

RECEIVED
 APR 22 2019
 SYCAMORE TWP.

SYCAMORE TOWNSHIP, OH
 DEPARTMENT OF PLANNING & ZONING
 8540 KENWOOD ROAD, CINCINNATI, OH 45236
 513.792.7250 PHONE 513.792.8571 FAX

1st submission

*2nd submission
 if reqd.*

ZONING COMMISSION APPLICATION

FEES:			
ZONE CHANGE	\$1,000	MINOR ADJUSTMENT TO A PUD	\$200
PUD I	\$1,000	MAJOR ADJUSTMENT TO A PUD	\$1,000
PUD II	\$1,200	MINOR ADJUSTMENT TO LASR	\$200
LASR	\$1,000	MAJOR ADJUSTMENT TO LASR	\$1,000

THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN

APPLICATION NUMBER

2019-05P2

DO NOT WRITE IN THIS SPACE

1. PROJECT ADDRESS: 2608 Blue Ash Rd ZIP CODE: 45242

2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER
OWNER Dominion Real Estate Tiffany Davis	4680 Cooper Rd	Blue Ash	OH	45242	
CONTRACTOR					
DESIGNER Pelican Studio Bul Shirley	16449 gateway dr	Cinti OH	GA	45242	513.692.8700
APPLICANT	"	"	"	"	"
APPLICANTS E-MAIL ADDRESS					

3. ZONING COMMISSION ACTION REQUESTED:

ZONE CHANGE FROM ZONE _____ TO ZONE _____

PUD I PUD II LASR

MAJOR ADJUSTMENT TO A PUD MINOR ADJUSTMENT TO A PUD

MAJOR ADJUSTMENT TO A LASR MINOR ADJUSTMENT TO A LASR

4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:
vacant for more than 5 yrs - existing previous use was
restaurant/bar on 1st flr single unit apt on second flr.

5. SQUARE FEET: 1,600sf 6. USE: commercial mixed 7. HEIGHT: 32ft

8. EST. START DATE: _____ 9. EST. FINISH DATE: _____ 10. # OF SIGNS: _____

THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Zoning Commission application.

NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.

Paul Self 4.22.19
 APPLICANT'S SIGNATURE DATE

See attached
 PROPERTY OWNER'S SIGNATURE DATE

1st submission

2nd submission
if reqd.

SYCAMORE TOWNSHIP, OH
DEPARTMENT OF PLANNING & ZONING
8540 KENWOOD ROAD, CINCINNATI, OH 45236
513.792.7250 PHONE 513.792.8571 FAX

ZONING COMMISSION APPLICATION			
FEES:			
ZONE CHANGE	\$1,000	MINOR ADJUSTMENT TO A PUD	\$200
PUD I	\$1,000	MAJOR ADJUSTMENT TO A PUD	\$1,000
PUD II	\$1,200	MINOR ADJUSTMENT TO LASR	\$200
LASR	\$1,000	MAJOR ADJUSTMENT TO LASR	\$1,000

THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN

APPLICATION NUMBER
2019-OSP2
DO NOT WRITE IN THIS SPACE

1. PROJECT ADDRESS: 8608 Blue Ash Rd ZIP CODE: 45242

2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER
OWNER Dominion Real Estate Tiffany Davis	4080 Cooper Rd	Blue Ash	OH	45242	
CONTRACTOR					
DESIGNER Pelican Studio Paul Shirley	10449 gateway dr	Cinti OH	OH	45242	513.652.8700
APPLICANT					
APPLICANTS E-MAIL ADDRESS					

3. ZONING COMMISSION ACTION REQUESTED:

ZONE CHANGE FROM ZONE _____ TO ZONE _____

PUD I PUD II LASR

MAJOR ADJUSTMENT TO A PUD MINOR ADJUSTMENT TO A PUD

MAJOR ADJUSTMENT TO A LASR MINOR ADJUSTMENT TO A LASR

4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:

vacant for more than 5 yrs - existing previous use was
restaurant/bar on 1st flr single unit apt on second flr.

