



May 24, 2019

HAND DELIVERED

Board of Township Trustees  
Zoning Commission  
Sycamore Township, Ohio  
8540 Kenwood Road  
Sycamore Township, OH 45236

**RE:** Letter of Intent  
Application for a PUD II  
Graeter's Ice Cream Company  
8167 Montgomery Road

Dear Members of the Board and Members of the Zoning Commission:

Graeter's Ice Cream Company seeks approval to build and operate a retail ice cream store on the property located at 8167 Montgomery Road (the "Property"). Specifically, the Applicant requests:

- (i) approval of the enclosed application for a PUD II to develop the Property as generally depicted on the enclosed plans; and
- (ii) approval of the Zoning Resolution deviations described in this Letter of Intent.

Graeter's requests that this case be added to the June 10, 2019 Zoning Commission Agenda.

## **1. Description of Use**

Graeter's proposes to use the Property as a retail ice cream store. The proposed use is properly characterized as retail under the Sycamore Township Zoning Resolution (the "Zoning Resolution") because food will be prepared off-site and delivered to the Graeter's store for sale.

The Property is located in the "E" Retail/Business District. Pursuant to Table 3-2 of the Zoning Resolution, a retail use with an impervious surface ratio greater than .65,

such as the proposed Graeter's store, is permitted in the "E" Retail/Business District with approval of a PUD II.

A drive-thru is proposed as an ancillary use to the Graeter's store. Under Section 10-9.1 of the Zoning Resolution, a drive-thru attached to a retail principal use is expressly permitted in the "E" Retail/Business District.

## **2. Description of Improvements**

### **(a) Graeter's Store**

Graeter's proposes to construct a 4,775 square foot ice cream store on the Property. The store will feature a service area, retail/seating area, and indoor play area. As noted previously, a drive-thru is proposed along the western boundary of the Property. The structure will feature brick construction. An outdoor seating area measuring approximately 130 square feet is also proposed.

### **(b) Signage**

Graeter's proposes two signs, including a monument sign on Montgomery Road and a wall sign above the main entrance. The monument sign will replace the existing Verbargs pole sign. A small directional sign is also proposed at the entrance to the Property on Galbraith Road.

### **(c) Sidewalk Connection**

Graeter's proposes to connect the Property to the public park to the northeast via a sidewalk. To complete the connection between the Property and the existing walkway on the park property, Graeter's wishes to install a 46-foot long section to four-foot-wide sidewalk (approximately 184 square feet in total) on the park property.

## **3. Requested Deviations from the Township Zoning Resolution**

### **(a) Buffer**

Pursuant to the Zoning Resolution, a buffer is required along the northeastern property line between the Property and the public park. Graeter's requests a deviation from the buffer requirement. The Graeter's design team has endeavored to provide as much landscaping as possible given the physical constraints of the site. However, there is no space on the Property to install the required buffer. To reconcile the lack of an on-site buffer, Graeter's proposes to donate sufficient landscaping to Sycamore Township for planting on the public park. This proposal would allow for the creation of the necessary buffer while also enhancing the park.

**(b) Directional Sign**

Graeter's requests two deviations for the proposed directional sign on Galbraith Road

**(1) Signage Text**

Pursuant to the Zoning Resolution, directional signs cannot include any advertising. Graeter's requests a deviation from this restriction to include its name on the directional sign on Galbraith Road. Omitting Graeter's name from the sign could cause confusion regarding the purpose of the drive. The requested deviation is a reasonable way of avoiding such confusion.

**(2) Side Setback**

Pursuant to the Zoning Resolution, signage is required to be setback five feet from the side property line. Graeter's requests a deviation from this requirement to install its directional sign 18 inches from the side setback. As shown on the plans, there is no way to maintain the side setback and keep the Galbraith Road access free from obstruction.

**(c) Galbraith Road Streetscape Buffer**

Pursuant to the Zoning Resolution, all street frontages are required to have streetscape buffers. Graeter's requests a deviation from this requirement for its Galbraith Road frontage. As shown on the plans, the Galbraith Road frontage is only wide enough to accommodate the existing access drive. Thus, there is no place to install a streetscape buffer on Galbraith Road. However, the required streetscape buffer is proposed along Graeter's primary frontage on Montgomery Road.

**(d) Monument Sign Side Setback**

Pursuant to the Zoning Resolution, the monument sign is required to be setback five feet from the side property line. Graeter's requests a deviation from this requirement to locate the monument sign three feet from the side property line. Due to the configuration of the access points on Montgomery Road, there is a limited area in which to locate the monument sign. The minimal space available necessitates locating the monument sign within the side setback. The minimal deviation requested will have no adverse impacts on the adjacent property.

**(e) Dumpster Enclosure Rear Setback**

Pursuant to the Zoning Resolution, there is a required twenty-foot rear setback. Graeter's requests a deviation from this setback to locate its dumpster enclosure 9'3" from the rear property line. Locating the dumpster within the rear setback is necessary given

the limited space on the property, and will have no adverse impacts on the surrounding properties.

**(f) Canopy Height**

Pursuant to the Zoning Resolution, window and door canopies are not permitted to be installed higher than eight feet above grade. Graeter's requests a deviation from this requirement to install its front entrance canopy at a height of 10'4". As shown on the plans, the arrangement of the glass panels at the front entrance necessitates a higher placement of the canopy. The requested deviation is minor and will make for a more attractive appearance.

**4. Conclusion**

In conclusion, the Applicant requests approval of the PUD II Plan for the proposed Graeter's ice cream store as well as the Zoning Resolution deviations discussed in this Letter of Intent

Sincerely,

*/s/ Richard B. Tranter*

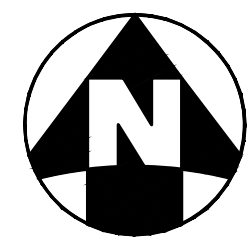
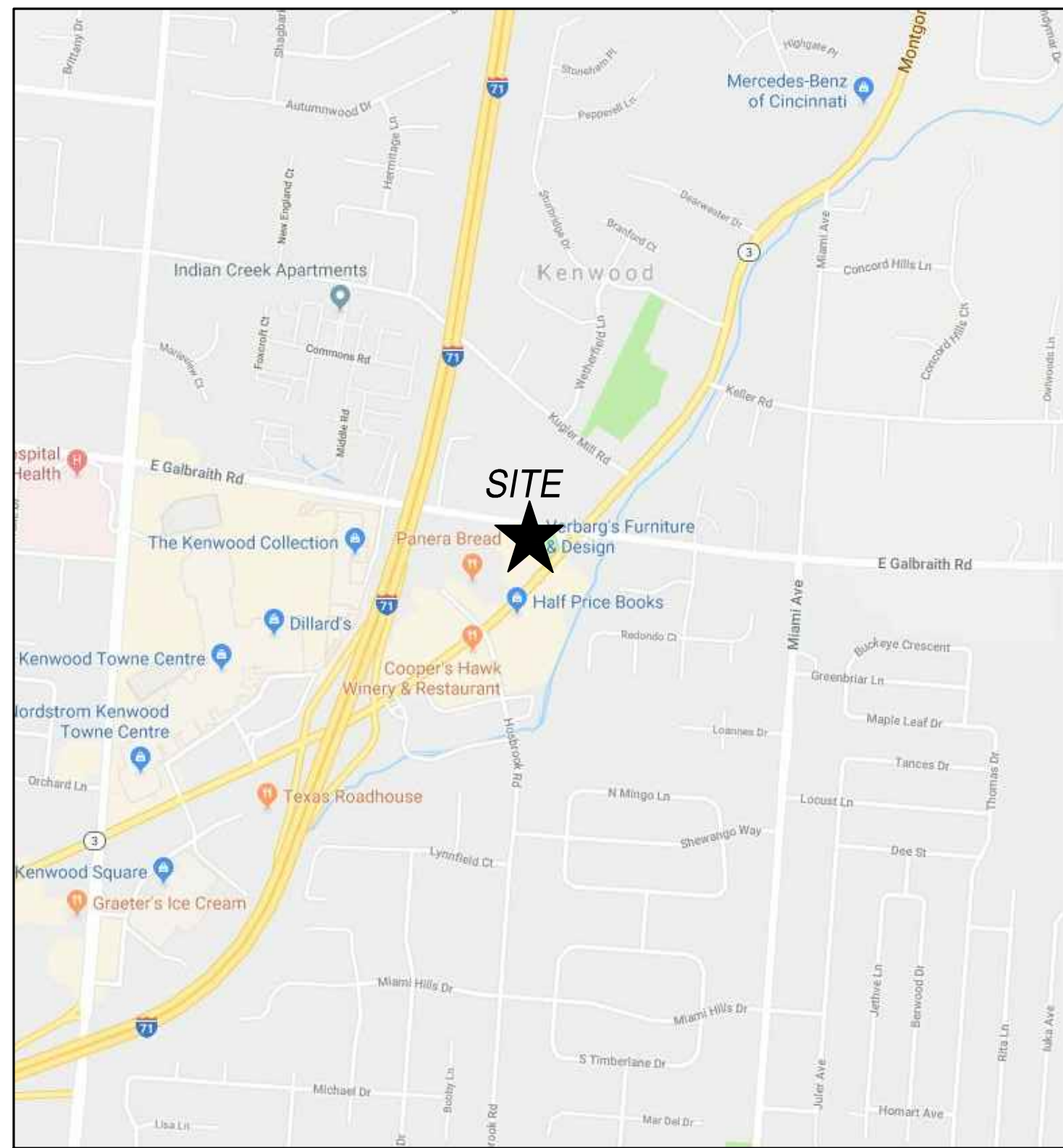
Richard B. Tranter

*Attorney for Graeter's Ice Cream Company*

Enclosures

# GRAETER'S ICE CREAM SYCAMORE TOWNSHIP

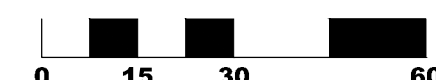
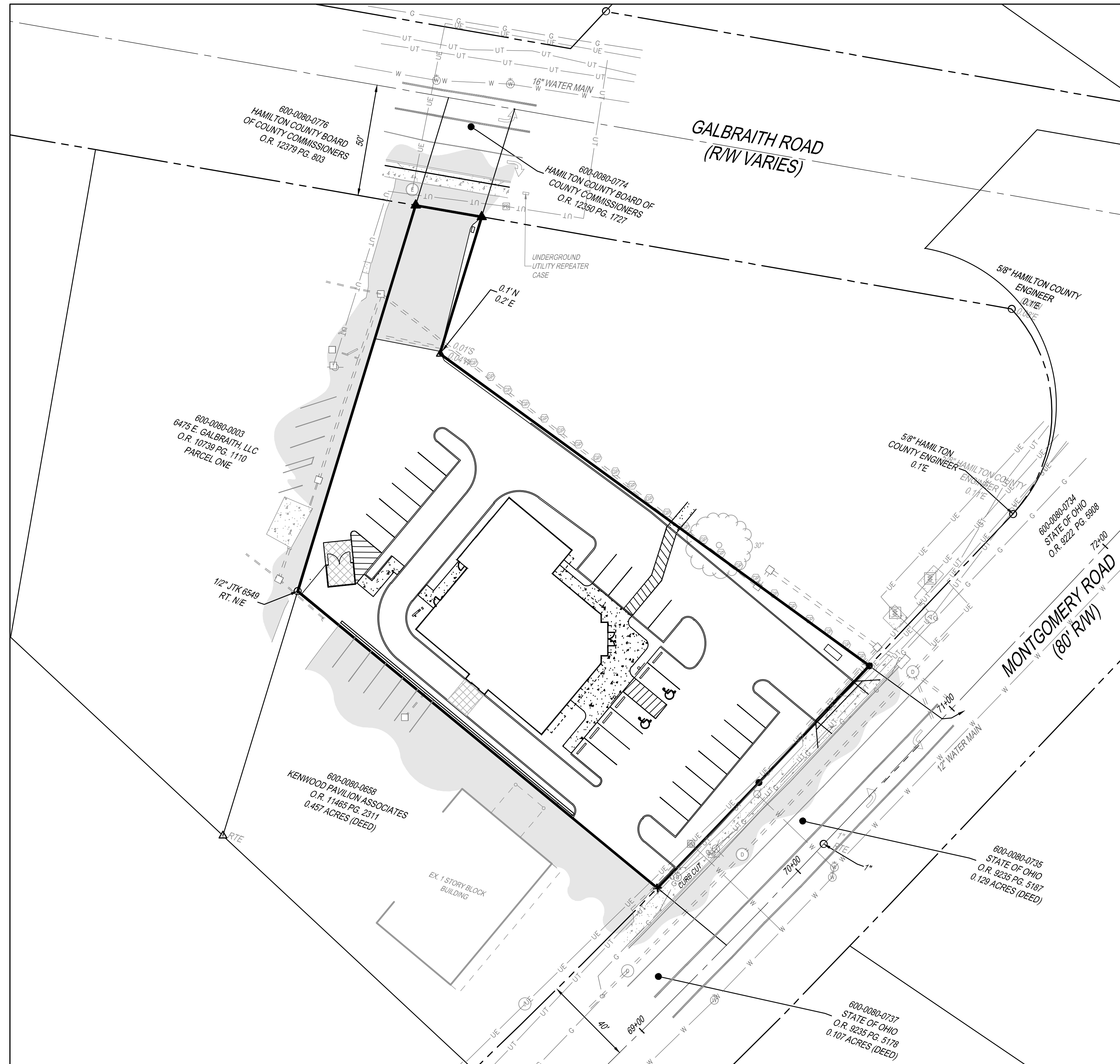
8167 MONTGOMERY ROAD  
CINCINNATI, OHIO - 45236



**VICINITY MAP**  
NO SCALE

**INDEX OF DRAWINGS:**

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1.5	DUMPSTER ENCLOSURE



**LOCATION MAP**

1"=30'



NOTE:  
UNDERGROUND UTILITIES ARE PLOTTED FROM A  
COMPILATION OF AVAILABLE RECORD INFORMATION AND  
SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND  
MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE  
EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES  
CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY  
PROTECTION SERVICE AT 1-800-362-2764 BEFORE ANY PERIOD  
OF EXCAVATION OR CONSTRUCTION ACTIVITY.

**SITE DATA:**

**OWNER:**  
W.B. MEIER REALTY COMPANY  
9825 KENWOOD ROAD, SUITE 204  
CINCINNATI, OH 45242

**SITE ENGINEER:**  
THE KLEINGERS GROUP  
6219 CENTRE PARK DRIVE  
WEST CHESTER, OH 45069  
CONTACT: JOSHUA P. SHAW  
P: 513-779-7851

**TOPOGRAPHIC:**  
PER SURVEY BY THE KLEINGERS GROUP  
AND RECORD DRAWINGS

**REFERENCE BENCHMARKS:**  
SEE SITE SURVEY

**EXISTING USE:**  
VERBARG'S FURNITURE AND DESIGN STORE

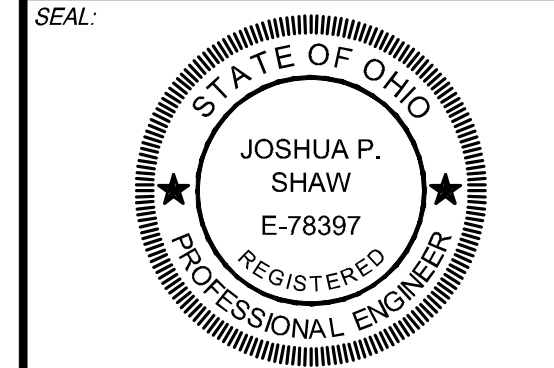
**PROPOSED USE:**  
GRAETER'S STORE



**THE KLEINGERS GROUP**  
CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE  
www.kleingers.com  
6305 Centre Park Dr. West Chester, OH 45069  
513.779.7851

**GRAETER'S ICE CREAM**  
8167 MONTGOMERY ROAD  
CINCINNATI, OH - 45236

**SYCAMORE TOWNSHIP**  
8540 KENWOOD ROAD  
SYCAMORE TOWNSHIP, OH - 45236



NO.	DATE	DESCRIPTION

**GRAETER'S ICE CREAM**  
8167 MONTGOMERY ROAD  
CINCINNATI, OH - 45236

PROJECT NO: 180817.000  
DATE: 05-20-2019  
SCALE:

SHEET NAME:  
**TITLE SHEET**

SHEET NO:  
**C100**

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### GENERAL NOTES

- SYCAMORE TOWNSHIP, AND THE CURRENT EDITION OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION AND MATERIAL SPECIFICATIONS (ODOT CMS), INCLUDING ALL SUPPLEMENTS, SHALL GOVERN ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THIS PLAN. IGNORE REFERENCES TO MEASUREMENT AND PAYMENT IN THE ODOT CMS UNLESS NOTED OTHERWISE. IN THE CASE OF CONFLICTS BETWEEN THE ODOT CMS AND SYCAMORE TOWNSHIP REQUIREMENTS, THE SYCAMORE TOWNSHIP REQUIREMENTS SHALL PREVAIL.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL CALL, TOLL FREE, THE OHIO UTILITIES PROTECTION SERVICE (1-800-362-2764) 48 HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES WHO ARE NON-MEMBERS OF THE OHIO UTILITIES PROTECTION SERVICE AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
- THE CONTRACTOR IS TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND FURNISH OWNERS REPRESENTATIVE WITH WRITTEN REPORTS.
- THE CONTRACTOR IS REQUIRED TO VISIT THE SITE AND FULLY INFORM HIMSELF CONCERNING ALL CONDITIONS AFFECTING THE SCOPE OF THE WORK. FAILURE TO VISIT THE SITE SHALL NOT RELIEVE HIM FROM ANY RESPONSIBILITY IN THE PERFORMANCE OF THE CONTRACT.
- NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR EXPENSES INCURRED DUE TO SOIL CONDITIONS, GROUNDWATER, AND/OR ROCK EXCAVATION, ALL OF THESE ITEMS SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE COST OF ALL DEWATERING REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE DIRECT OR INDIRECT DISCHARGE OR PUMPING OF UNFILTERED SEDIMENT-LADEN WATER INTO THE STORM DRAINAGE SYSTEM OR WATERCOURSE IS ILLEGAL AND PROHIBITED.
- ANY WELL, WELL POINT, PIT, OR OTHER DEVICE INSTALLED FOR THE PURPOSE OF LOWERING THE GROUND WATER TO FACILITATE CONSTRUCTION OF THIS PROJECT SHALL BE PROPERLY ABANDONED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 3745-9-10 OF THE OHIO ADMINISTRATIVE CODE OR IN ACCORDANCE WITH THE PROVISIONS OF THIS PLAN AS DIRECTED BY THE DIRECTOR OF PUBLIC UTILITIES OR HIS REPRESENTATIVE.
- ANY CONTRACTOR INSTALLING ANY WELL, WELL POINT, PIT, OR OTHER DEVICE USED FOR THE PURPOSE OF REMOVING GROUND WATER FROM AN AQUIFER SHALL COMPLETE AND FILE A WELL LOG AND DRILLING REPORT FORM WITH THE OHIO DEPARTMENT OF NATURAL RESOURCES (ODNR), DIVISION OF WATER, WITHIN 30 DAYS OF THE WELL COMPLETION IN ACCORDANCE WITH THE OHIO REVISED CODE SECTION 1521.01 AND 1521.05 IN ADDITION, ANY SUCH FACILITY IS COMPLETED IN ACCORDANCE WITH SECTION 1521.16 OF THE OHIO REVISED CODE. FOR COPIES OF THE NECESSARY WELL LOG, DRILLING REPORT, OR REGISTRATION FORMS, PLEASE CONTACT DIVISION OF WATER, OHIO DEPARTMENT OF NATURAL RESOURCES, FOUNTAIN SQUARE, COLUMBUS, OHIO 43224, (614)2656717.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO THE ODNR FOR THE REGISTRY, MAINTENANCE AND ABANDONMENT OF ANY WITHDRAWAL DEVICE USED IN CONSTRUCTION OF THIS PROJECT.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- ALL SITE SIGNAGE, STRIPING COLOR AND WIDTH SHALL BE PER THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL EXISTING PAVEMENTS, WALKS, CURBS, ETC. SHALL BE SAWCUT BEFORE REMOVAL. IF, DURING CONSTRUCTION, THE PAVEMENT, WALKWAY, CURB, ETC. IS DAMAGED BEYOND THE ORIGINAL SAWCUT, THE DAMAGED AREA SHALL BE RECUT TO NEAT LINES AS DIRECTED BY THE ENGINEER. PAYMENT FOR SAWCUTTING SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT TO PROVIDE A SMOOTH VERTICAL FULL DEPTH BUTT JOINT BETWEEN THE EXISTING PAVEMENT OR CURB AND THE PROPOSED PAVEMENT. CONTRACTOR SHALL LOCATE SOUND PAVEMENT EDGE AND CUT AND TRIM PAVEMENT TO A NEAT LINE. INCLUDE THE COST OF PAVEMENT REMOVAL AND DISPOSAL IN THE PRICE BID FOR THE PROJECT.

