revisions:	Date

**LANDSCAPE PLAN FOR
UNITED DAIRY FARMERS
PROPOSED BAKERY FACILITY**
Kemper Road
Sycamore Township, Ohio

Dwg. By: MAS
Scale: 1"=20'
Date: 02/18/19
Sheet No.: L-1

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Revisions:	Date

**LANDSCAPE PLAN FOR
UNITED DAIRY FARMERS
PROPOSED BAKERY FACILITY**
Kemper Road
Sycamore Township, Ohio

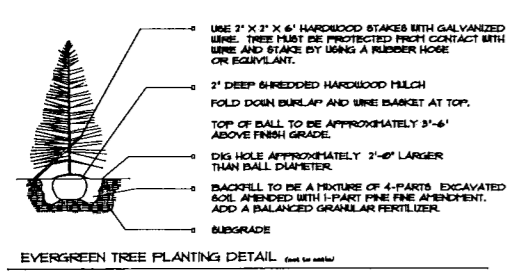
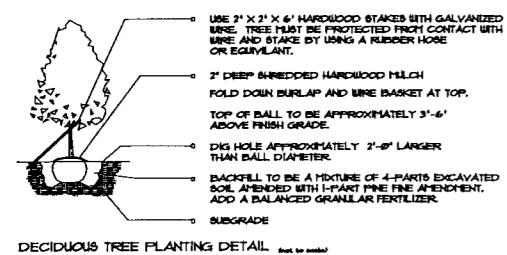
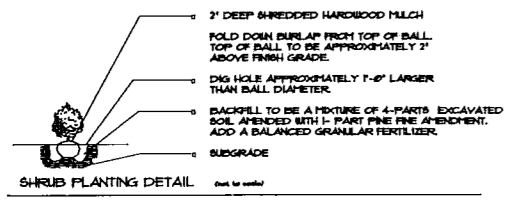
Dwg. By: MAS
Scale: 1"=20'
Date: 02/18/19
Sheet No.: L-2

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PLANT SCHEDULE				
Symbol	QTY	Botanical Name	Common Name	Plant Size
⊕	4	<i>Carpinus betula</i> 'Frans Fontaine'	Frans Fontaine Hornbeam	2 in.
○	6	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Zelkova	2 1/2 in.
⊙	3	Male 'KLS-KUB'	Royal Raindrop Crabapple	2 in.
⊕	5	<i>Quercus bicolor</i>	Burser White Oak	2 1/2 in.
⊕	8	<i>Picea abies</i>	Norway Spruce	6 ft.
⊙	5	<i>Ulmus parvifolia</i> 'Emer II'	Lecebank Elm	2 1/2 in.
⊕	5	<i>Betula nigra</i> 'Heritage'	Heritage River Birch	10-12 ft.
⊙	5	<i>Thuja occidentalis</i> 'amaragd'	Emerald Green Arborvitae	5 ft.
⊕	53	<i>Buxus</i> 'Green Velvet'	Green Velvet Boxwood	5-18 in.
⊕	3	<i>Rhus aromatica</i> 'Gro Low'	Gro Low Sumac	75
⊕	15	<i>Physocarpus</i> s. 'Dome May'	Little Devil Ninebark	75
⊕	22	<i>Spiraea</i> 'Gold Flame'	Gold Flame Spiraea	75
⊕	50	<i>Weigela florida</i> 'Spilled Wine'	Spilled Wine Weigela	75
⊕	28	<i>Hydrangea paniculata</i> 'Juno'	Little Lime Hydrangea	75
⊕	12	<i>Buddleia davidii</i> 'Black Knight'	Black Knight Butterfly Bush	75
⊕	52	<i>Calamagrostis</i> 'Karl Foerster'	Karl Foerster Grass	72
⊕	30	<i>Hemerocallis</i> 'Stella de Oro'	Stella D'oro Daylily	71
⊕	10	<i>Selvia</i> 'May Night'	May Night Selvia	71
⊕	22	<i>Nepeta faassenii</i> 'Walker's Low'	Walker's Low Catmint	71
⊕	20	<i>Echinacea purpurea</i> 'Magnus'	Magnus Coneflower	71
⊕	21	<i>Hosta</i>	Variegated Liriope	71