5. SQUARE FEET: 1,600sf 6. USE: commercial mixed 7. HEIGHT: 32ft

8. EST. START DATE: _____ 9. EST. FINISH DATE: _____ 10. # OF SIGNS: _____

THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Zoning Commission application.

NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.

Paul Shirley 4.22.19
APPLICANT'S SIGNATURE DATE

Stacy Davis 4.22.19
PROPERTY OWNER'S SIGNATURE DATE

RECEIVED
APR 25 2019
SYCAMORE TWP.

March 25, 2019
Rev. April 19, 2019

Board of Zoning Appeals
Sycamore Township
8540 Kenwood Road
Sycamore Township, Ohio 45236-2010

Re: PUD-II Application 2019-05P2 (formerly case SYZ-19-019)
8608 Blue Ash Road
Blue Ash, OH 45242

Dear Sycamore Township:

Thank you for taking time to review my application for a Zoning Certificate/Permit; unfortunately, the application was denied on February 21st, 2019 and again on March 12th, 2019. At the request of the Zoning Administrator, please accept this Letter of Intent which accompanies the PUD-II Application, Plans which include the Metes and Bounds Description, Zoning Plat requirements and Existing and Proposed features.

The initial application for the Zoning Permit was denied due to:

Letter dated February 21, 2019

1. Requested ISR Worksheet for intended use
2. Parking Analysis for intended use

Letter dated March 12, 2019

"The proposed project does not meet the requirements of sections 9-1.1, 9-1.5, 9-2.2, 5-1.2 a & e, table 5-5, 12-4.1, 12-4.2, 12-4.3b, table 12-4, 12-4.7, 12-5.1, 12-6.2, 12-6.3, table 12.9, and chapters 14 and 15 of the Zoning Resolution."

In order for a Zoning Certificate to be issued for this project, you must apply for and be approved for a PUDI by the Zoning Commission.

In response, the following requested information is being presented in order of the PUD Application Checklist for clarity.

- a. Description of Change of the Premises:
- b. Size of the Area Involved:
- c. Description of the Proposed Use:
- d. Character of Development:
- e. Description of Surrounding Land Use
- f. Changes in Character and Conditions of the Area:
- g. Effect pm Community and Area:
 1. Effect on Community Objectives and Plans:
 2. Character of the Immediate Area:
 3. Adjacent Property:
 4. Public Facilities and Services:
- h. Other Information:

Following is a summary of the project site:

SITE DATA	
ADDRESS	8608 Blue Ash Road Blue Ash, Ohio 45236 Parcel No. 600-0201-0119-00
PROPERTY DESCRIPTION	BLUE ASH RD 50.90 X 190 PT LOT 18 ASHMORE SUB
BUILDING GROSS SQUARE FEET	2,652
EXISTING ZONING	Retail "E"
EXISTING USE	Vacant (Previously occupied by residential tenant and bar/restaurant.)

The purpose of this proposal is to finish the interior spaces and building exterior located at 8608 Blue Ash Road, Sycamore Township, Hamilton County, Ohio 45236. The 2,652 square foot building is currently vacant and the proposed use for the 1st floor is retail and/or service or office with no changes to the existing floorplan. The proposed use for the 2nd floor space remains the same; 2bed/1bath apartment with no changes to the existing floorplan.

Following are the sections of the Zoning Resolution that will be addressed according to the letter dated March 12th, 2019:

9-1.1 – Purpose

This chapter recognizes that, through provisions for compatible non-conforming uses, that the improvement of a nonconforming use may be desirable in unique circumstances to achieve additional protection of adjacent property and benefit the surrounding neighborhood.

This chapter also recognizes the new standards for...and setback requirements may conflict with the investment backed expectations of owners of developments that existed prior to the adoption of these regulations and therefore allows limited exception from such regulations to minimize the affect of these standards on existing property rights.