### GRADING NOTES

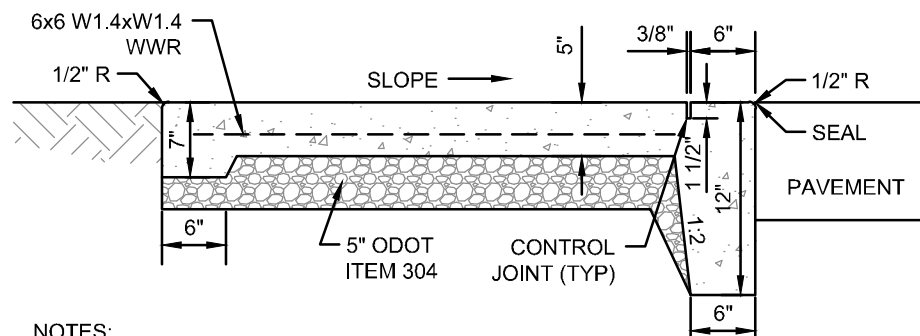
- CONTRACTOR TO REMOVE TREES AND CLEAR AREAS AS NECESSARY TO PERFORM ALL SITE WORK INCLUDING GRADING AND UTILITY WORK.
- PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
- SITE BUILDING PAD EXCAVATION AND CONSTRUCTION TO BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. BUILDING PAD PREPARATION SHALL BEGIN BY CLEARING & STRIPPING UNSUITABLE MATERIAL FROM PAD SITE. THEN PLACE & COMPACT BACKFILL MATERIAL AT GEOTECHNICAL ENGINEER'S AND ARCHITECT'S RECOMMENDATIONS. ALL BACKFILL MATERIAL MUST BE ACCEPTABLE TO THE GEOTECHNICAL ENGINEER.
- ALL FILL UNDER PAVEMENT SHALL BE COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR BURY/BORROW PITS AS NEEDED TO BALANCE THE SITE. GEOTECH AND ENGINEER MUST APPROVE AREAS PRIOR TO BURY/BORROW OPERATIONS. AS-BUILT OF BURY/BORROW PIT WILL BE REQUIRED AT COMPLETION OF CONTRACTOR WORK AND MUST BE SUBMITTED TO THE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES REQUIRED BY SYCAMORE TOWNSHIP AND THE OHIO EPA.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IF NO SPECIFICATIONS ARE SUPPLIED, USE ODOT ITEM 659.
- CONTRACTOR TO LAYOUT BUILDING BASED ON ARCHITECTURAL/FOUNDATION PLANS. SITE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.

### UTILITY NOTES

- ALL DRAIN TILE AND STORM SEWERS DAMAGED, DISTURBED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH THE SAME QUALITY PIPE OR BETTER, MAINTAINING THE SAME GRADIENT AS EXISTING. THE DRAIN TILE AND/OR STORM SEWER SHALL BE CONNECTED TO THE CURB SUBDRAIN, STORM SEWER SYSTEM OR OUTLETTED INTO THE ROADWAY DITCH AS APPLICABLE. REPLACED DRAIN TILE/STORM SEWER SHALL BE LAID ON COMPACTED BEDDING EQUAL IN DENSITY TO SURROUNDING STRUTUM. REPLACEMENT SHALL BE DONE AT THE TIME OF THE BACKFILL OPERATION. COST OF THIS WORK TO BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- ALL EXISTING UTILITIES KNOWN TO EXIST HAVE BEEN SHOWN ON THESE PLANS IN THEIR APPROXIMATE LOCATION. PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS, THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE UTILITIES SHOWN. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE PROTECTION AND/OR RELOCATION OF ANY UTILITIES THAT MAY EXIST AND ARE NOT SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION AND/OR PROTECTION OF ANY UTILITIES AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY.
- UTILITY POLES WITHIN INFLUENCE OF THE UTILITY OPERATIONS SHALL BE REINFORCED BY THE UTILITY COMPANY PRIOR TO THESE CONSTRUCTION ACTIVITIES. NOTIFICATION OF THE UTILITY COMPANY PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- COMPACTED FILLS ARE TO BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO CUTTING OF TRENCHES FOR PLACEMENT OF SAID SEWERS. ALL FILLS SHALL BE CONTROLLED, COMPACTED, AND INSPECTED BY AN APPROVED TESTING LABORATORY OR AN INSPECTOR FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- CONTRACTOR TO REPLACE ANY PAVEMENT OR UTILITIES DAMAGED WHICH ARE NOT SPECIFIED TO BE REMOVED ON THESE PLANS.
- ALL CATCH BASINS PLACED WITHIN THE PAVEMENT SHALL HAVE HEAVY DUTY FRAMES AND GRATINGS AND CONFORM TO ADA REQUIREMENTS.
- ADJUST ALL EXISTING CASTINGS AND CLEANOUTS WITHIN PROJECT AREA TO GRADE AS REQUIRED.
- ALL CATCH BASINS WITH DEPTH GREATER THAN 4.5' SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 611.
- ALL STORM AND SANITARY SEWER MANHOLES WITH A DEPTH GREATER THAN 4' SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 611.

**NOTE:**  
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

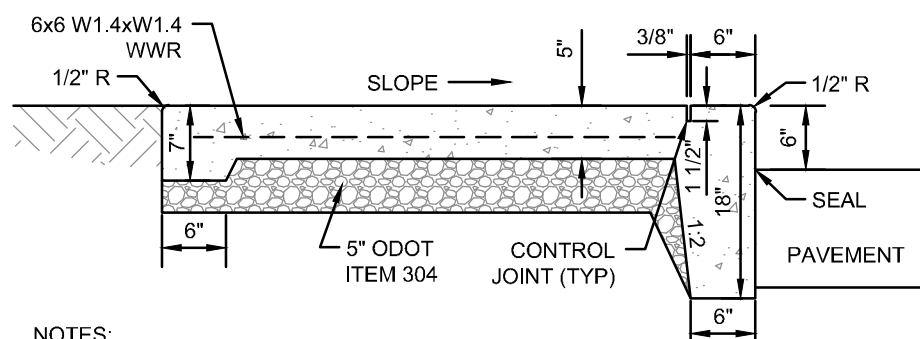
- DISTANCES SHOWN FOR BOTH SANITARY AND STORM SEWER PIPES ARE MEASURED FROM CENTER OF STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL FIELD CUT LENGTH. COORDINATES FOR STORM AND SANITARY STRUCTURES ARE SHOWN TO THE CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- IMMEDIATELY AFTER PLACEMENT OF ANY CONDUITS, THE CONTRACTOR SHALL CONSTRUCT THE END TREATMENTS REQUIRED BY THE PLANS AT BOTH THE OUTLET AND INLET ENDS. THIS SHALL INCLUDE HEADWALLS, CONCRETE, RIP RAP, ROCK CHANNEL PROTECTION, SODDING, POURING BOTTOMS, MUDDING LIFT HOLES, ETC.
- ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER. EROSION CONTROL MEASURES MUST PROVIDE PROTECTION UNTIL COMPLETION OF THE PROJECT AND VEGETATIVE STABILIZATION.
- THE CONTRACTOR IS TO CONSTRUCT CURBS, CATCH BASINS, DOWNSPOUTS, PIPING AND CONNECTIONS ETC. AS REQUIRED TO CONVEY THE ROOF AND PAVED SURFACE DRAINAGE TO THE DETENTION BASIN.
- ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEMS ARE PROHIBITED.
- SITE CONTRACTOR SHALL PICK UP ALL UTILITIES, WITH THE EXCEPTION OF DOWNSPOUTS, 5' OUTSIDE BUILDING WALL. COORDINATE WITH CONSTRUCTION MANAGER.
- ALL STORM STRUCTURES ARE ODOT TYPES UNLESS OTHERWISE INDICATED.
- STORM SEWER PIPE LABELED "STM" SHALL BE ONE OF THE FOLLOWING: PVC SDR-35 PER ODOT ITEM 707.45, PVC PROFILE PIPE PER ODOT ITEM 707.43, HIGH DENSITY POLYETHYLENE PER ODOT ITEM 707.33, ALUMINIZED CORRUGATED METAL, ODOT ITEM 707.01, 707.02, OR REINFORCED CONCRETE PIPE, ODOT ITEM 706.02 CLASS IV. STORM SEWER PIPE LABELED "RCP" SHALL BE REINFORCED CONCRETE PIPE, ODOT ITEM 706.02 CLASS IV. ALL STORM IS TO BE INSTALLED PER ODOT ITEM 611. ALL STORM PIPE USED MUST HAVE A MANUFACTURER SPECIFIED FRICTION FACTOR OF 0.013 (N=0.013) OR LESS.
- ALL CATCH BASINS IN THE PAVEMENT ARE TO HAVE 4" 4" PERFORATED UNDERDRAINS EXTENDING 10' LF FROM THE CATCH BASIN IN THE UPHILL DIRECTION AND CAPPED. ALL CATCH BASINS IN THE CURB ARE TO HAVE 2" 4" PERFORATED UNDERDRAINS EXTENDING 10' LF FROM THE CATCH BASIN IN THE UPHILL DIRECTION AND CAPPED.
- FOR EXACT LOCATION OF DOWN SPOUTS & ROOF DRAINS, COORDINATE WITH CONSTRUCTION MANAGER. ALL ROOF DRAINS ARE TO BE 8" UNLESS OTHERWISE NOTED.
- ALL YARD DRAINS SHALL BE ONE OF THE FOLLOWING: NYLOPLAST-ADS DRAIN BASIN, NDS DURACAST FABRICATED PVC CATCH BASIN, AGR-DRAIN CATCH BASIN, OR APPROVED EQUAL.
- ALL EXISTING INVERTS ALONG PROPOSED PIPE ALIGNMENTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OF THE SEWER.
- ANY FIELD TILE CUT IN EXCAVATION WHICH DRAINS IN AN OFFSITE AREA MUST BE TIED INTO THE STORM DRAINAGE SYSTEM.
- THE FLOW IN ALL SEWERS, DRAINS, FIELD TILES AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK, THEY SHALL BE RESTORED BY THE CONTRACTOR AT HIS OWN EXPENSE TO A CONDITION SATISFACTORY TO THE ENGINEER.
- SANITARY SEWER SHALL BE SDR-35 OR APPROVED EQUAL AND CONFORM TO THE STANDARDS AND SPECIFICATIONS OF SYCAMORE TOWNSHIP. PIPE MUST MEET MINIMUM SLOPE REQUIREMENTS OF SYCAMORE TOWNSHIP AND OHIO EPA. SANITARY SEWER SHALL BE INSTALLED AT A MINIMUM DEPTH OF FOUR FEET (4') UNLESS OTHERWISE NOTED. A MINIMUM OF 18" CLEARANCE SHALL BE MAINTAINED AT ALL WATERLINE CROSSINGS. SANITARY SERVICE JOINTS SHALL CONFORM TO ASTM D-3212.
- SANITARY SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL-AGGREGATES NOT TO BE LARGER THAN 3/4" AND NOT SMALLER THAN NO. 8 SIEVE, FREE OF SILT AND FINES, ASHTO M43 SIZE #67, 7 OR 8. BEDDING TO BE MINIMUM OF 6" BELOW & 12" ABOVE THE PIPE.
- ALL WATERLINE CROSSINGS SHALL MAINTAIN A VERTICAL SEPARATION OF 18" MINIMUM. SANITARY SEWER SHALL BE LOCATED A MINIMUM OF 18" BELOW WATERLINE AT ALL CROSSINGS. WATERLINE SHALL BE LOCATED A MINIMUM OF 10" HORIZONTALLY FROM ANY SANITARY SEWER. ALL MEASUREMENTS SHALL BE TAKEN FROM OUTSIDE OF SEWER PIPE TO THE OUTSIDE OF WATERLINE PIPE. ONE FULL LENGTH OF WATERLINE PIPE SHALL BE LOCATED AT ALL CROSSINGS TO ENABLE BOTH JOINTS TO BE LOCATED AS FAR FROM SEWER AS POSSIBLE. ALL WATER SHALL HAVE A MINIMUM OF 4' OF COVER.
- WATERLINE SHALL BE DUCTILE IRON PIPE CLASS 52, MINIMUM 250 PSI. (ADD SPECIAL NOTE FOR WATERLINE 2 INCHES AND UNDER TO BE "K" COPPER OR POLYUBING, MAKE SURE SPEC FOLLOWS)



NOTES:

- INSTALL EXPANSION JOINTS AT 30' OC MAXIMUM AND WHERE SLAB ABUTS STRUCTURES. WHERE NEW WALK ABUTS ADJOINING WALK, SAWCUT EXISTING WALK TO NEAREST JOINT AND INSTALL EXPANSION JOINT. EXPANSION JOINTS SHALL BE 1/2" WIDE BY DEPTH OF SLAB. SEAL ALL EXPANSION JOINTS.
- INSTALL CONTROL JOINTS AT 6' OC MAXIMUM AND AT 6" BEHIND INTEGRAL CURB. CONTROL JOINTS SHALL BE 3/8" WIDE BY 1 1/2" DEEP AND TOOLED, SAWED JOINTS ARE NOT PERMITTED.
- WALK SHALL HAVE A MINIMUM CROSS SLOPE OF 1.00%, MAXIMUM CROSS SLOPE OF 2.00%.
- WATER AND UTILITY BOXES IN THE WALK AREA SHALL BE ADJUSTED FLUSH WITH THE FINAL SURFACE.
- REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAIL AT ALL BUILDING DOORS.

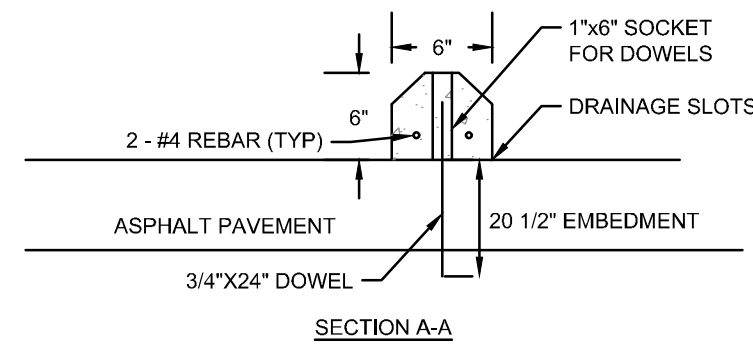
4 C101 EXTERIOR CONCRETE SLAB WALK WITH FLUSH CURB DETAIL N.T.S.



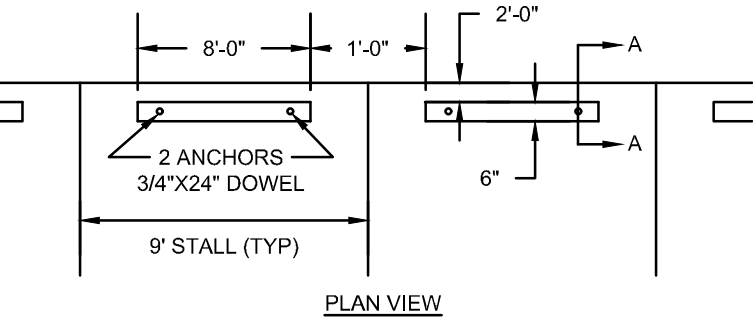
NOTES:

- INSTALL EXPANSION JOINTS AT 30' OC MAXIMUM AND WHERE SLAB ABUTS STRUCTURES. WHERE NEW WALK ABUTS ADJOINING WALK, SAWCUT EXISTING WALK TO NEAREST JOINT AND INSTALL EXPANSION JOINT. EXPANSION JOINTS SHALL BE 1/2" WIDE BY DEPTH OF SLAB. SEAL ALL EXPANSION JOINTS.
- INSTALL CONTROL JOINTS AT 6' OC MAXIMUM AND AT 6" BEHIND INTEGRAL CURB. CONTROL JOINTS SHALL BE 3/8" WIDE BY 1 1/2" DEEP AND TOOLED, SAWED JOINTS ARE NOT PERMITTED.
- WALK SHALL HAVE A MINIMUM CROSS SLOPE OF 1.00%, MAXIMUM CROSS SLOPE OF 2.00%.
- WATER AND UTILITY BOXES IN THE WALK AREA SHALL BE ADJUSTED FLUSH WITH THE FINAL SURFACE.
- REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAIL AT ALL BUILDING DOORS.

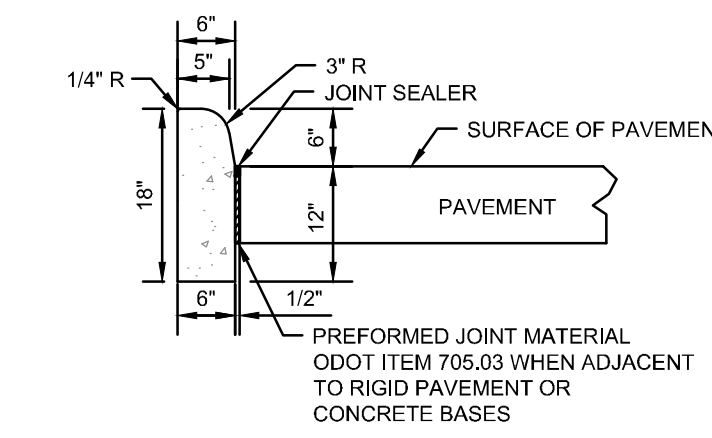
5 C101 EXTERIOR CONCRETE SLAB WALK WITH INTEGRAL CURB DETAIL N.T.S.