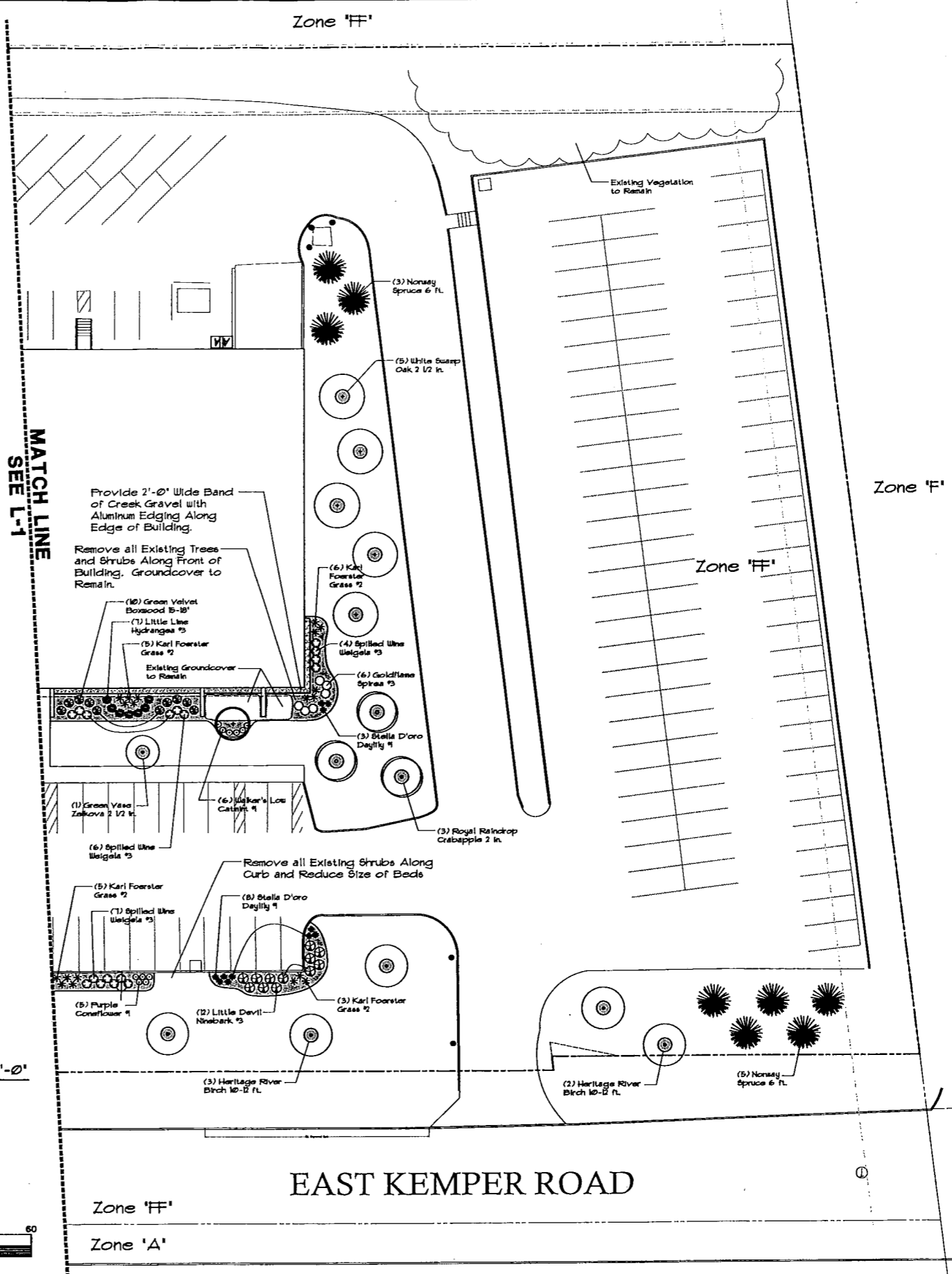
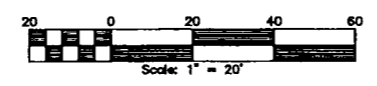
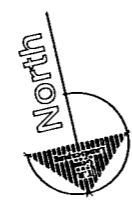
Note: Plant Quantities on Legend Are for All Plant Materials Shown on Both Sheets L-1 and L-2.

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- GENERAL NOTES:**
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER.
 - ALL FINISH GRADING TO BE BY LANDSCAPE CONTRACTOR.
 - MAINTENANCE AND WATERING, UNTIL SUBSTANTIAL COMPLETION OF WORK SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - ALL UNDERGROUND UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO STARTING ANY LANDSCAPE AND/OR IRRIGATION WORK ON SITE.
 - THE LANDSCAPE CONTRACTOR SHALL INCLUDE EXCAVATION TREE PITS 2' GREATER THAN THE BALL DIAMETER, UNLESS 12" GREATER THAN THE BALL DIAMETER AND BACKFILLING WITH 1 PART COMPOST TO 4 PARTS TOPSOIL.
 - ALL PLANT MATERIAL SHALL BE GRADE 'A' LANDSCAPE MATERIAL, SHRUBS PLANTED NEXT TO ONE ANOTHER SHALL BE MATCHING SIZE, SHAPE, AND FORM.
 - ALL SHRUB PLANTING BEDS SHALL BE TILLED TO A DEPTH OF A MINIMUM OF 6" WITH 1" OF SOIL CONDITIONER COMPOST MIX.
 - THE PLAN SHALL ALWAYS TAKE PRECEDENCE OVER THE PLANT TABLE QUANTITIES.
 - ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN A SOUND WORKMANSHIP-LIKE MANNER AND ACCORDING TO ACCEPTED, GOOD CONSTRUCTION AND PLANTING PROCEDURES. THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE OF ALL LANDSCAPE MATERIALS, AND SHALL KEEP THEM IN PROPER NEAT AND ORDERLY APPEARANCE, FREE FROM WEAR AND TEAR AT ALL TIMES. ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT PLANTING PERIOD, WHICHEVER COMES FIRST, WHILE OTHER DEFECTIVE LANDSCAPE MATERIAL SHALL BE REPLACED OR REPAIRED WITHIN THREE (3) MONTHS.
 - THE GROUND SURFACE FOR GRASS AREAS SHALL BE PREPARED WITH A MINIMUM OF THREE(3) INCHES OF SHREDDED TOPSOIL, PRIOR TO SOO AND/OR IRRIGATION INSTALLATION.

LANDSCAPE PLAN 1"=20'-0"



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