The building has been vacant for at least 5 years and is of no value to the neighborhood in it's current state. With the full renovation of the building, the property value increases. With the building being fully occupied, tax dollars increase as well as deters vandalism, squatters and deferred exterior and interior maintenance.

9-1.5 – Burden of Establishing Legality of Nonconformity

The burden of establishing that any nonconforming use lawfully exists under the provision of this Resolution shall, in all cases, be upon the owner of such nonconformity and not upon the Township.

Thus the purpose for submission of this proposal and hearing process.

9-2.2 – Nonconforming Use Discontinued

If a lawfully existing nonconforming use of land or of any structure is voluntarily discontinued for two (2) years or more, any future use shall conform to all the regulations of the zoning district in which it is located, unless approved by the Board or Zoning Appeals according to the provisions of Section 9.5.

Section 9.5 (Compatible Nonconforming Uses) states: *Notwithstanding the foregoing provisions to the contrary, the usable area of a nonconforming use may be increased or improved where the owner of such use can demonstrate through application to the Board of Zoning Appeals that the manner in which the usable area of the nonconforming use will be increased or improved will have no adverse impact upon adjacent property owners and other permitted land uses in the surrounding neighborhood or can be made compatible with the adjacent property owners and the uses in the surrounding neighborhood upon compliance with special conditions.*

PUD application, proposal and fee submitted for consideration.

5-1.2 – Statement of Intent

The Commercial Districts, which include the O Office district and the E Retail Business district, are intended to provide controlled and harmonious settings for office developments and business commercial developments, to enhance employment opportunities, to encourage the efficient use of land, to enhance property values and the tax base, to encourage a high quality of design in office and business/commercial developments...

It is our intent to conform with the Zoning Resolution to enhance employment opportunity, encourage efficient use of land (and structure), to enhance property value and the tax base and to encourage a high quality of design (please see attached Scope of Work).

5-1.2 (a) - Mechanical Equipment to be Screened

All ground level and roof top mechanical equipment visible from public streets and residential districts or any districts with permitted residential uses shall be screened.

The scope now includes screening the visible equipment on the north roof of the building.

5-1.2 (e) – Permanent Outdoor Storage or Display

N/A – the space was mis-identified on the original submission and has been corrected.

Table 5-5 – Lot Area, Bulk And Yard Requirements In Commercial Districts for Low Intensity Uses Permitted As of Right

This information is shown on the cover page. It should be noted that no changes to the exterior of the building will be considered that negatively affect the existing non-conforming setbacks. The intent is to leave the exterior building footprint as is.

12-4 – Design of Parking Spaces and Aisles

12-4.1 - Aisles

Each required parking space shall have direct and unrestricted access to an aisle of the minimum width set out in Table 12-4 and illustrated in Figure 12-4A.

Current parking spaces have direct and unrestricted access to an aisle of the minimum width set out in Table 12-4 and illustrated in Figure 12-4A.

The proposed layout has maximized the potential possible aisle width given the existing site conditions between buildings. The intent is to seek relief from strict adherence.

12-4.2 – Access

All parking spaces shall be entered and exited along parking aisles arranged perpendicular to access drives wherever possible. Parking shall be restricted along the area defined as an “entry drive” entry drives within 30 feet (30’) of the right away or easement line (and at greater distances as may be required by the Sycamore Township Zoning Commission depending on the traffic generation and parking lot size) nor within eight feet (8’) if the curb or pavement edge of such restricted entry drive area.

The proposed layout has maximized the potential possible access width and length from R.O.W. given the existing site conditions between building and existing road. The intent is to seek relief from strict adherence.

12-4.3 – Maneuverability Areas

12-4.3 (b) – Back-Up Area. Each parking space shall be provided with a sufficient back-up area to permit egress in one maneuver, consisting of one backward and one forward movement.