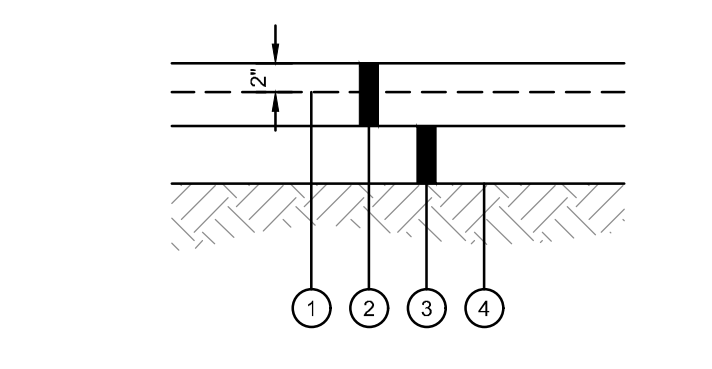
1 C101 STANDARD UTILITY ASPHALT PAVEMENT DETAIL N.T.S.



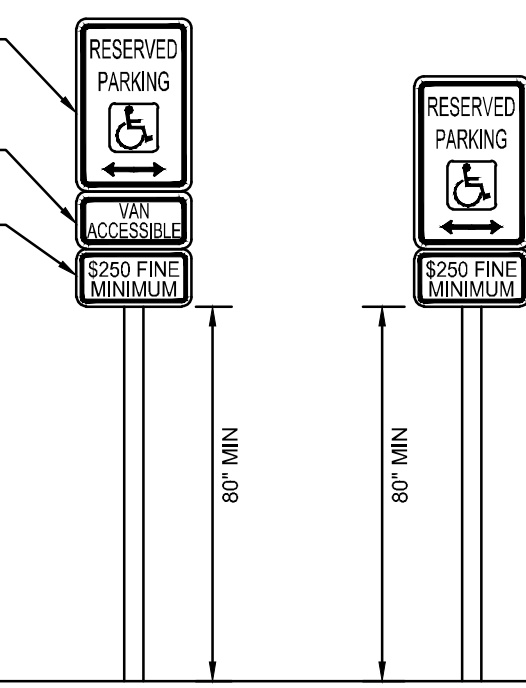
6 C101 PRECAST CONCRETE WHEEL STOP DETAIL N.T.S.



2 C101 BARRIER CURB DETAIL N.T.S.



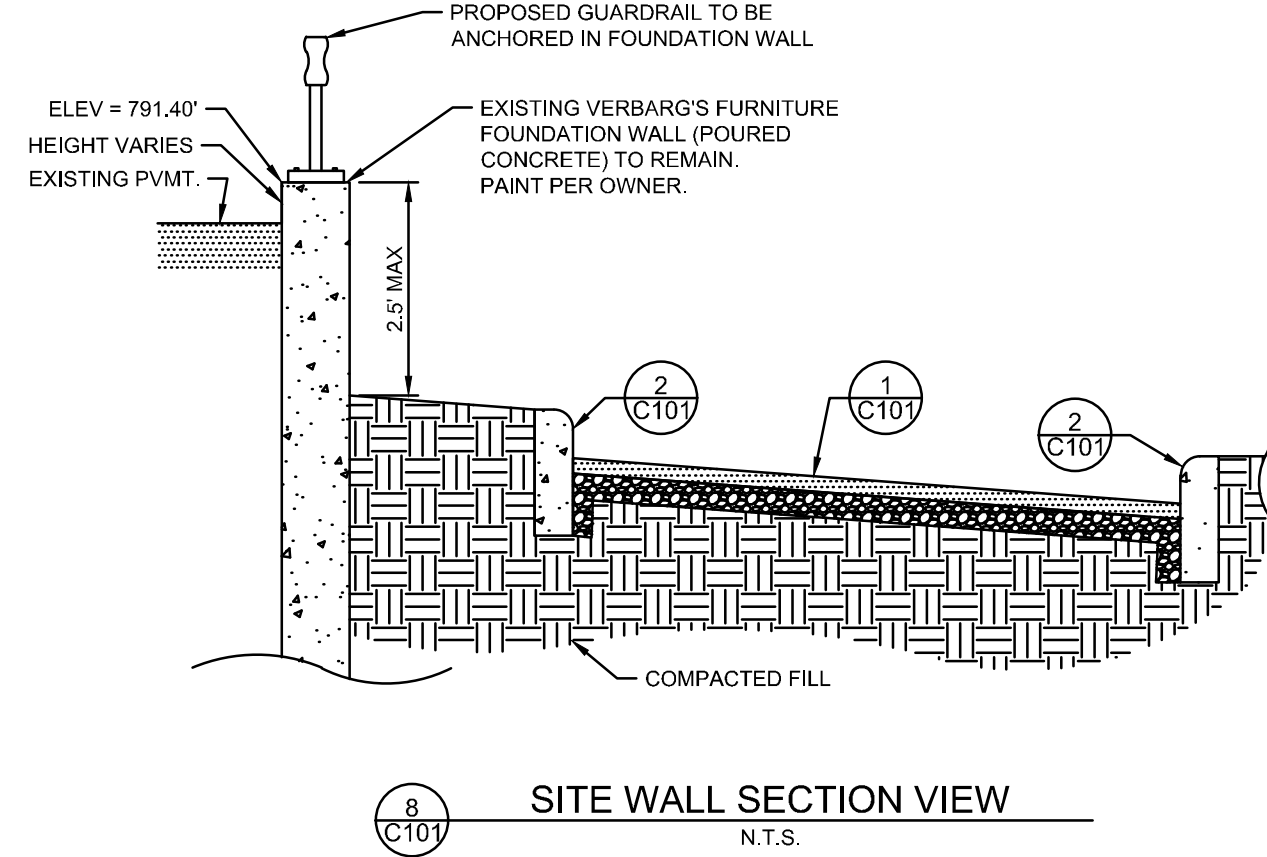
3 C101 HEAVY DUTY CONCRETE PAVEMENT DETAIL N.T.S.



NOTE:

- ONE ACCESSIBLE PARKING SPACE FOR EVERY SIX OR FRACTION THERE OF SHALL BE DESIGNATED AS "VAN ACCESSIBLE". LOCATION AS NOTED ON THE DRAWINGS.
- ONE SIGN TO BE INSTALLED AT EACH ACCESSIBLE PARKING SPACE.

7 C101 ACCESSIBLE PARKING SIGN DETAIL N.T.S.



8 C101 SITE WALL SECTION VIEW N.T.S.

**THE KLEINGERS GROUP**

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

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8305 Centre Park Dr. West Chester, OH 45069  
513.779.7851

**GRAETER'S ICE CREAM**  
8167 MONTGOMERY ROAD  
CINCINNATI, OH - 45236

**SYCAMORE TOWNSHIP**  
8540 KENWOOD ROAD  
SYCAMORE TOWNSHIP, OH - 45236

STATE OF OHIO

JOSHUA P. SHAW

E-78397

REGISTERED PROFESSIONAL ENGINEER

NO.	DATE	DESCRIPTION

**GRAETER'S ICE CREAM**  
8167 MONTGOMERY ROAD  
CINCINNATI, OH - 45236

PROJECT NO: 180817.000  
DATE: 05-20-2019  
SCALE:  
0 10 20 40  
SHEET NAME:  
**GENERAL NOTES & DETAILS**  
SHEET NO.  

# C101



**OHIO**  
**Utilities Protection SERVICE**

811 or 1-800-362-2764 Call Before You Dig



**LEGEND**

- ⊕ BENCHMARK
- IRON PIN FOUND (SIZE AS NOTED)
- ✕ CROSS NOTCH
- △ MAG NAIL (FOUND)
- ▲ MAG NAIL (SET)
- N.R. NON RADIAL
- SINGLE POST SIGN
- ☒ PULL BOX
- ⊞ ELECTRIC METER
- ⊞ LIGHT POLE
- ⊞ ELECTRIC MANHOLE
- ⊞ ELECTRIC BOX
- ⊞ TRANSFORMER
- ⊞ TELEPHONE BOX
- ⊞ GAS VALVE
- ⊞ WATER VALVE
- ⊞ WATER METER
- ⊞ FIRE HYDRANT
- ⊞ SOIL BORING
- ⊞ GUARD POST
- ⊞ CATCH BASIN
- INLET
- ⊞ STORM MANHOLE
- ⊞ CLEAN OUT
- ⊞ SANITARY MANHOLE
- FENCE LINE
- WATER LINE (PER RECORD)
- GAS LINE (PER RECORD)
- UNDERGROUND TELEPHONE (PER RECORD)
- UFO UNDERGROUND FIBER OPTICS (PER RECORD)
- UE UNDERGROUND ELECTRIC (PER RECORD)
- OU OVERHEAD UTILITIES
- SANITARY SEWER
- STORM SEWER
- ASPHALT
- CONCRETE

**NOTE:**  
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SEAL:

JOSHUA P. SHAW  
 E-78397  
 REGISTERED PROFESSIONAL ENGINEER

NO.	DATE	DESCRIPTION

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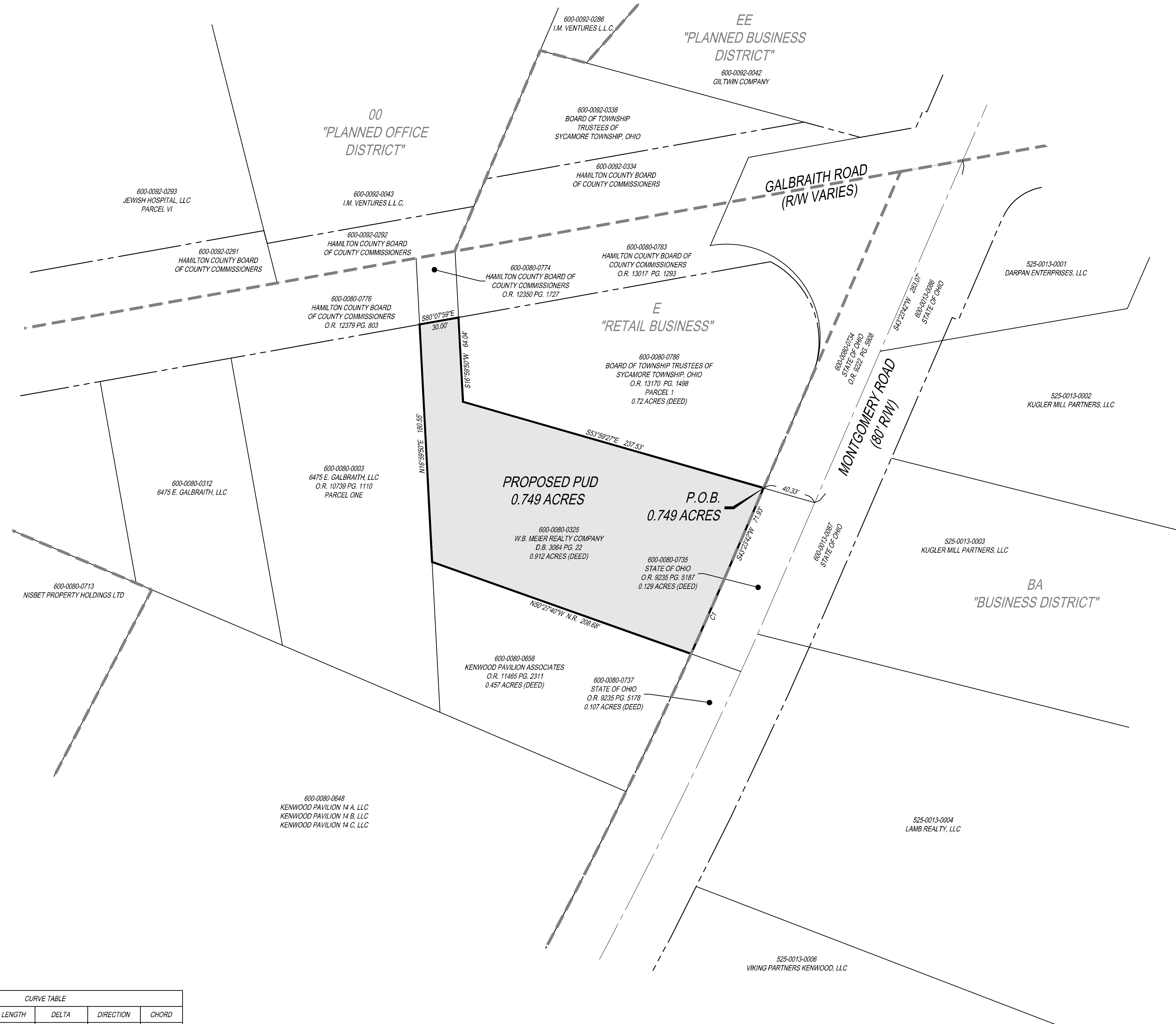
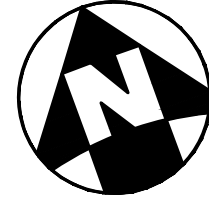
PROJECT NO: 180817.000  
 DATE: 05-20-2019  
 SCALE:

SHEET NAME:  
**EXISTING FEATURES SHEET**

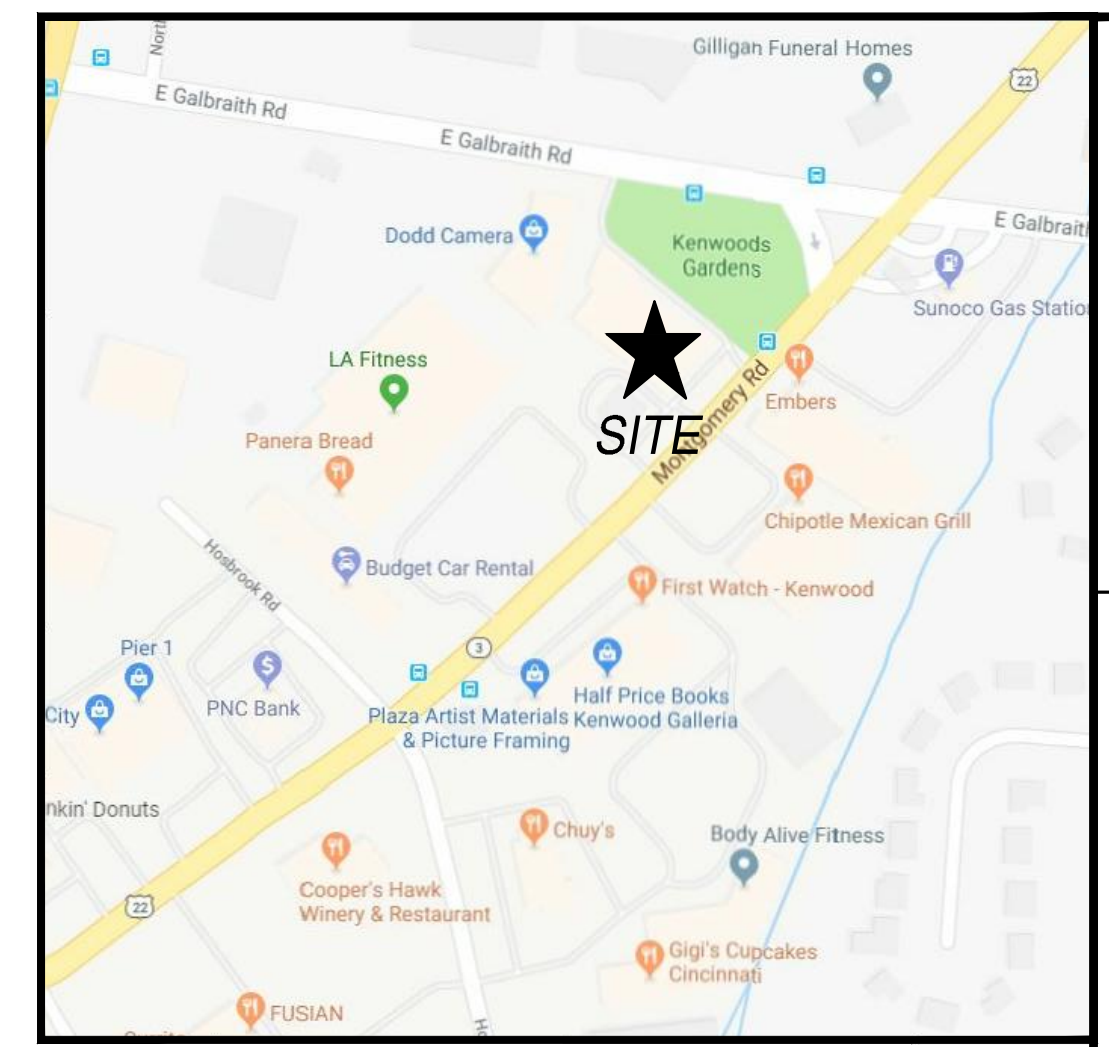
SHEET NO:  
**C110**

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180817.000-17.000-C110-Existing Features Sheet.dwg, 5/22/2019 4:42:54 PM, jps



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	DIRECTION	CHORD
C1	3779.69	65.50	0°59'34"	S43°53'29"W	65.50



VICINITY MAP  
N.T.S.