The proposed layout has maximized the potential possible maneuvering area given the existing site conditions behind the buildings. The intent is to seek relief from strict adherence.

Table 12-4 – Parking Stall And Aisle Dimensions

The proposed layout has complied with the size of parking stalls and maneuvering aisle, but given the existing site conditions access drive width and aisle width do not conform with defined requirements. The intent is to seek relief from strict adherence.

12-4.7 – Wheel Stops and Continuous Curbs

Wheel stops or continuous curbs shall be provided, located and designed to protect required screening devices and landscaping and pedestrian ways from damage or encroachment of vehicles and to provide necessary traffic control in the parking area.

- (a)
- (b)
- (c)
- (d)

The intent is to comply with the current Zoning requirements which we believe the proposed layout complies.

12-5 – Location of Required Parking Spaces

12-5.1 – Off-Street Parking

Required off-street parking spaces for any use shall be located on the same parcel as the use they are intended to serve, except where these regulations allow shared parking between uses on different lot pursuant to Section 12-3.3

Section 12-3.3 (Shared Parking) states: For shopping centers, parking requirements may be located on adjoining parcels if the parking requirements for the entire shopping center are met, the total number of required parking spaces are located within 300 feet from the uses they are intended to serve, and there is a recorded agreement from the Owner or between the Owners involved and all future owners or assigns which shall be submitted with the required plan.

The proposed layout significantly improves the original parking condition. The proposed concept shows the maximum potential possible number of spaces given the existing site conditions. The intent is to seek relief from strict adherence. Depending on the actual tenant that occupies the building will determine the actual quantity of spaces. However, should more spaces be required than possible to provide on the property, the Owner will negotiate and enter into agreement for shared parking with adjacent Property Owners within 300 feet of the building.

12-6.2 – Total Landscaping Required

The total landscaping required in vehicular use areas is 22 sq. ft. per parking and stacking space. Interior and street landscaping count toward the minimum sq. ft. of landscaping required per parking space. Boundary buffers do not count toward the minimum square feet of landscaping required per parking space.

Landscaping will be included as indicated on the concept plan . The intent is to comply with the current Zoning requirements which we believe the proposed layout complies.

12-6.3 – Interior Landscaping Standards

12-6.3 (a) – *Design*. Landscape area shall be peninsular, island type, or tree islands as defined in Section 12. *Location*. All parking spaces must be at least within 100 feet of a landscaped area.

Landscaping will be included as indicated on the concept plan. The intent is to comply with the current Zoning requirements which we believe the proposed layout complies.

Table 12.9 – Schedule of Off-Street Parking Requirements

According to the Table, in addition to the Accessory Apartment, businesses that occupy the first floor of the building would be able to accommodate parking for uses that require 150sf per space or greater. The uses that require 100 sf (net area) / parking space may conform once the final layout of the interior is determined.

RECEIVED

APR 25 2019

SYCAMORE TWP.

If additional spaces are required, the owner will make every attempt to obtain a shared parking agreement before entering into contract with said tenant.

Chapter 14 of the Zoning Resolution

14-1 – Purpose

The purpose of this chapter is to require buffering noncompliance between noncompatible land uses, provide coordinated streetscapes, protect sight triangles, and to protect, preserve and promote the character and value of surrounding neighborhoods as well as, to promote the public health and safety through the reduction of noise pollution, air pollution, visual pollution, air temperature, and artificial light glary by providing for the illustration and maintenance of buffer areas and landscaping in accordance with the standards and requirements set forth below.

14-6.6 - Existing Fence, Wall Berm or Landscaping on Adjacent Parcel

*When the adjoining parcel has an existing fence, wall berm, or landscaping within 10 feet (10') of a developing parcel boundary that fulfills the buffer requirements of the developing parcel, the existing landscaping material on the adjacent lot may be used towards the requirements for the boundary buffer required for that boundary edge only. All credits for existing landscape material must be in accordance with Section 15-6, and other related chapters. Any additional landscape material necessary to meet the boundary buffer requirements shall be added. **The intent is to provide landscaping as indicated on the proposed concept plan, taking into consideration the existing heavily wooded buffer between the east adjacent property and both north and south adjacent property owners with similar Use groups allowing splitting the required buffer width equally on both property Owners sites.***

Chapter 15 of the Zoning Resolution

15-1 – Purpose

The purpose of this chapter is to assure that, in conjunction with the purposes of Chapters 12, 14 and other related chapters all landscape requirements of this Resolution are effectively achieved with high quality landscape elements and to provide flexibility in incentives to retain existing landscape material elements where appropriate.

The intent is to comply with the current Zoning requirements which we believe the proposed layout complies.

In summary, the owner is currently seeking to zone the property R-2/B, to permit the interior/exterior finish of the building and to consider the proposed parking spaces as appropriate for off-street parking. Please see Proposed Site Concept Plan included. Additional parking is available in the immediate area. It may become necessary for the owner to seek a shared parking agreement depending on the type of tenant that is interested in occupying the first floor.

Further, the owner believes the proposed building finish upgrades offer a significant improvement to the business corridor as well as to the structure itself. In its current state, the building is of little value and potentially a nuisance. Finished and occupied with a commercial and residential tenant, there is tax value for the township.

Lastly, the request for the variance satisfies the standards outlined in the Sycamore Township Zoning Resolution: *is a unique physical condition, is not self-created, would deny substantial rights, is not merely a special privilege, must be in harmony with the Township Resolution.* Further, the proposed would not result in a use or development on the subject property that: *would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development value of property or improvements permitted in the vicinity; would materially impair an adequate supply of light due to adverse location of shadow to the properties and improvements in the vicinity; would substantially increase hazardous conditions in the public streets due to traffic*

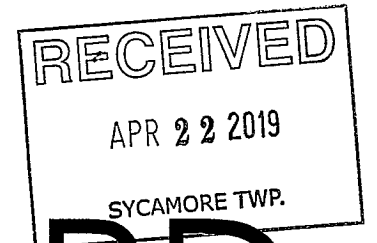
or parking; would unduly increase the danger of flood or fire; would unduly tax public utilities and facilities in the areas; or would endanger the public health or safety.

If you would like more information on this proposal, please feel free to contact either of us at the information shown below. We look forward to working with you in hopes of bringing a viable building and business to the township. We would also appreciate the opportunity to discuss in more detail at the Zoning Commission Meeting.

Respectfully submitted,

Tiffany Davis, Owner
513-375-9687
tiffany@treorealtors.com

Paul Shirley, Architect and applicant
513-652-8700
pshirley@pelstuarch.com



ZONING INFORMATION

PROPERTY INFORMATION: 8608 BLUE ASH RD., CINCINNATI, OHIO 45242
SYCAMORE TWP, HAMILTON CTY.

PARCEL ID: 600-0201-0119-00 (PART OF LOT 18 ASHMORE SUBDIVISION)
SITE ACREAGE: 0.213(±) ACRES | (9,292(±) SF)
ZONING DISTRICT: COMMERCIAL: "E" - RETAIL BUSINESS
LOT REQUIREMENTS:

	Requirement:	Proposed	
LOT AREA:	20,000 sf (min)	9,292 sf (exist)	NO CHANGE
LOT WIDTH:	100 ft	50 ft (exist)	NO CHANGE
FRONT YARD:	30 ft	10.90 ft (exist)	NO CHANGE
SIDE YARD:	10 ft (each)	0 ft / 9 ft (exist)	NO CHANGE
REAR YARD:	20 ft	118.47ft (exist)	NO CHANGE
IMPERVIOUS SURFACE RATIO:	0.50% (max)	0.89% (proposed)	CHANGED
HEIGHT OF BUILDING:	35 ft (max)	32 ft (exist)	NO CHANGE

- SITE INFORMATION SHOWN FROM VARIOUS RESOURCES:
- BOUNDARY INFORMATION FROM MORTGAGE EXHIBIT "A": LEGAL DESCRIPTION AND PLAT BOOK 31, PG 5 OF THE PLAT RECORDS OF HAMILTON COUNTY, OHIO.
 - BOUNDARY MEETS AND BOUNDS AND BUILDING LOCATION FROM BOUNDARY SURVEY BY T. DILLINGER DATED APRIL 15, 2019
 - CAGIS RECORDS FOR SITE TOPOGRAPHY.
 - FIELD MEASUREMENTS AS NOTED.