**LEGEND**

- AREA TO BE REZONED FROM E 'RETAIL BUSINESS TO PUD 0.749 ACRES
- EXISTING ZONING DISTRICT

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NO.	DATE	DESCRIPTION
1	4-17-2019	REZONE PLAT - JOB

**REZONE PLAT**  
**0.749 ACRES**  
SECTION 7 TOWN 4 ER 1, BTM  
SYCAMORE TOWNSHIP  
HAMILTON COUNTY, OHIO

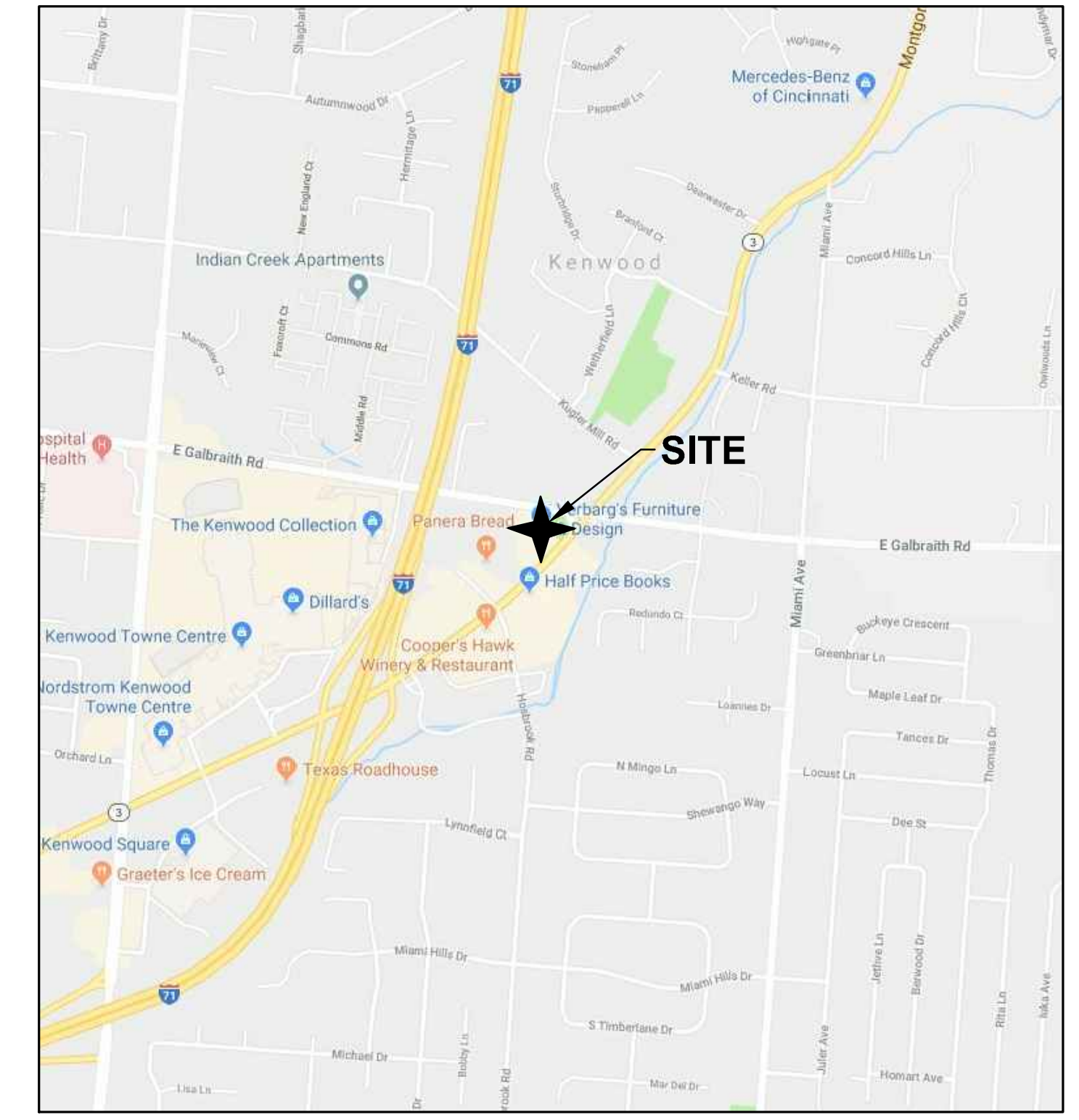
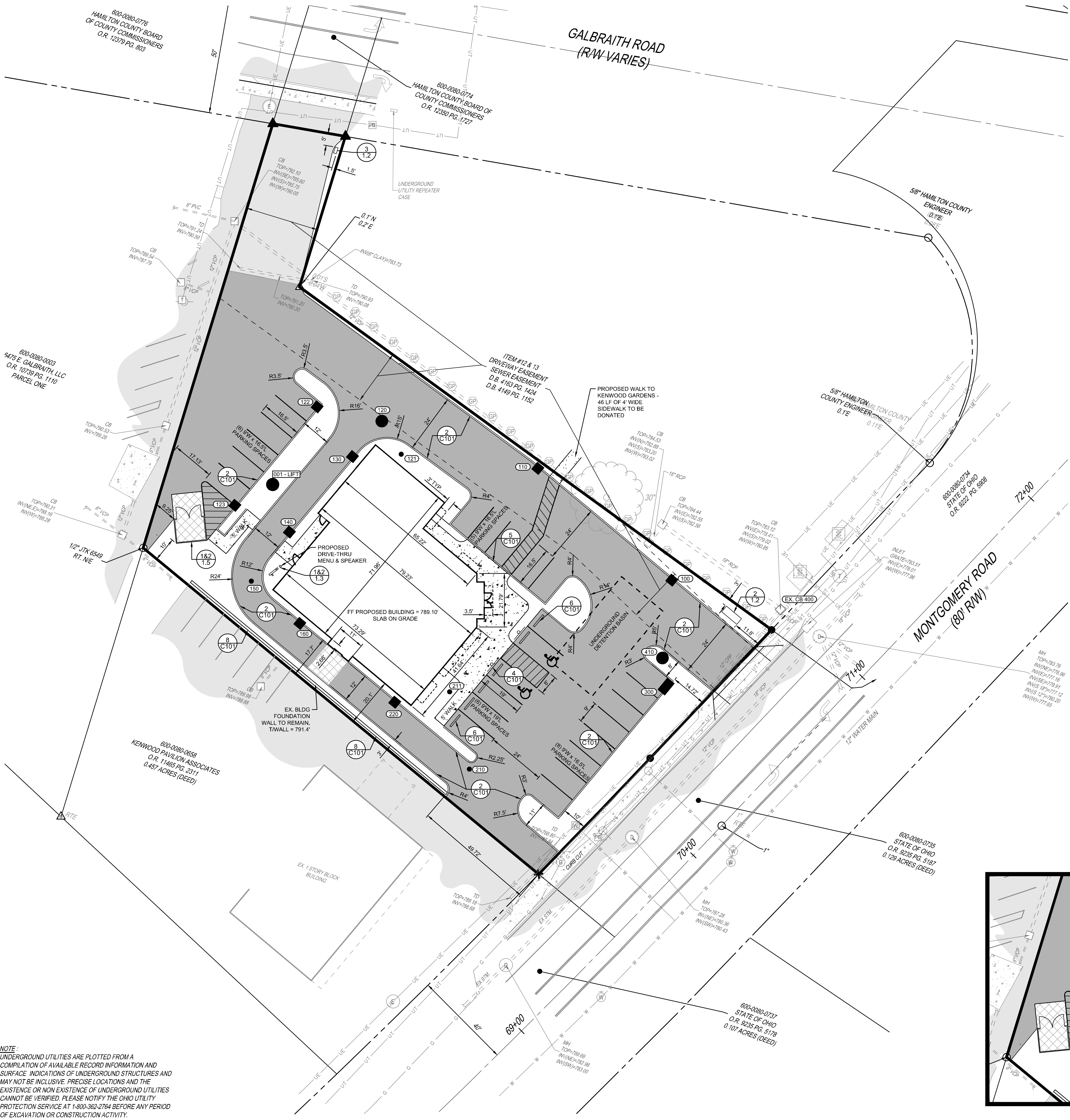
PROJECT NO: **180817VSD000**  
DATE: **4-17-2019**  
SCALE: **1" = 40'**

**GRAETER'S AT KENWOOD**

SHEET NO.  
**C111**

**NOTE:**  
HORIZONTAL DATUM IS BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM  
SOUTH ZONE (OSPC) AS DERIVED FROM THE OHIO DEPARTMENT OF  
TRANSPORTATION'S VIRTUAL REFERENCE STATIONING (VRS)(NAD 83).





**PROPOSED FEATURES SHEET LEGEND**

- 1 STANDARD DUTY ASPHALT PAVEMENT
- 2 HEAVY DUTY CONCRETE PAVEMENT
- 3 CONCRETE WALK
- 4 PROPOSED ACCESSIBLE PARKING SIGN

**PROPOSED FEATURES SHEET NOTES:**

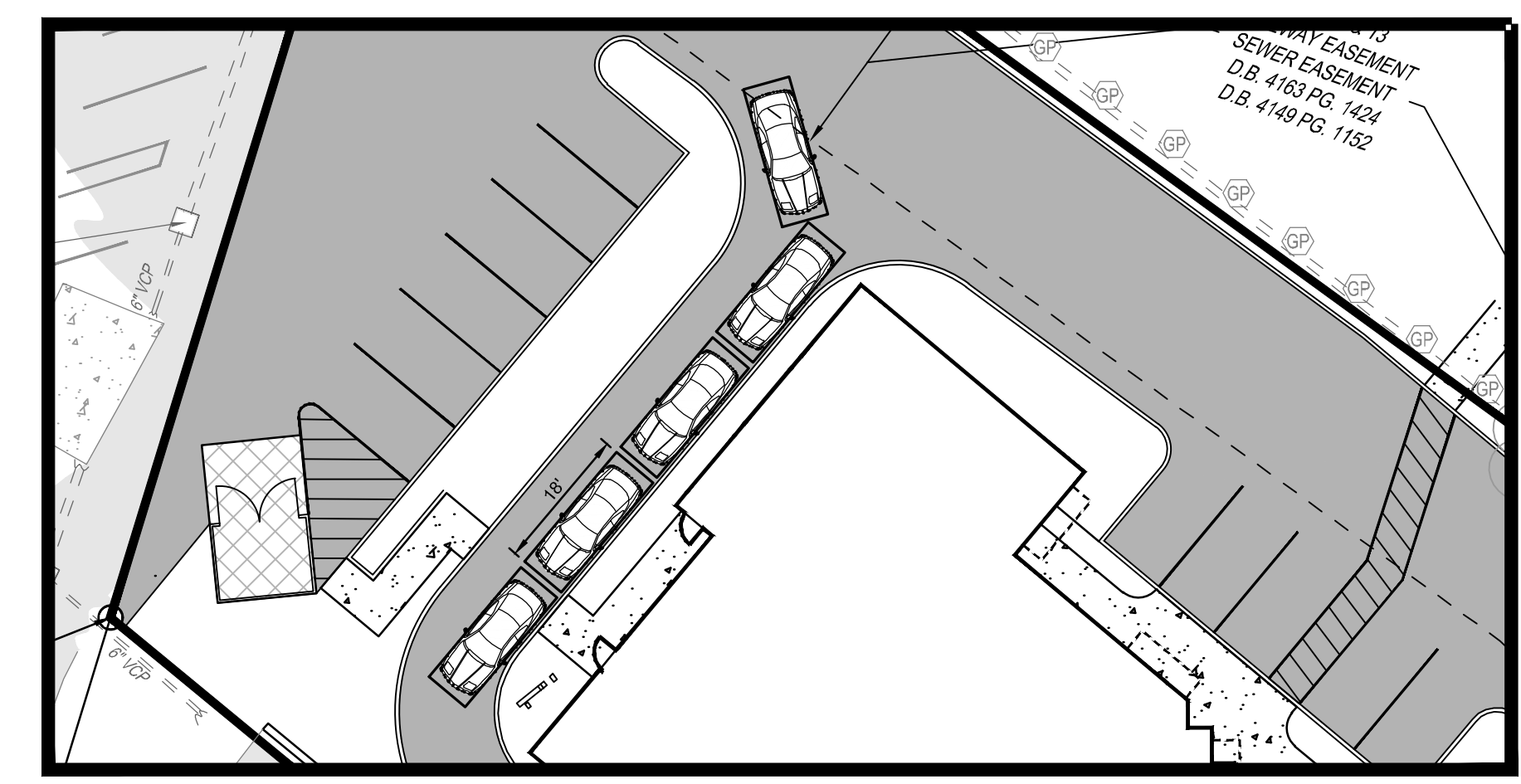
1. APPLICANT: DINSMORE AND SHOHL, LLP
2. CURRENT PROPERTY OWNER: W.B. MEIER REALTY COMPANY
3. FUTURE PROPERTY TENANT: GRAETER PROPERTIES LIMITED
4. PLANS PREPARED BY: THE KLEINGERS GROUP
5. SITE AREA = 0.749 ACRES

DESCRIPTION	VALUE
PROPOSED FACILITY USE	ICE CREAM SHOP - SALES & RETAIL
FLOOR AREA	4775 SF
EXTERIOR SEATING AREA	134 SF
TOTAL SQUARE FOOTAGE	4909 SF
PARKING SPACES REQUIRED	25 SPACES
PARKING SPACES PROVIDED	25 SPACES
PROPOSED I.S.R.	0.81'
EXISTING I.S.R.	1.00

\*REDUCING I.S.R. ON-SITE AND OFF-SITE (ELIMINATING PAVEMENT OVERHANG ON THE KENWOOD GARDENS PROPERTY)

SETBACK DESCRIPTION	SETBACK REQUIREMENT	VARIANCE
FRONT YARD BUILDING SETBACK	30 FT.	NO
SIDE YARD BUILDING SETBACK	10 FT.	NO
BACK YARD BUILDING SETBACK	20 FT.	YES - DUMPSTER ENCLOSURE

\*SEE SHEET L100 FOR SETBACK LINES IN PLAN VIEW



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SEAL:

NO.	DATE	DESCRIPTION

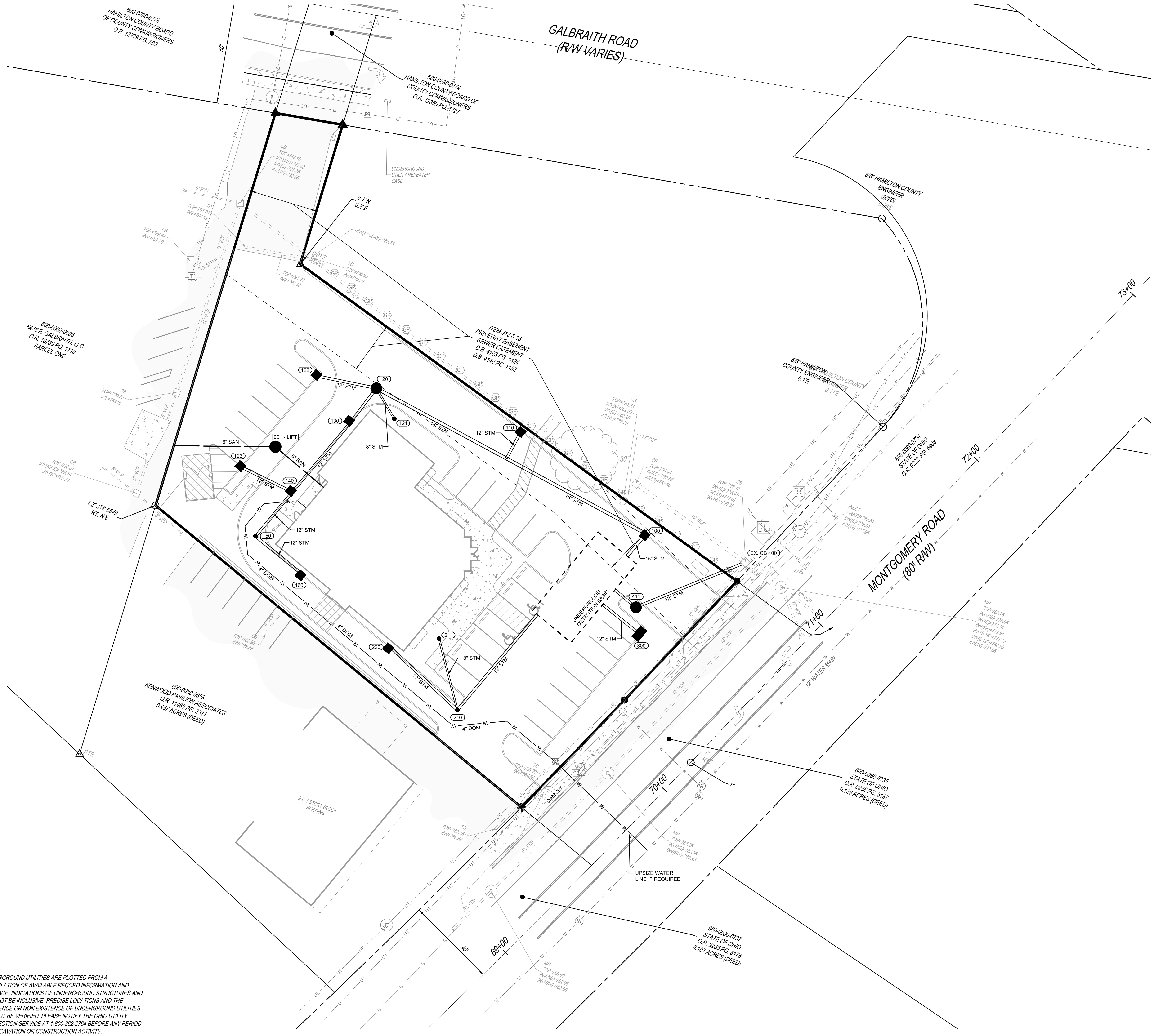
**GRAETER'S ICE CREAM**  
 8167 MONTGOMERY ROAD  
 CINCINNATI, OH - 45236

PROJECT NO: 180817.000  
 DATE: 05-20-2019  
 SCALE:

SHEET NAME: **PROPOSED FEATURES (1/4) - LOCATION PLAN**

SHEET NO: **C120**

**OHIO Utilities Protection SERVICE**  
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**UTILITY PLAN LEGEND:**

- STM STORM SEWER PIPE
- YARD DRAIN
- CATCH BASIN
- ODOT MANHOLE
- PROPOSED 4" DOMESTIC WATER
- PROPOSED SANITARY PIPE
- PROPOSED SANITARY LIFT STATION

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SEAL:

NO.	DATE	DESCRIPTION

**GRAETER'S ICE CREAM**  
 8167 MONTGOMERY ROAD  
 CINCINNATI, OH - 45236

PROJECT NO: 180817.000  
 DATE: 05-20-2019  
 SCALE:

SHEET NAME:  
**PROPOSED FEATURES (2/4) - UTILITY PLAN**

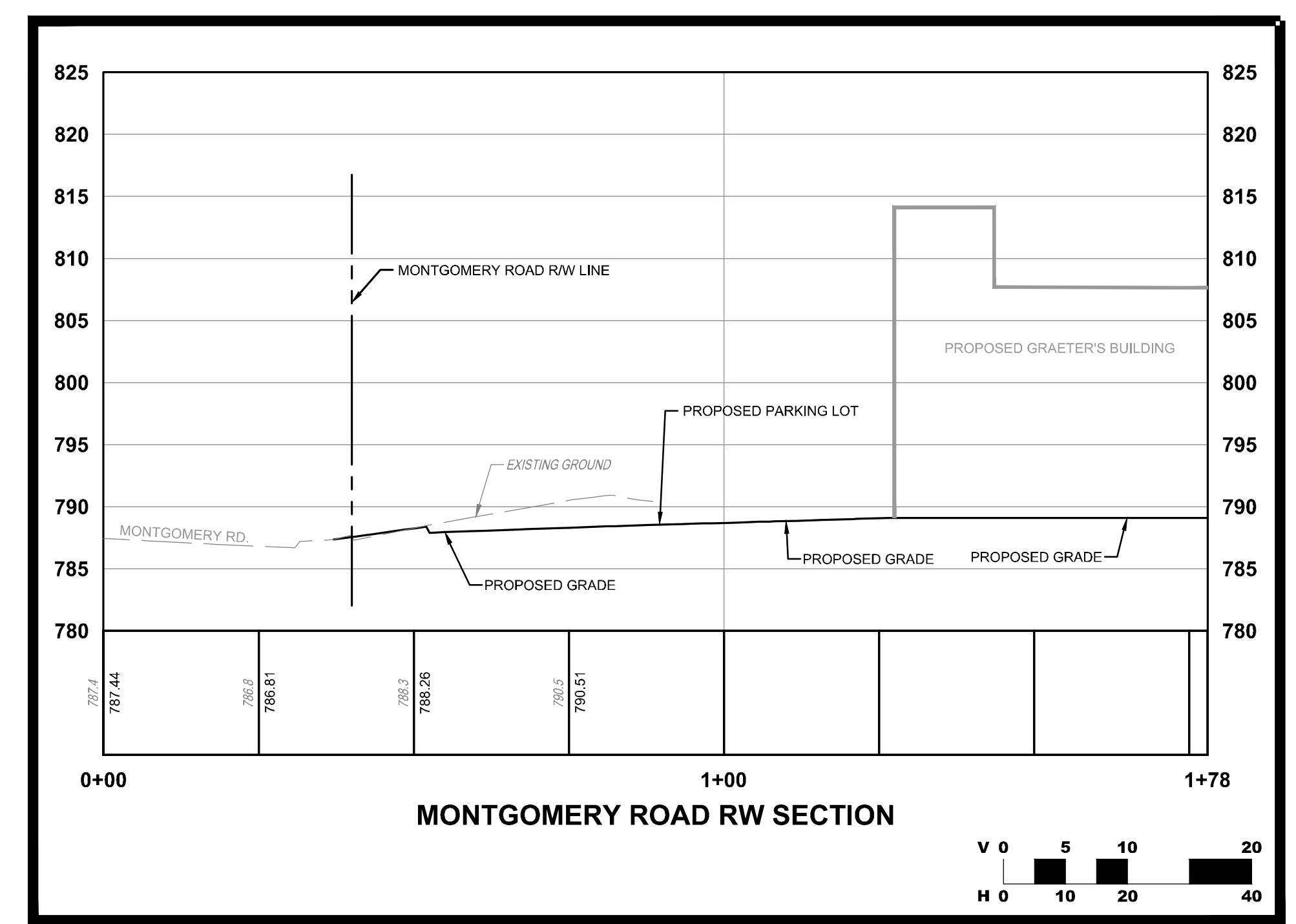
SHEET NO:  
**C130**

NOTE:  
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**OHIO Utilities Protection SERVICE**  
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- GRADING PLAN LEGEND**
- 1215 — EXISTING MAJOR CONTOUR
  - 1216 — EXISTING MINOR CONTOUR
  - 1215 — PROPOSED MAJOR CONTOUR
  - 1216 — PROPOSED MINOR CONTOUR
  - 1215.00 • PROPOSED SPOT ELEVATION
  - ▭ ANTICIPATED EARTHWORK LIMITS
  - LIMITS OF DISTURBANCE



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SEAL:

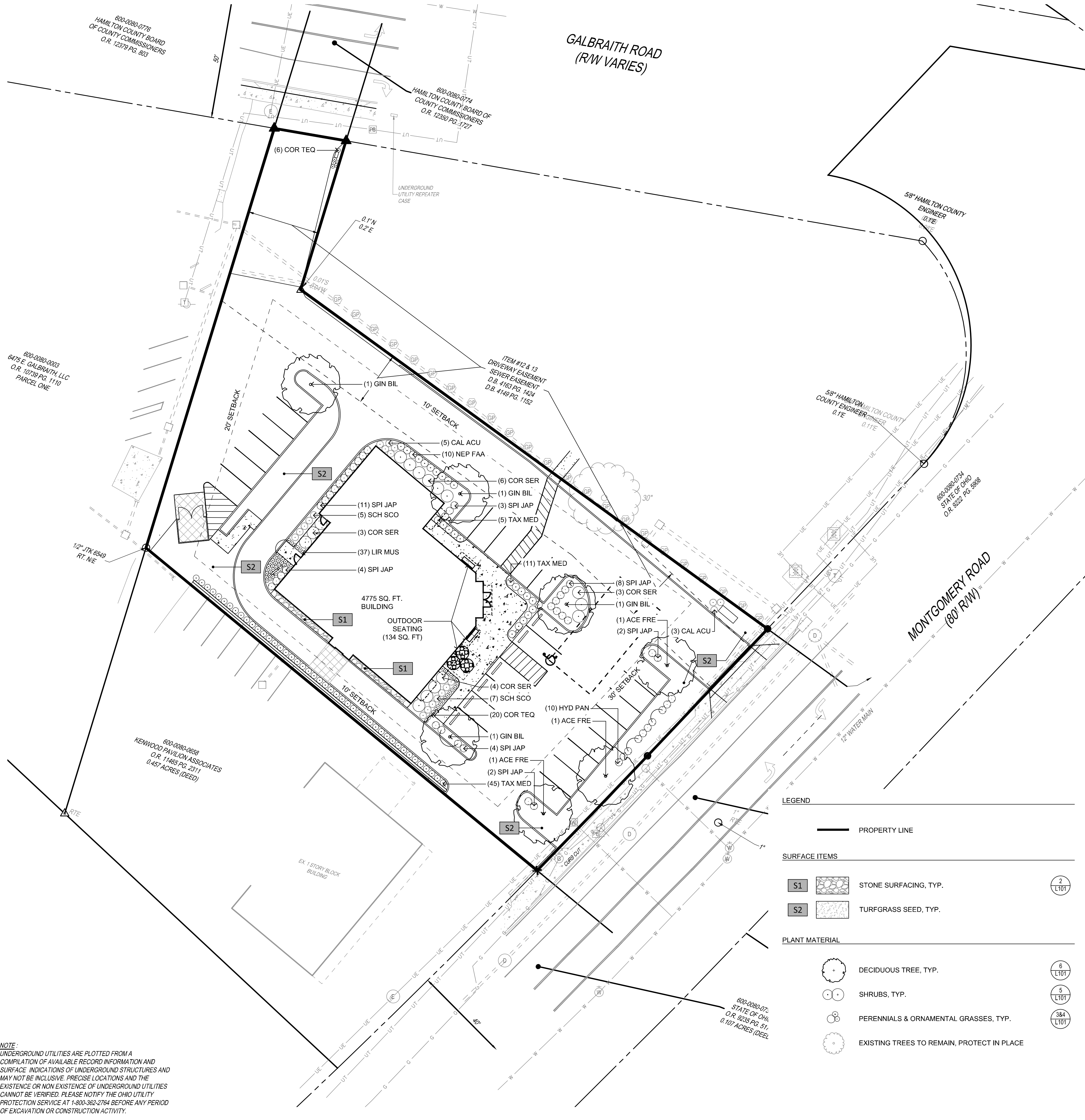
NO.	DATE	DESCRIPTION

**GRAETER'S ICE CREAM**  
8167 MONTGOMERY ROAD  
CINCINNATI, OH - 45236

PROJECT NO: 180817.000  
DATE: 05-20-2019  
SCALE: 1" = 40'

SHEET NAME:  
**PROPOSED FEATURES (3/4) - GRADING PLAN**

SHEET NO:  
**C140**



**LEGEND**

— PROPERTY LINE

**SURFACE ITEMS**

S1 STONE SURFACING, TYP. (2 L101)

S2 TURFGRASS SEED, TYP.

**PLANT MATERIAL**

(6 L101) DECIDUOUS TREE, TYP.

(5 L101) SHRUBS, TYP.

(3&4 L101) PERENNIALS & ORNAMENTAL GRASSES, TYP.

( ) EXISTING TREES TO REMAIN, PROTECT IN PLACE

**SYCAMORE TOWNSHIP LANDSCAPE ZONING REQUIREMENTS**

THE "E" RETAIL/BUSINESS DISTRICT (CHAPTER 5-3)		
	REQUIRED	PROPOSED
MINIMUM YARD REQUIREMENTS (TABLE 5-5)	FRONT YARD : 30' SIDE YARDS : 10' REAR YARD : 20'	PROVIDED
MAXIMUM IMPERVIOUS SURFACE RATIO (TABLE 5-5)	MAXIMUM IMPERVIOUS SURFACE RATIO : .50	32,621.5 SF PROPERTY 5,634.5 SF PERVIOUS SURFACE 26,987 SF IMPERVIOUS SURFACE .81 IMPERVIOUS
DUMPSTERS AND TRASH HANDLING AREAS FOR COMMERCIAL DISTRICTS (CHAPTER 10-5)		
SCREEN (10-5.2)	ANY SUCH ACCESSORY USE OR STRUCTURE SHALL BE SCREENED ON 3 SIDES BY A WALL FROM THE VIEW FROM PUBLIC STREETS AND ANY ABUTTING PROPERTIES.	REFER TO ARCHITECT'S DRAWINGS FOR SCREENING
LANDSCAPING FOR VEHICULAR USE AREAS (CHAPTER 12-6)		
INTERIOR LANDSCAPING STANDARDS (CHAPTER 12-6.3)	WHEN A SIDEWALK IS ABUTTING OR PARALLEL TO A STOREFRONT, A 3' LANDSCAPING STRIP BETWEEN THE SIDEWALK AND VEHICULAR USE AREA IS REQUIRED FOR AT LEAST 50% OF THE ENTIRE BUILDING FRONTAGE. 90 LF BUILDING FRONTAGE = 45 LF LANDSCAPING  SHRUBS AND OTHER GROUNDCOVER MUST BE PLANTED AT A RATIO OF NOT LESS THAN 30 PER 100 FEET OF BUFFER. 45 LF BUFFER = 14 SHRUBS	46 LF LANDSCAPE BED WITH 14 SHRUBS
DETERMINATION OF INTERIOR LANDSCAPE REQUIREMENTS (CHAPTER 12-6.4)	22 SQ. FT. LANDSCAPING PER PARKING SPACE 26 SPACES = 572 SQ. FT. LANDSCAPING REQUIRED  2 TREES PER 10 PARKING SPACES AND 3 SHRUBS PER TREE. 26 PARKING SPACES = 6 TREES AND 18 SHRUBS	721 SQ. FT. LANDSCAPING PROVIDED  6 TREES AND 22 SHRUBS PROVIDED
BOUNDARY BUFFER (CHAPTER 14-7)		
BOUNDARY BUFFER A (FIGURE 14A)	30' BUFFER WITH 5 TREES AND 15 SHRUBS PER 100 LINEAR FEET  271 FT. BUFFER = 14 TREES AND 41 SHRUBS	BUFFER LANDSCAPING TO BE DEDICATED TO SYCAMORE TOWNSHIP
STREETSCAPE BUFFER (CHAPTER 14-8)		
RETAIL STREETSCAPE BUFFERS (FIGURE 14C)	10' BUFFER WITH 1.5 TREES AND 20 SHRUBS PER 100 LINEAR FEET 51 LF BUFFER = 1 TREE AND 10 SHRUBS	1 TREES AND 10 SHRUBS PROVIDED

- GENERAL NOTES**
- REFER TO SHEET L101 FOR PLANTING SCHEDULE AND DETAILS.
- PLANTING NOTES**
- EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
  - ALL SHRUB MASSES TO BE INCORPORATED BY A CONTINUOUS MULCH BED TO LIMITS SHOWN AND AS SPECIFIED. MULCH BEDS TO HAVE A NEAT, EDGED APPEARANCE.
  - SUBSURFACE IMPROVEMENTS SHALL BE OBSERVED. THE CONTRACTOR SHALL CONTACT THE OHIO UTILITIES PROTECTION SERVICE (OUPS) 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UNDERGROUND UTILITIES.
  - ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND SEEDED.
  - ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM.
  - THE CONTRACTOR SHALL ENSURE THAT ALL NEWLY PLANTED TREES ARE PERFECTLY ALIGNED AND SET PLUMBS WITH PROPER RELATIONSHIP TO THE SURROUNDING GRADE. CONFIRM FINISHED GRADE PRIOR TO PLANTING.
  - ALL PLANT MATERIAL SHALL BE OF THE SIZE AND TYPE SPECIFIED. IF SUBSTITUTIONS ARE APPROVED BY THE OWNER'S REPRESENTATIVE, THE SIZE AND GRADING STANDARDS SHALL CONFORM TO THOSE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.



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SEAL:

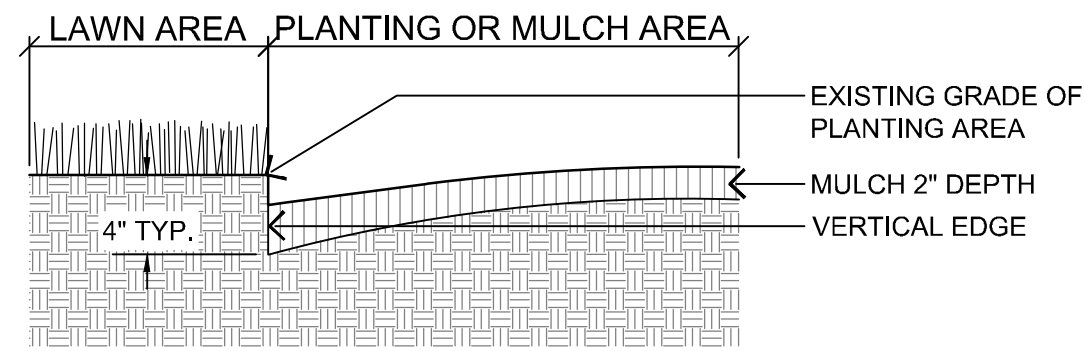
NO. DATE DESCRIPTION

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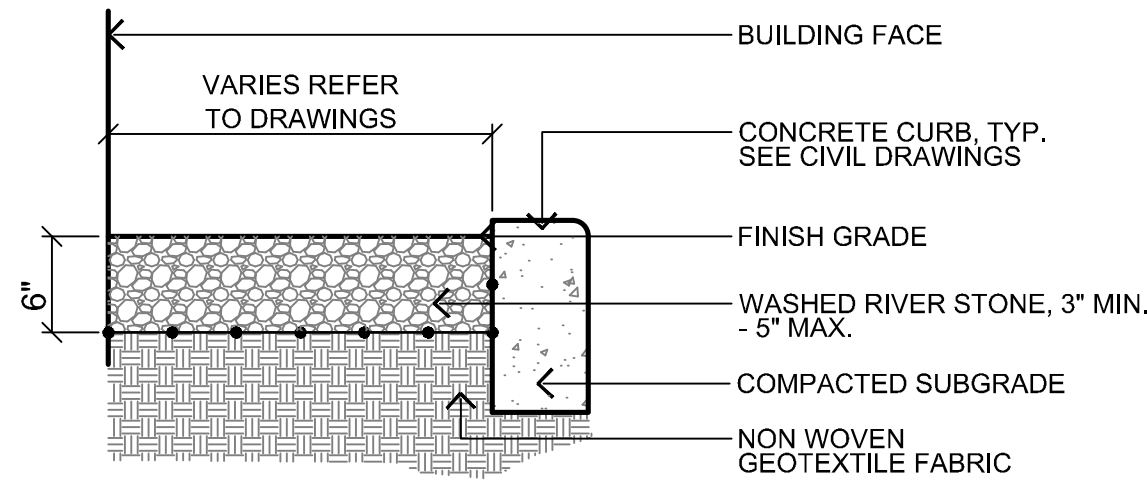
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DATE: 05-20-2019  
SCALE:  
0 10 20 40

SHEET NAME:  
**PROPOSED FEATURES (4/4) - LANDSCAPE PLAN**

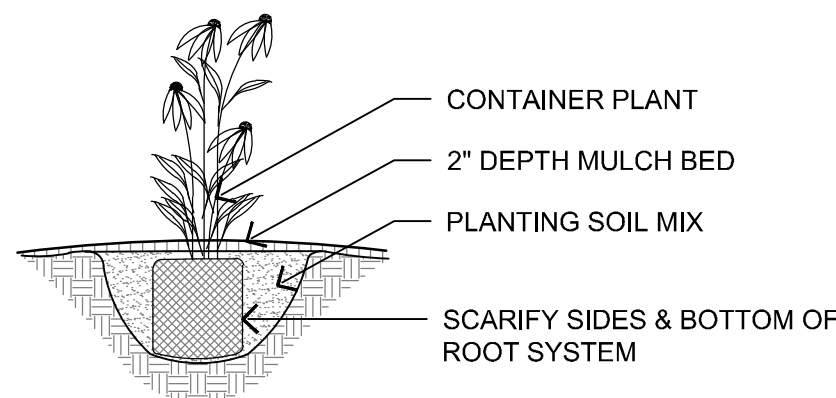
SHEET NO:  
**L100**



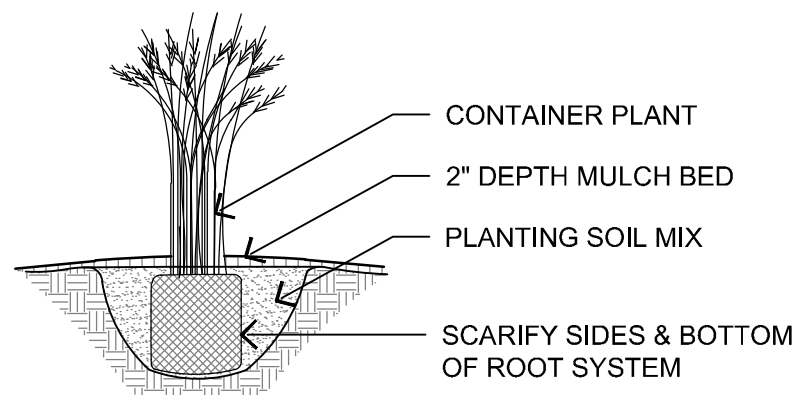
1 PLANTING BED EDGING DETAIL  
N.T.S.



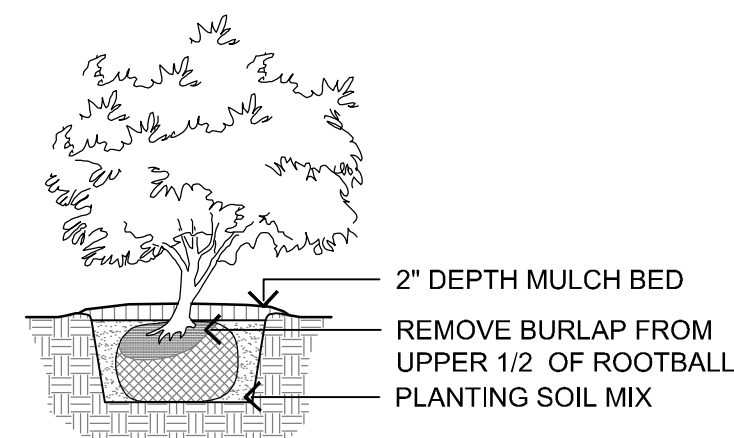
2 AGGREGATE MAINTENANCE STRIP  
N.T.S.