PROPOSED IMPROVEMENTS FOR:

8608 BLUE ASH RD

CINCINNATI, OHIO 45242
sycamore township
hamilton county

OWNER

DOMINION REAL ESTATE CONSULTING
4680 COOPER RD
BLUE ASH, OHIO 45242

ARCHITECT

PELICAN STUDIO, LLC
10449 GATEWAY DRIVE
CINCINNATI, OHIO 45242 (513) 652-8700

BUILDING CODE NOTES

PROJECT SUMMARY:
PROJECT SCOPE OF WORK CONSISTS OF INTERIOR COSMETIC IMPROVEMENTS OF AN EXISTING COMMERCIAL MIXED USE BUILDING AND RESTORING FIRE RATED SEPARATION BETWEEN USE GROUPS, PROVIDING AN ACCESSIBLE ENTRANCE, MODIFYING EXISTING EGRESS TO APARTMENT AND REAR EGRESS, REMOVING AND REPLACING EXISTING ROOF AS REQD, REPLACING AWNINGS AND IMPROVING THE PARKING LOT.

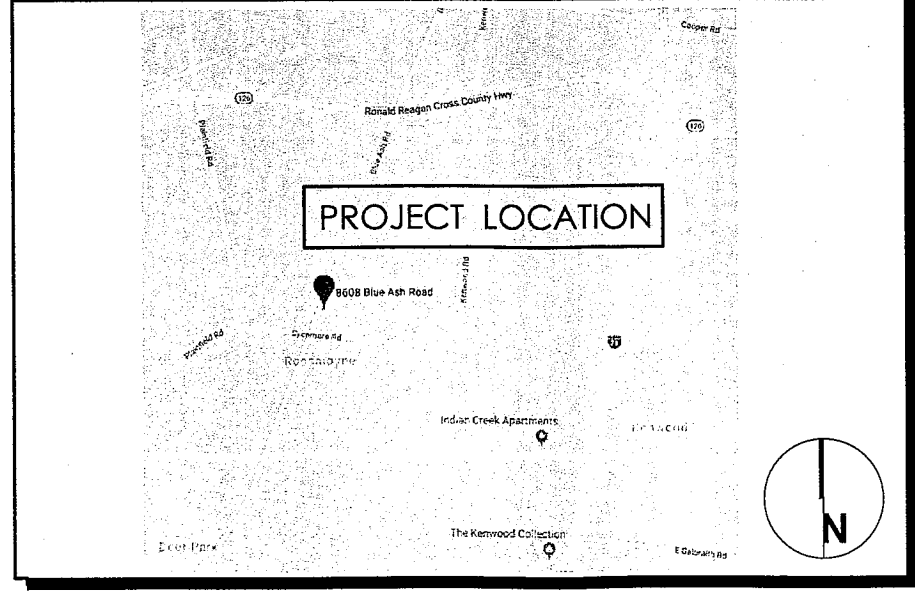
CONSTRUCTION TYPE: 3B - NO CHANGE
USE GROUP: B (FIRST FLR)/ R-2 (SECOND FLR) - NO CHANGE
FIRE SUPPRESSION: NON-SPRINKLERED - NO CHANGE
FIRE PROTECTION: NO CHANGE

BUILDING HEIGHT AND AREA:
- NO CHANGE TO EXISTING OVERALL BUILDING HEIGHT OR AREA
- NO CHANGE TO EXISTING TENANT SPACE AREA