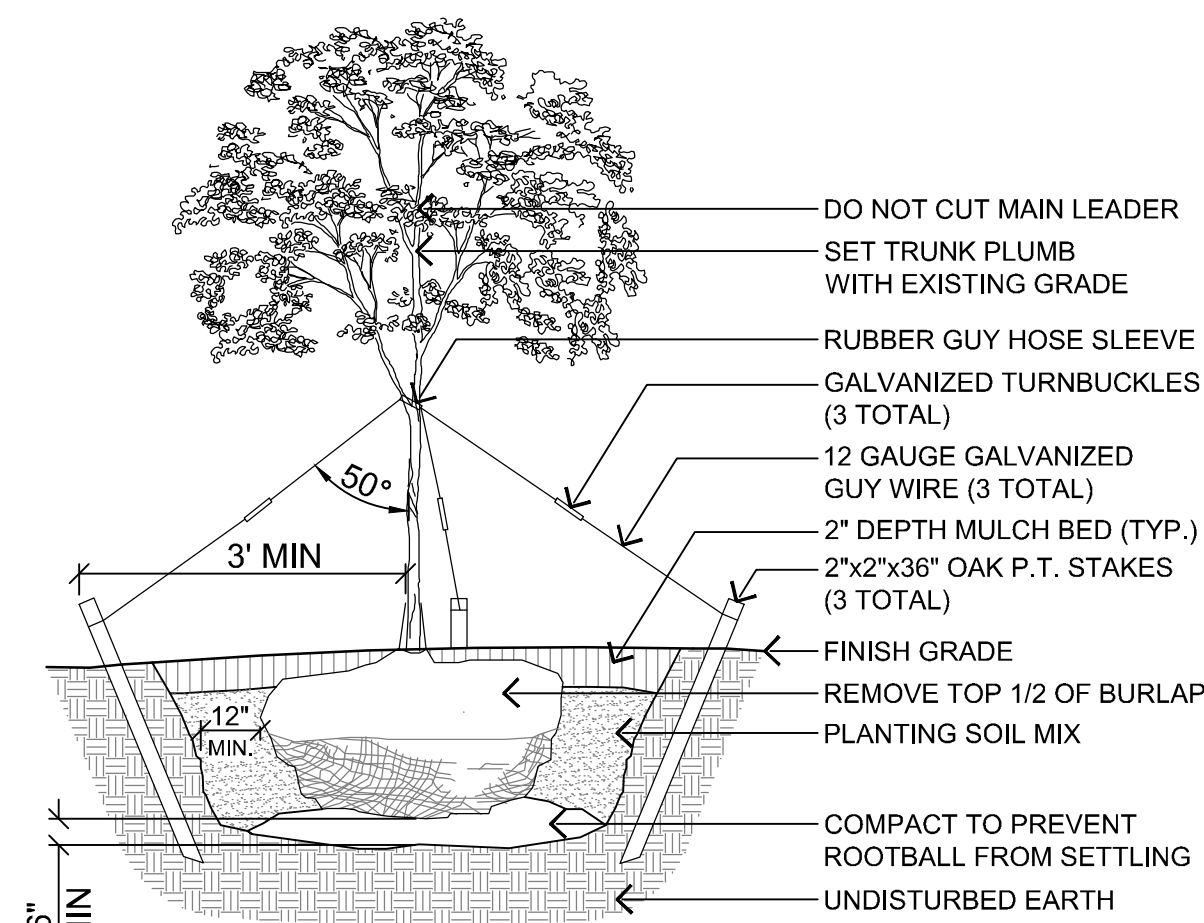
3 PERENNIAL PLANTING  
N.T.S.



4 ORNAMENTAL GRASS PLANTING  
N.T.S.



5 SHRUB PLANTING  
N.T.S.



NOTES:  
 1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISHED GRADE.  
 2. REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.  
 3. REMOVE GUY WIRES, TURNBUCKLES, HOSE AND STAKES 1 YEAR AFTER PLANTING.  
 4. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY.

6 DECIDUOUS TREE PLANTING  
N.T.S.

PLANTING SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>DECIDUOUS TREES:</b>					
ACE FRE	ACER FREEMANII 'JEFFSRED'	AUTUMN BLAZE RED MAPLE	2.5" CAL.	B&B	
GIN BIL	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2.5" CAL.	B&B	
<b>SHRUBS:</b>					
COR SER	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE RED TWIG DOGWOOD	24" HT. MIN.	B&B	SPACE 36" O.C.
HYD PAN	HYDRANGEA PANICULATA 'ILVOBO'	BOBO HYDRANGEA	18" HT. MIN.	CONT.	SPACE 36" O.C.
SPI JAP	SPIRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	18" HT. MIN.	CONT.	SPACE 36" O.C.
TAX MED	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	30" HT. MIN.	B&B	SPACE 48" O.C.
<b>PERENNIALS:</b>					
COR TEQ	COREOPSIS 'TEQUILA SUNRISE'	TEQUILA SUNRISE TICKSEED	#1	CONT.	SPACE 18" O.C.
LIR MUS	LIRIOPE MUSCARI VARIEGATA	VARIEGATED LIRIOPE	#2	CONT.	SPACE 18" O.C.
NEP FAA	NEPETA FAASSENII 'CAT'S MEOW'	CAT'S MEOW CATMINT	#2	CONT.	PLANT 24" O.C.
<b>ORNAMENTAL GRASSES:</b>					
CAL ACU	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#3	CONT.	SPACE 36" O.C.
SCH SCO	SCHIZACHYRIUM SCOPAIIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM GRASS	#3	CONT.	SPACE 36" O.C.
TURF GRASS SEED: SEE SPECIFICATIONS					



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**GRAETER'S ICE CREAM**  
 8167 MONTGOMERY ROAD  
 CINCINNATI, OH - 45236

**SYCAMORE TOWNSHIP**  
 8540 KENWOOD ROAD  
 SYCAMORE TOWNSHIP, OH - 45236

SEAL:

NO. DATE DESCRIPTION

**GRAETER'S ICE CREAM**  
 8167 MONTGOMERY ROAD  
 CINCINNATI, OH - 45236

PROJECT NO: 180817.000

DATE: 05-20-2019

SCALE:

SHEET NAME:

**LANDSCAPE DETAILS**

SHEET NO:

**L101**



NOTE:  
 UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.











**SYCAMORE TOWNSHIP LANDSCAPE ZONING REQUIREMENTS**

THE "E" RETAIL/BUSINESS DISTRICT (CHAPTER 5-3)		
	REQUIRED	PROPOSED
MINIMUM YARD REQUIREMENTS (TABLE 5-5)	FRONT YARD : 30' SIDE YARDS : 10' REAR YARD : 20'	PROVIDED
MAXIMUM IMPERVIOUS SURFACE RATIO (TABLE 5-5)	MAXIMUM IMPERVIOUS SURFACE RATIO : .50	32,621.5 SF PROPERTY 5,634.5 SF PERVIOUS SURFACE 26,987 SF IMPERVIOUS SURFACE .81 IMPERVIOUS
DUMPSTERS AND TRASH HANDLING AREAS FOR COMMERCIAL DISTRICTS (CHAPTER 10-5)		
SCREEN (10-5.2)	ANY SUCH ACCESSORY USE OR STRUCTURE SHALL BE SCREENED ON 3 SIDES BY A WALL FROM THE VIEW FROM PUBLIC STREETS AND ANY ABUTTING PROPERTIES.	REFER TO ARCHITECT'S DRAWINGS FOR SCREENING
LANDSCAPING FOR VEHICULAR USE AREAS (CHAPTER 12-6)		
INTERIOR LANDSCAPING STANDARDS (CHAPTER 12-6.3)	WHEN A SIDEWALK IS ABUTTING OR PARALLEL TO A STOREFRONT, A 3' LANDSCAPING STRIP BETWEEN THE SIDEWALK AND VEHICULAR USE AREA IS REQUIRED FOR AT LEAST 50% OF THE ENTIRE BUILDING FRONTAGE. 90 LF BUILDING FRONTAGE = 45 LF LANDSCAPING  SHRUBS AND OTHER GROUNDCOVER MUST BE PLANTED AT A RATIO OF NOT LESS THAN 30 PER 100 FEET OF BUFFER. 45 LF BUFFER = 14 SHRUBS	46 LF LANDSCAPE BED WITH 14 SHRUBS
DETERMINATION OF INTERIOR LANDSCAPE REQUIREMENTS (CHAPTER 12-6.4)	22 SQ. FT. LANDSCAPING PER PARKING SPACE 26 SPACES = 572 SQ. FT. LANDSCAPING REQUIRED  2 TREES PER 10 PARKING SPACES AND 3 SHRUBS PER TREE. 26 PARKING SPACES = 6 TREES AND 18 SHRUBS	721 SQ. FT. LANDSCAPING PROVIDED  6 TREES AND 22 SHRUBS PROVIDED
BOUNDARY BUFFER (CHAPTER 14-7)		
BOUNDARY BUFFER A (FIGURE 14A)	30' BUFFER WITH 5 TREES AND 15 SHRUBS PER 100 LINEAR FEET  271 FT. BUFFER = 14 TREES AND 41 SHRUBS	BUFFER LANDSCAPING TO BE DEDICATED TO SYCAMORE TOWNSHIP
STREETSCAPE BUFFER (CHAPTER 14-8)		
RETAIL STREETSCAPE BUFFERS (FIGURE 14C)	10' BUFFER WITH 1.5 TREES AND 20 SHRUBS PER 100 LINEAR FEET 51 LF BUFFER = 1 TREE AND 10 SHRUBS	1 TREES AND 10 SHRUBS PROVIDED

**GENERAL NOTES**  
1. REFER TO SHEET L101 FOR PLANTING SCHEDULE AND DETAILS.

**PLANTING NOTES**

- EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
- ALL SHRUB MASSES TO BE INCORPORATED BY A CONTINUOUS MULCH BED TO LIMITS SHOWN AND AS SPECIFIED. MULCH BEDS TO HAVE A NEAT, EDGED APPEARANCE.
- SUBSURFACE IMPROVEMENTS SHALL BE OBSERVED. THE CONTRACTOR SHALL CONTACT THE OHIO UTILITIES PROTECTION SERVICE (OUPS) 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UNDERGROUND UTILITIES.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND SEEDED.
- ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM.
- THE CONTRACTOR SHALL ENSURE THAT ALL NEWLY PLANTED TREES ARE PERFECTLY ALIGNED AND SET PLUMB WITH PROPER RELATIONSHIP TO THE SURROUNDING GRADE. CONFIRM FINISHED GRADE PRIOR TO PLANTING.
- ALL PLANT MATERIAL SHALL BE OF THE SIZE AND TYPE SPECIFIED. IF SUBSTITUTIONS ARE APPROVED BY THE OWNER'S REPRESENTATIVE, THE SIZE AND GRADING STANDARDS SHALL CONFORM TO THOSE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.



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SEAL:

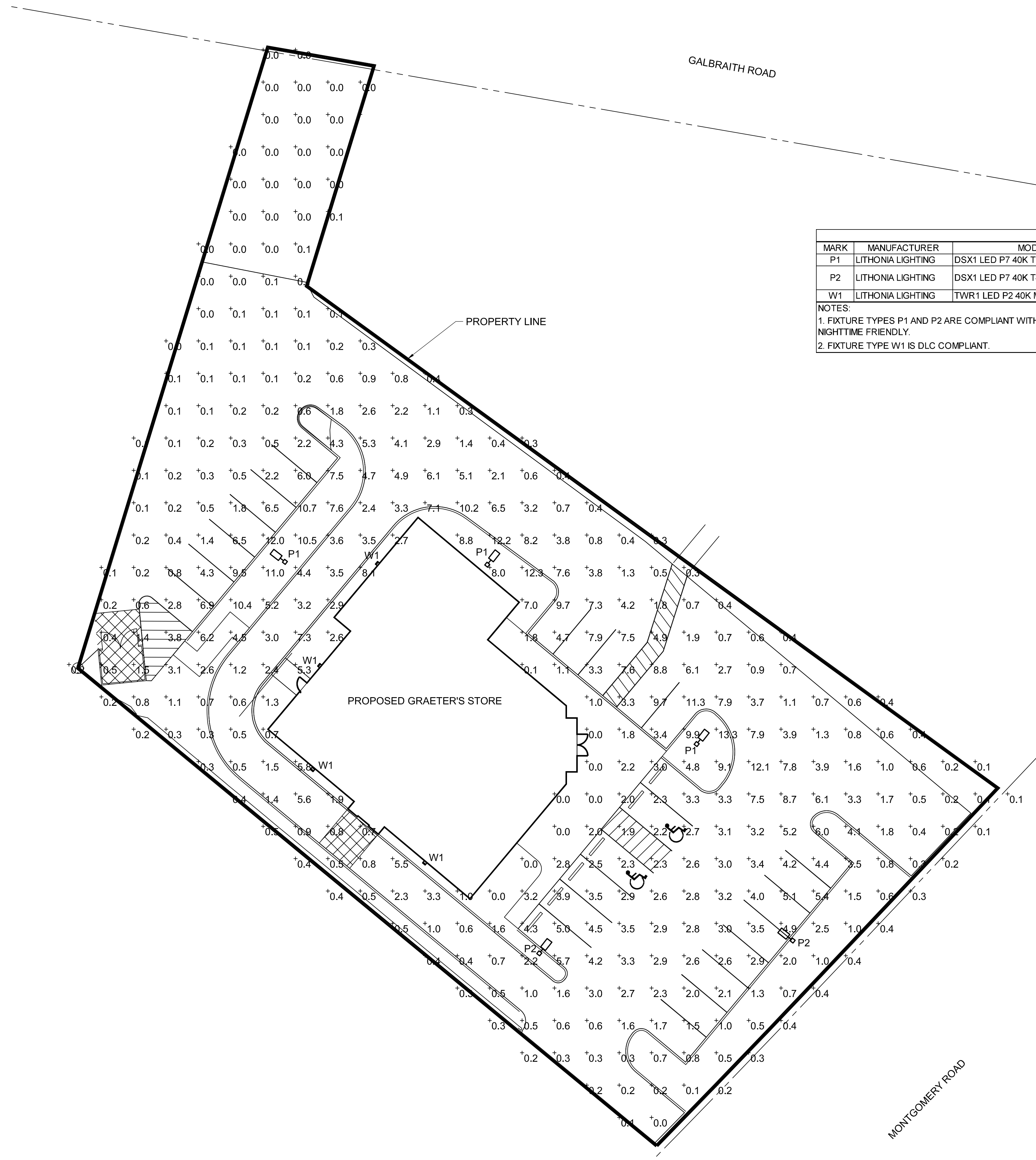
NO.	DATE	DESCRIPTION

**GRAETER'S ICE CREAM**  
8167 MONTGOMERY ROAD  
CINCINNATI, OH - 45236

PROJECT NO: 180817.000  
DATE: 05-20-2019  
SCALE: 0 10 20 40

SHEET NAME: **LANDSCAPE COLOR RENDERING**  
SHEET NO: **L105**

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**GENERAL NOTES**

- A. NUMBER ADJACENT TO CROSSHAIR REPRESENTS CALCULATED FOOT-CANDLE LIGHTING LEVEL AT THAT POINT. CALCULATIONS WERE PERFORMED USING VISUAL LIGHTING SOFTWARE.
- B. ALL INDICATED VALUES ARE MAINTAINED HORIZONTAL FOOT-CANDLE LEVELS AT GRADE WITH APPROPRIATE LIGHT LOSS FACTORS APPLIED FOR DIRT AND DEPRECIATION. INITIAL LIGHTING LEVELS WILL BE HIGHER THAN INDICATED VALUES AND DO NOT INCLUDE ANY OTHER POSSIBLE LIGHTING CONTRIBUTION FROM NEARBY SOURCES.
- C. THE AVERAGE CALCULATED LIGHTING LEVEL IS 2.0 FOOT-CANDLES WITH LESS THAN 0.5 FOOT-CANDLES AT THE PROPERTY LINE.

LUMINAIRE SCHEDULE			
MARK	MANUFACTURER	MODEL NUMBER	DESCRIPTION
P1	LITHONIA LIGHTING	DSX1 LED P7 40K T1S MVOLT SPA DBLXD	LIGHT FIXTURE MOUNTED ON 18'-0" SQUARE STRAIGHT STEEL POLE
P2	LITHONIA LIGHTING	DSX1 LED P7 40K T4M MVOLT SPA DBLXD HS	LIGHT FIXTURE WITH HOUSE-SIDE SHIELD MOUNTED ON 18'-0" SQUARE STRAIGHT STEEL POLE
W1	LITHONIA LIGHTING	TWR1 LED P2 40K MVOLT DDBTXD	WALL PACK MOUNTED AT 8'-0" AFF

NOTES:  
 1. FIXTURE TYPES P1 AND P2 ARE COMPLIANT WITH IDA (INTERNATIONAL DARK-SKY ASSOCIATION), DLC (DESIGN LIGHTS CONSORTIUM) AND ARE NIGHTTIME FRIENDLY.  
 2. FIXTURE TYPE W1 IS DLC COMPLIANT.



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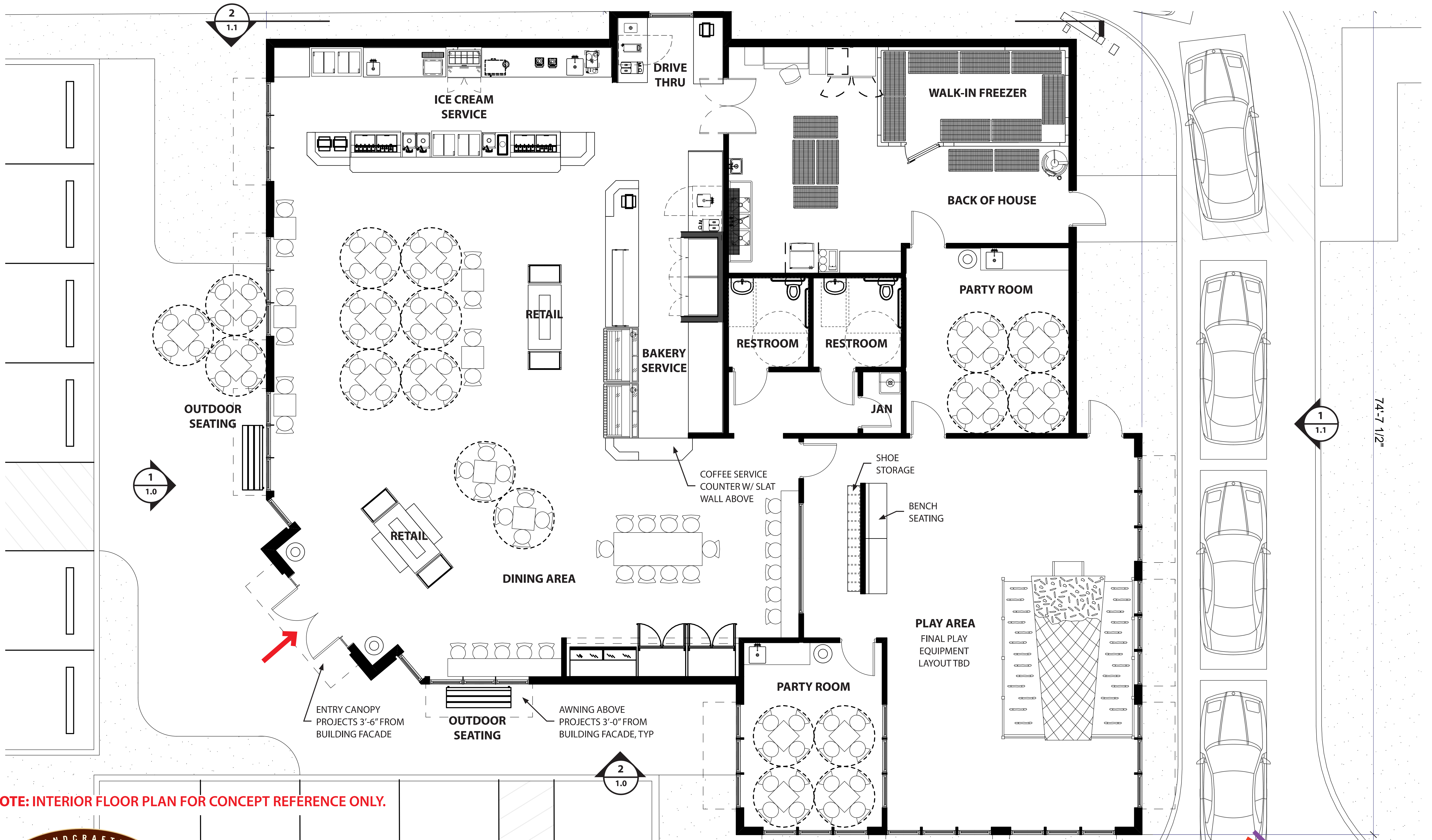
SHEET NAME:  
**SITE LIGHTING PHOTOMETRIC PLAN**

SHEET NO:  
**ES01**

01 **SITE LIGHTING PHOTOMETRIC PLAN**  
 ES01 1/16" = 1'-0"