AREA OF EXISTING FIRST FLOOR TENANT SPACE:
GROSS AREA: 1,644 SF
NET AREA: 1,282 SF

AREA OF EXISTING SECOND FLOOR APARTMENT:
GROSS AREA: 1,022 SF

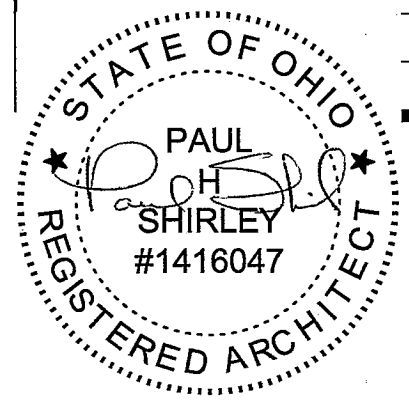
VICINITY MAP



INDEX OF DRAWINGS

SHT No: DESCRIPTION:

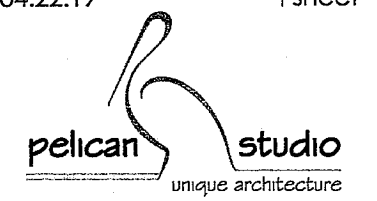
ARCHITECTURAL	
z1	COVER PAGE
z2	SITE PLAN