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**NOTE: INTERIOR FLOOR PLAN FOR CONCEPT REFERENCE ONLY.**



# PRELIMINARY CONCEPT FLOOR PLAN

## GRAETER'S KENWOOD

CINCINNATI, OHIO

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SCALE: 1/8" = 1'-0"



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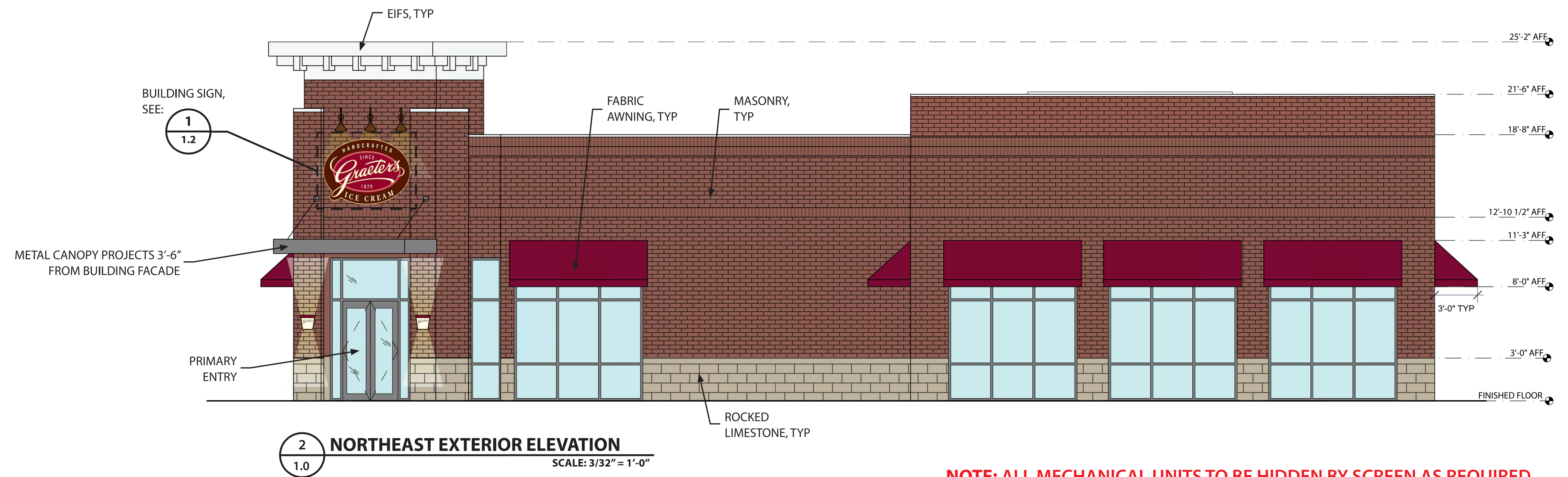


**0.0**

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**1**  
1.0 **SOUTHEAST EXTERIOR ELEVATION**  
SCALE: 3/32" = 1'-0"



**2**  
1.0 **NORTHEAST EXTERIOR ELEVATION**  
SCALE: 3/32" = 1'-0"

**NOTE: ALL MECHANICAL UNITS TO BE HIDDEN BY SCREEN AS REQUIRED**

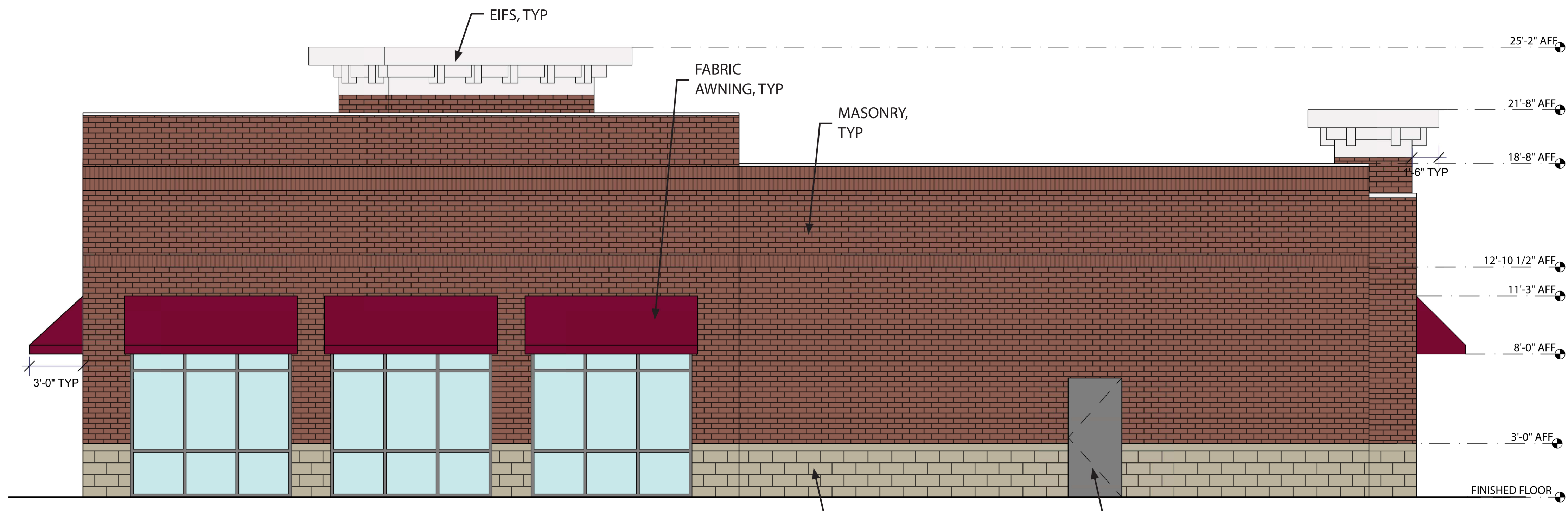


**EXTERIOR ELEVATIONS**  
**GRAETER'S KENWOOD**  
CINCINNATI, OHIO  
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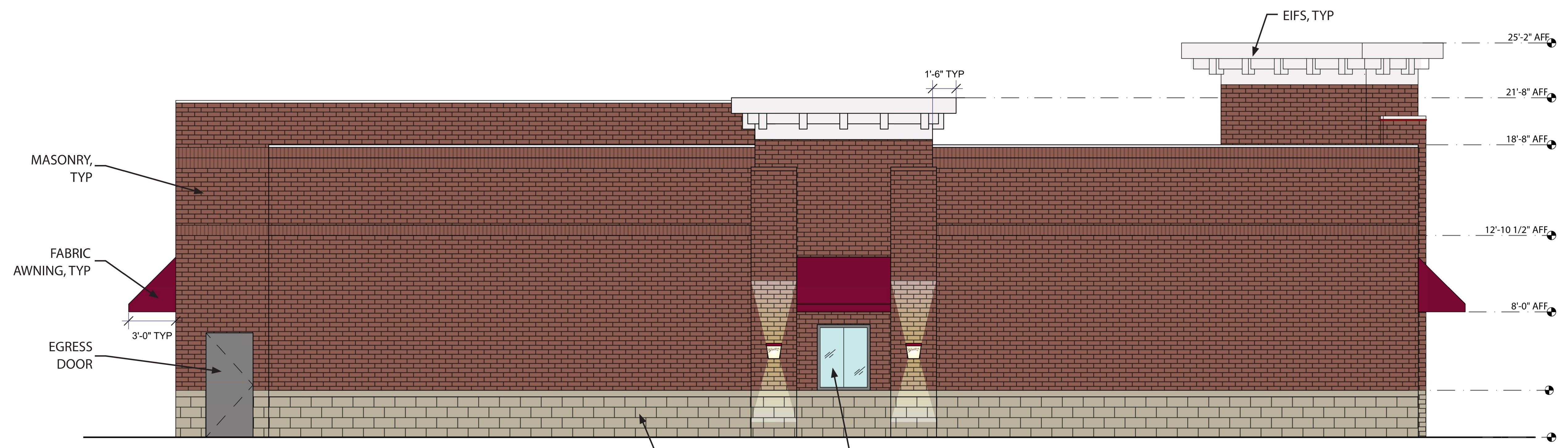
MAY 20, 2019  
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218119

**1.0**

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**1 NORTHWEST EXTERIOR ELEVATION**  
 SCALE: 3/32" = 1'-0"



**2 SOUTHWEST EXTERIOR ELEVATION**  
 SCALE: 3/32" = 1'-0"

**NOTE: ALL MECHANICAL UNITS TO BE HIDDEN BY SCREEN AS REQUIRED**



**EXTERIOR ELEVATIONS**  
**GRAETER'S KENWOOD**  
 CINCINNATI, OHIO

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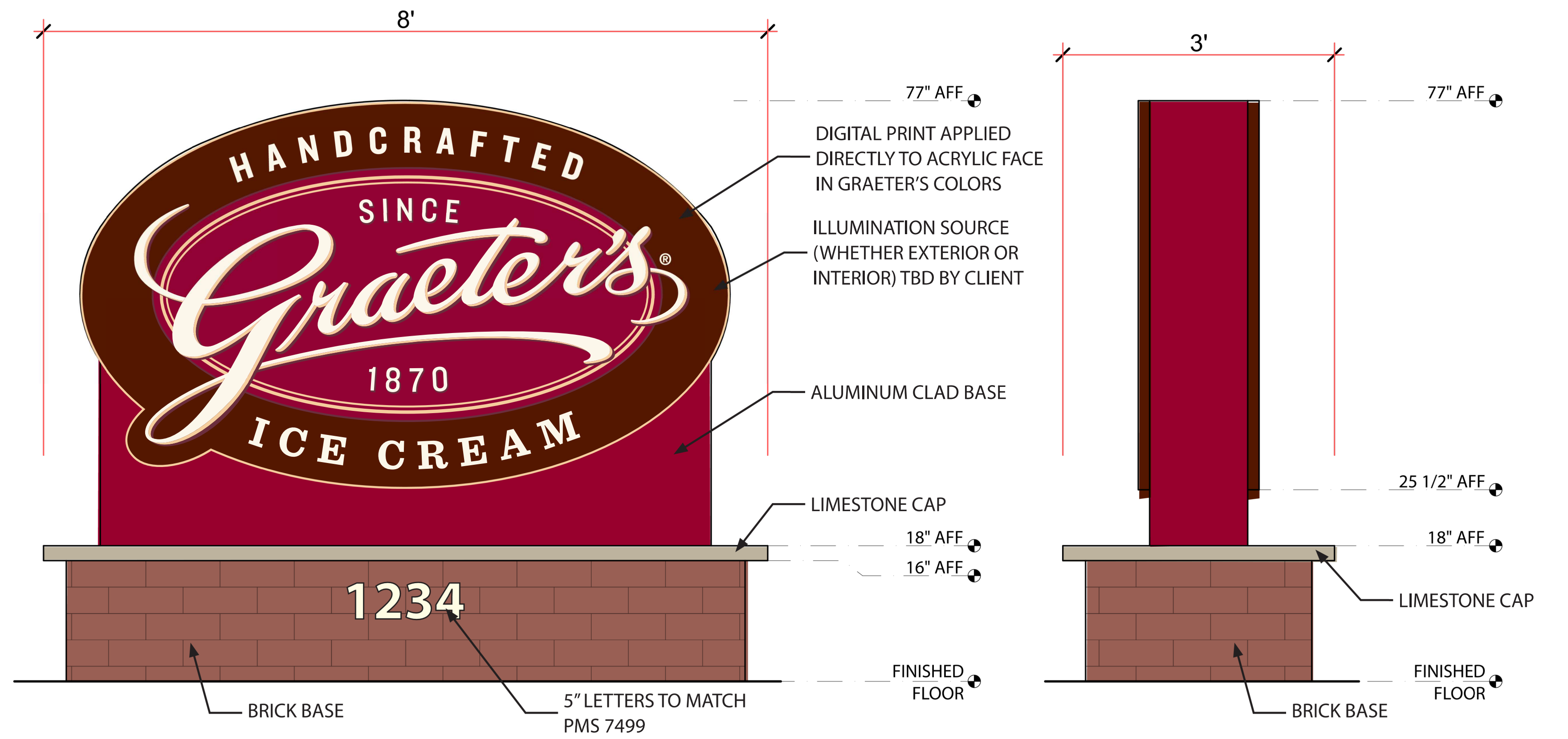
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**FRONT ELEVATION**

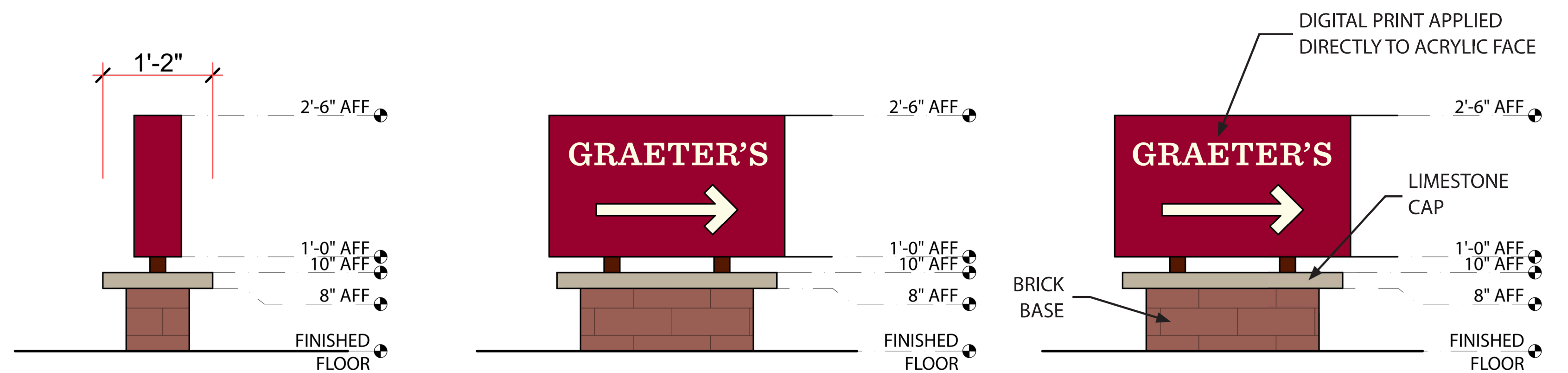
**1 BUILDING SIGN** *SIGN AREA: 34 sf*  
 SCALE: 1/2" = 1'-0"



**FRONT ELEVATION**

**SIDE ELEVATION**

**2 MONUMENT SIGN** *SIGN AREA: 31 sf per side*  
 SCALE: 1/2" = 1'-0"



**SIDE ELEVATION**

**FRONT ELEVATION**

**BACK ELEVATION**

**3 DIRECTIONAL SIGN** *SIGN AREA: 4 sf per side*  
 SCALE: 1/2" = 1'-0"



**SIGNAGE**  
**GRAETER'S KENWOOD**  
 CINCINNATI, OHIO

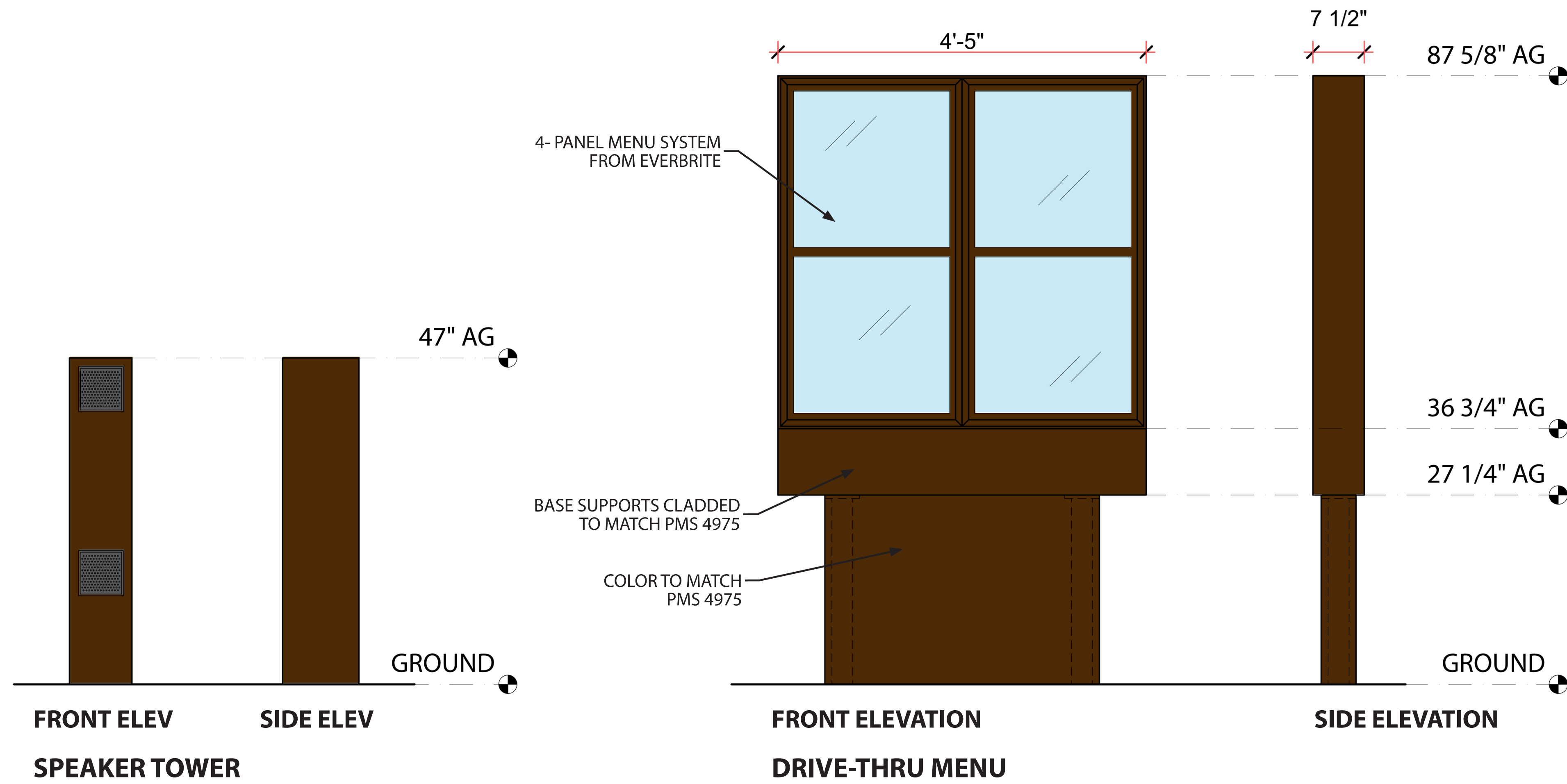
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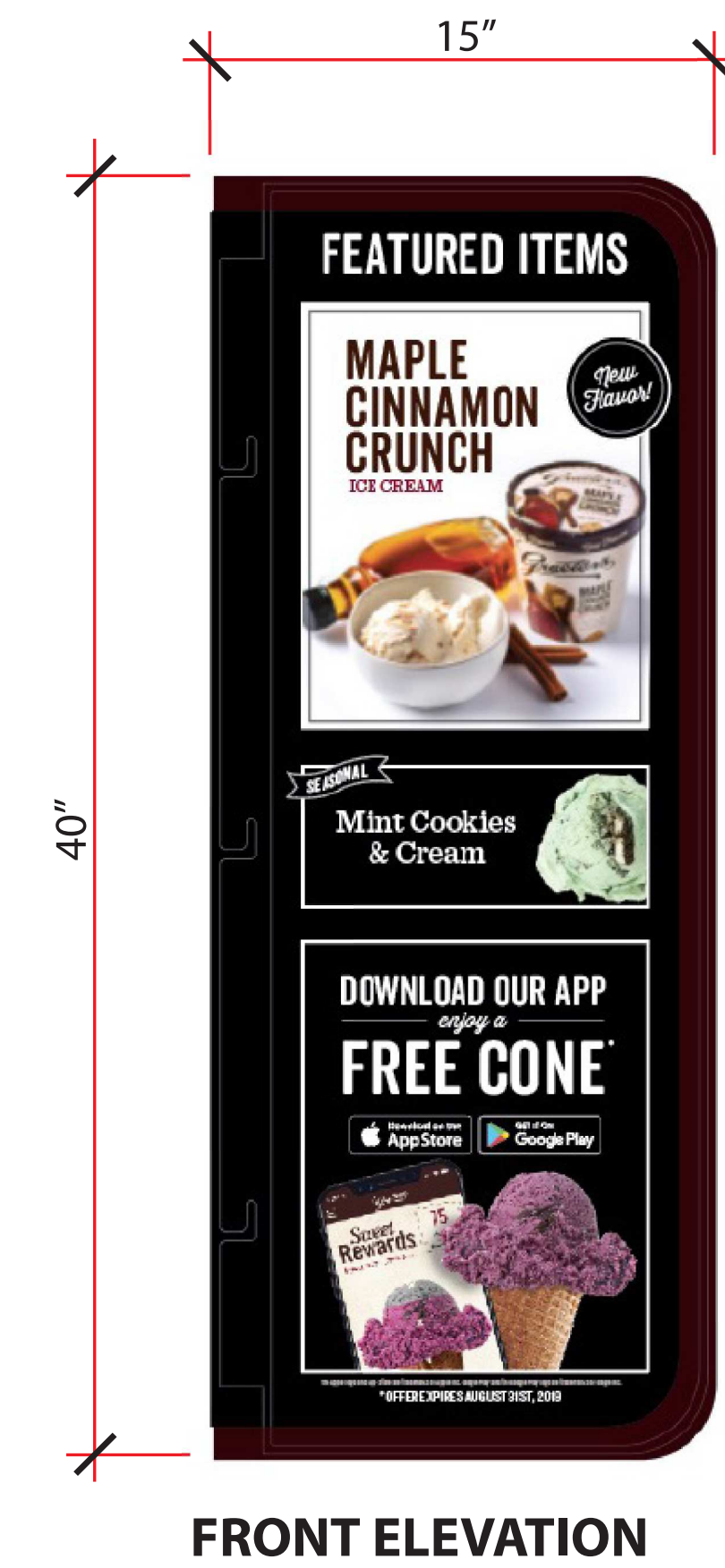