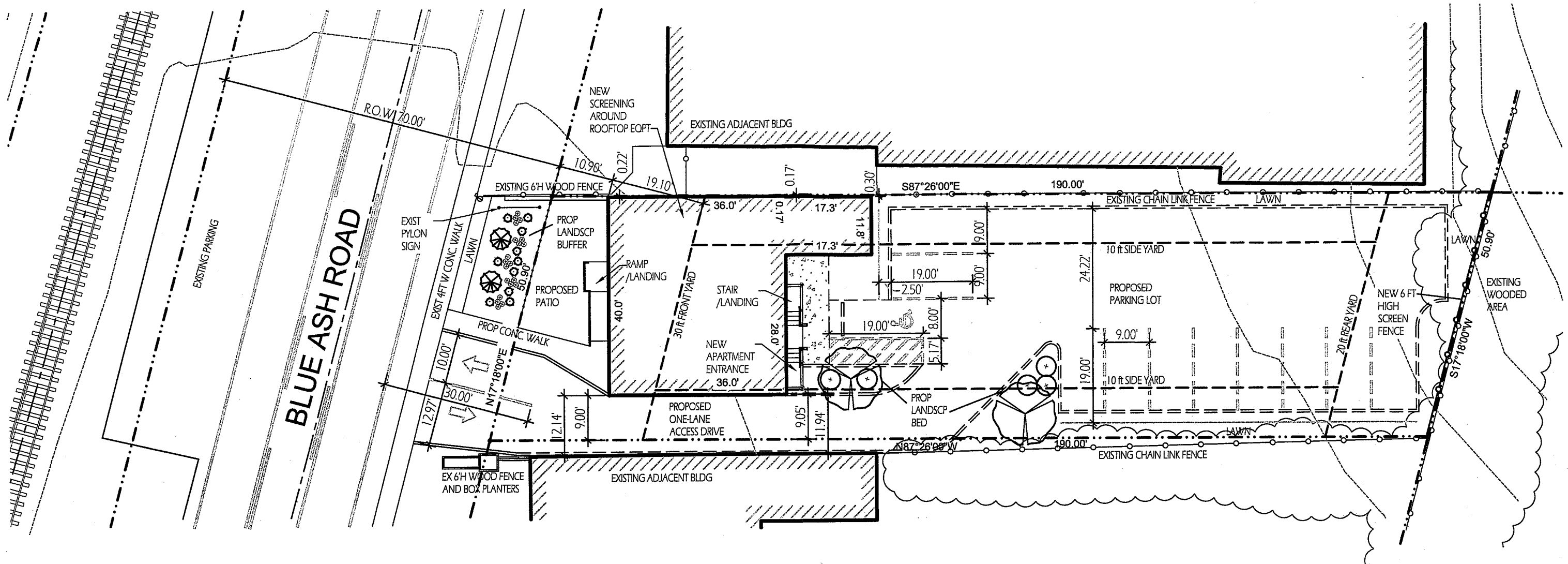
cover page
Proj #: 03001.01 | 04.22.19

z1
sheet

10449 Gateway Drive
Cincinnati | Ohio | 45242
513.652.8700



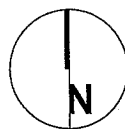
Proposed Improvements: 8608 Blue Ash Road



site plan

proposed layout

scale: 1:20 0' 5' 10' 20' 40' 60' 80'



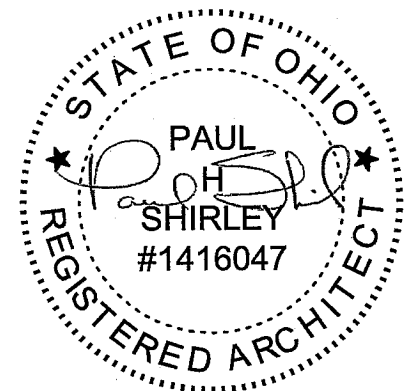
Issues:

- 5-1.2(a): will provide screening of new/added mechanical equipment visible on roof, if any
- 5-1.2(e): no outside storage exists or is intended on site - therefore, not applicable.
- Table 5-5: existing structure to remain "as is". Only cosmetic upgrades and code reqd egress improvements intended.
- 12-4 - Design of Parking Spaces and Aisles: revised layout to accommodate parking for 2-bedroom apartment and future Commercial tenant (TBD). Reconfigured layout intends to comply where possible. Where not possible, priority will focus on providing safe conditions as much as possible given the existing site constraints. Entry Drive: 30 ft provided from edge of traffic lane; width of 20' provided for the 30 ft

length, existing conditions allow for single lane only - to maximize width, propose relocating Apartment stairs to rear of building and new access. Priority will be provided to incoming traffic. Manuverability, Handicapped Parking, Surface Drainage and Lighting intended to all comply with Zoning Requirements, Width of Access Drive is maximized to fit within existing constraints, Wheel stops and continuous curbs intended to comply with requirements. Intended to reduce paved area by 2'-6" per Figure 12-4D to maximize pervious surface.

- 12-5 - Location of Required Parking Spaces: proposed parking layout moves to rear of property.
- 12-6 - Landscaping for Vehicular Use Areas: intention to comply providing 22 sf per parking space taking into consideration Streetscape landscaping and credits from existing trees, shrubs and fences on site.

- Table 12-9: Schedule of Off-street parking reqmts: Site layout maximized for parking spaces: (11) total: (2) spaces for Residential Use; (9) spaces for Commercial tenant (tbd). The gross area available for Commercial Tenant is 1,644sf. The maximum net area available is 1,394 sf. Assuming future tenant that requires 100 sf / space, then (14+2; 16 total) spaces would be required.
- Chapter 14 - Buffer Yards and Resource Protection | Chapter 15 - General Landscape Material Standards: Intend to utilize existing vegetation, fencing and walls to remain where possible. Provide streetscape and interior lot landscaping.



Paul H. Shirley, License # 1416047
Expiration Date 12.31.2019

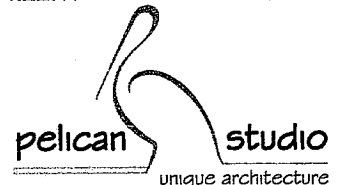
Site Layout

Proj #: 03001_01 | 04.22.19

Z2

sheet

10449 Gateway Drive
Cincinnati | Ohio | 45242
513.652.8700



Proposed Improvements: 8608 Blue Ash Road