**1.2**

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1 DRIVE-THRU CABINET DETAILS  
1.3 SCALE: 1/2" = 1'-0"



NOTE: EXTENDER ATTACHED TO THE SIDE OF DRIVE-THRU CABINET. GRAPHICS TYPICALLY CHANGED OUT MONTHLY.

2 DRIVE-THRU EXTENDER  
1.3 SCALE: 1/2" = 1'-0"



**SIGNAGE**  
**GRAETER'S KENWOOD**  
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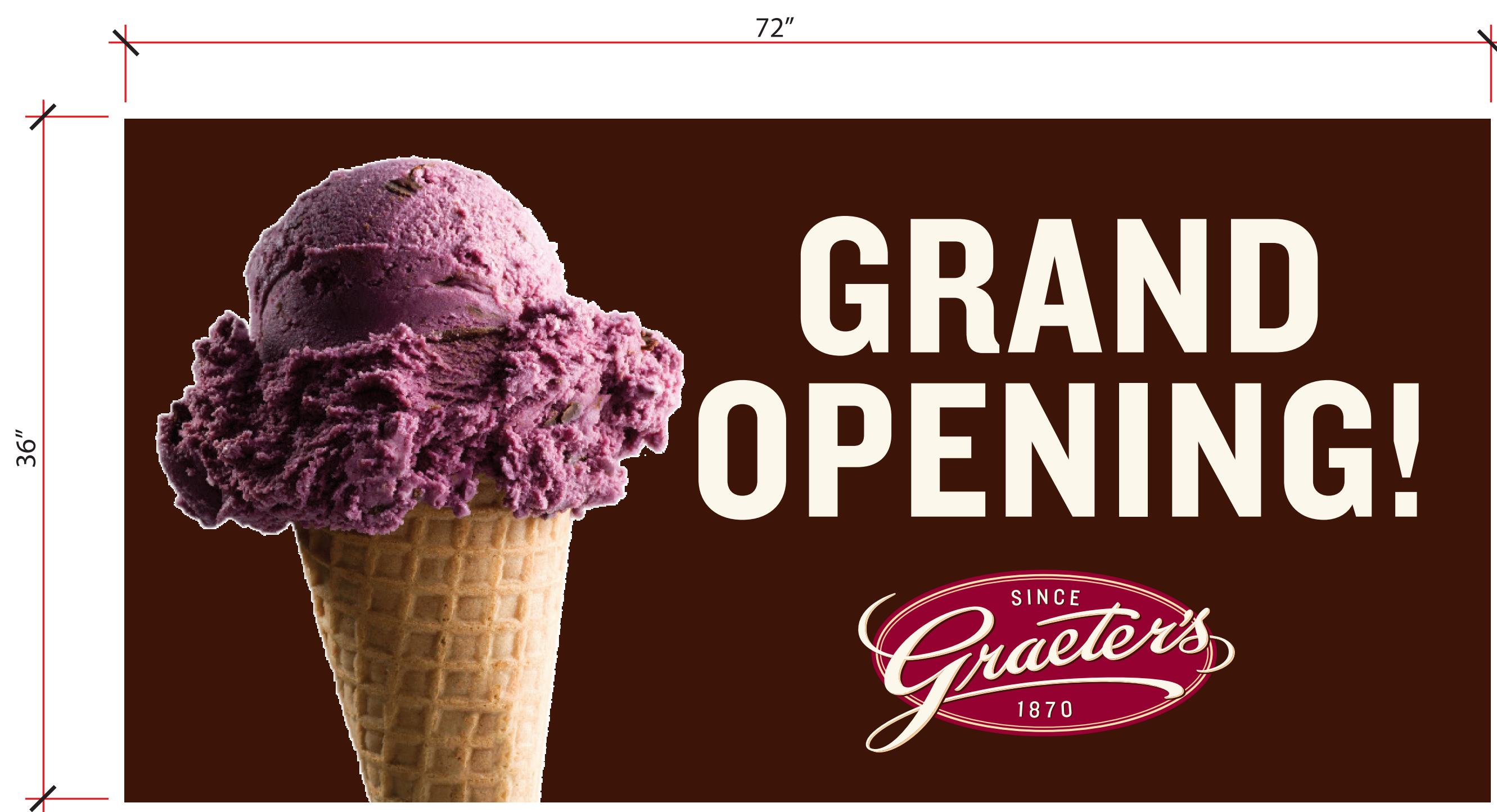
1.3

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1 TEMPORARY SIGN - COMING SOON  
SCALE: 1" = 1'-0"



2 TEMPORARY SIGN - GRAND OPENING  
SCALE: 1" = 1'-0"



3 TEMPORARY SIGN - NOW HIRING  
SCALE: 1" = 1'-0"

**NOTE:** FINAL TEMPORARY SIGNAGE TO BE INSTALLED PER JURISDICTION REQUIREMENTS, HOWEVER THEY ARE TYPICALLY INSTALLED AS SUCH:

- HUNG ON CONSTRUCTION FENCE SURROUNDING PROJECT
- HUNG BEHIND WINDOWS ONCE STORE IS OPEN
- AS YARD SIGNS, TYPICALLY 17 1/4" x 20" ON H STAKES
- AS FEATHER FLAGS, TYPICALLY ± 6'-7' BANNERS ON POLES
- AS BANNERS, USUALLY NO LARGER THAN 6' x 3' (EITHER HUNG ON BUILDING OR MOUNTED ON APPROVED SUPPORT BACKER)



**TEMPORARY SIGNAGE**  
**GRAETER'S KENWOOD**  
CINCINNATI, OHIO

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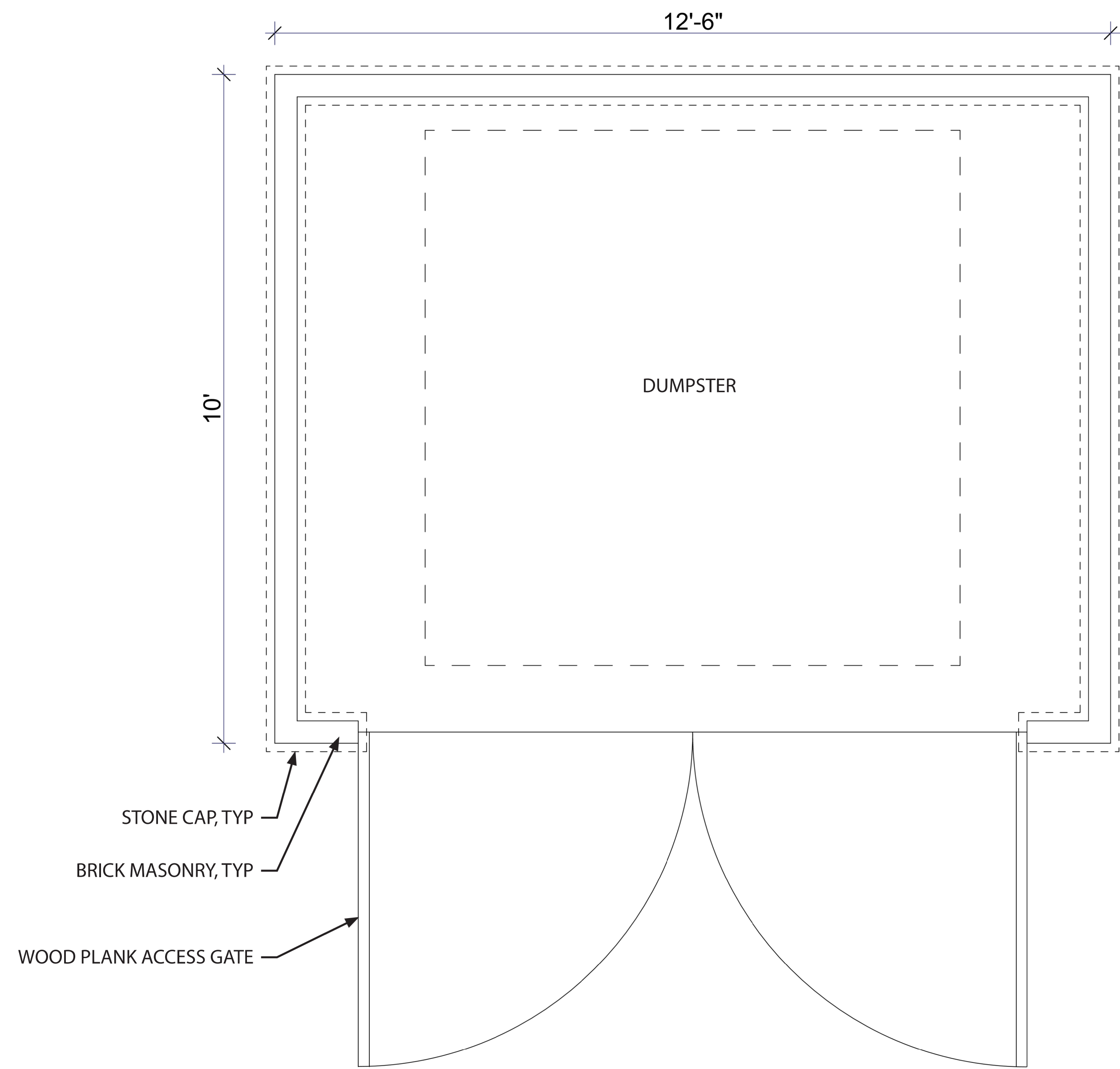
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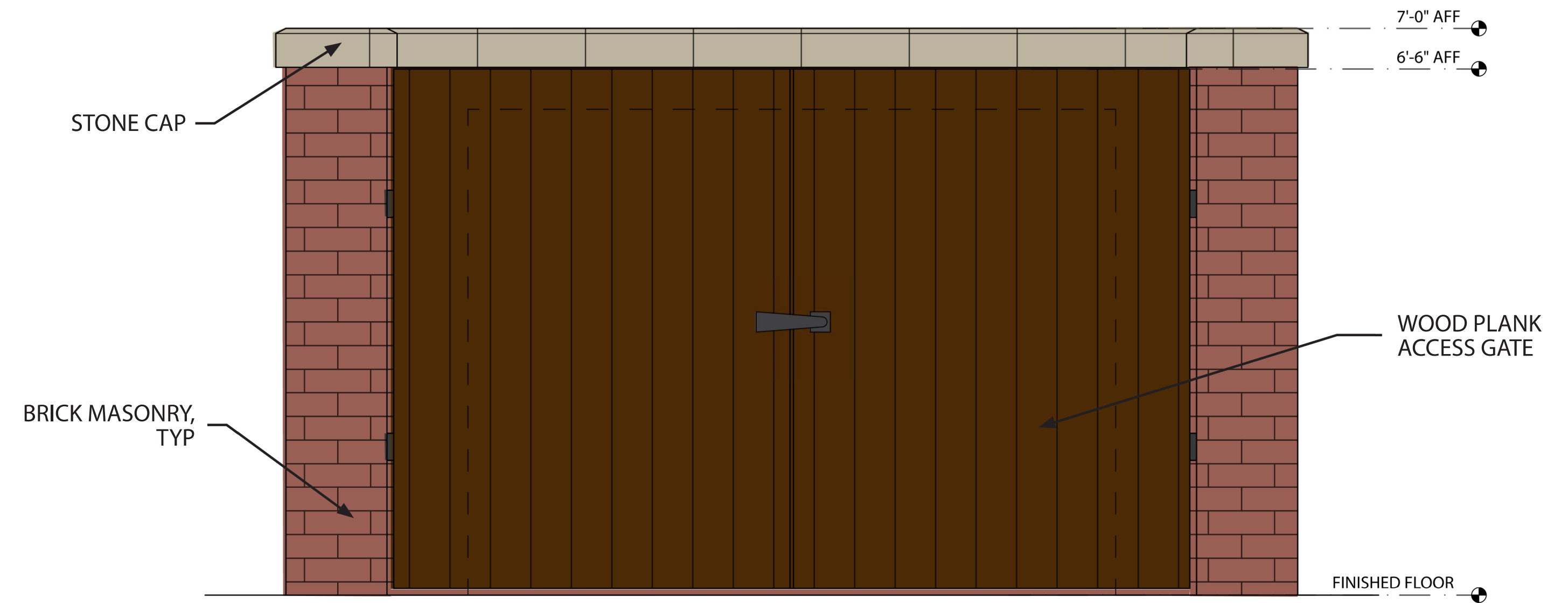
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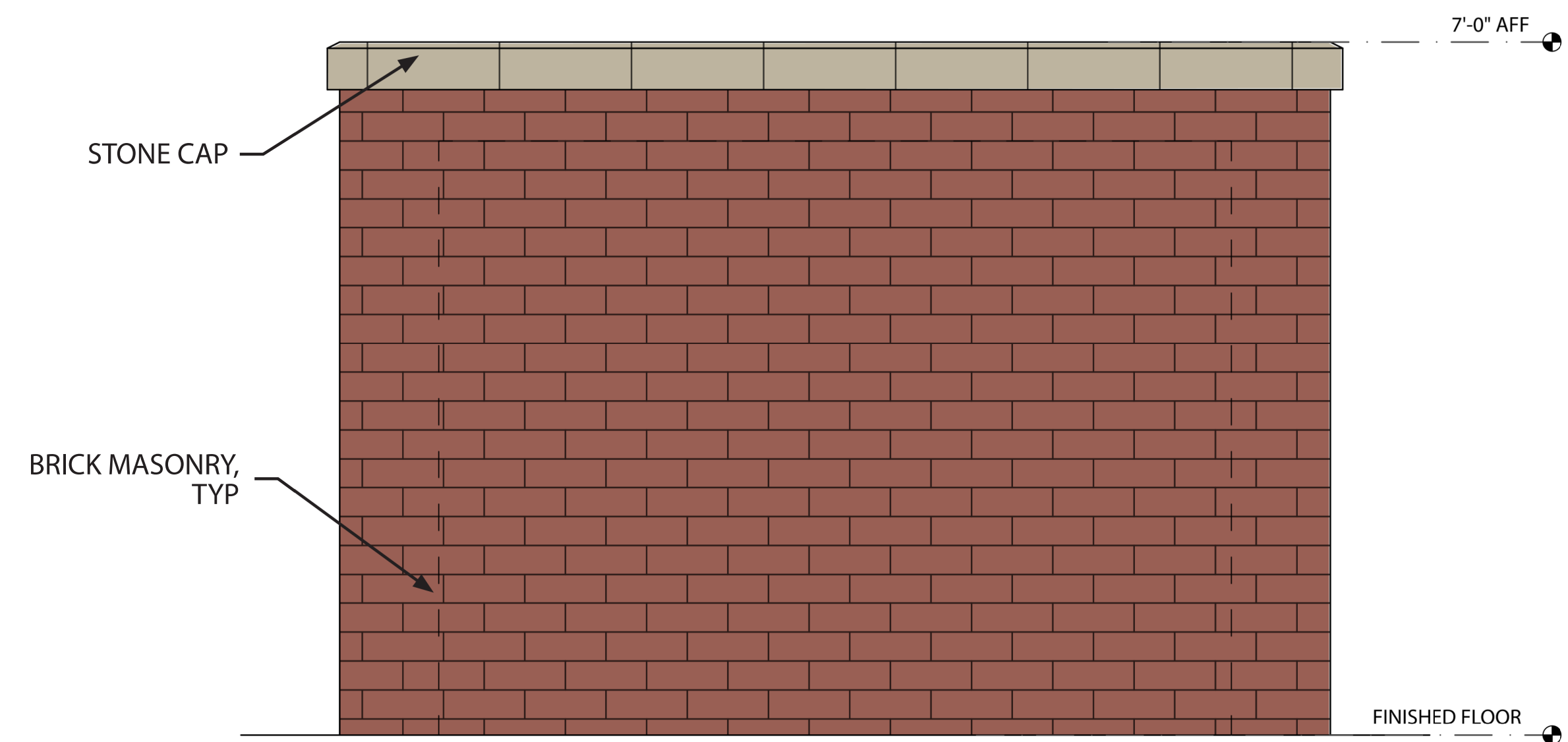




1 DUMPSTER ENCLOSURE PLAN  
1.5 SCALE: 3/8" = 1'-0"



2 FRONT FACING ELEVATION  
1.5 SCALE: 3/8" = 1'-0"



3 SIDE ELEVATION  
1.5 SCALE: 3/8" = 1'-0"



**DUMPSTER ENCLOSURE**  
**GRAETER'S KENWOOD**  
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1.5

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