

JUL 20 2020

RECEIVED

SYCAMORE TOWNSHIP, OH
DEPARTMENT OF PLANNING & ZONING
8540 KENWOOD ROAD, CINCINNATI, OH 45236
513.792.7250 PHONE 513.792.8571 FAX

ZONING COMMISSION APPLICATION

APPLICATION NUMBER

2020-03MEPI

DO NOT WRITE IN THIS SPACE

FEES:

ZONE CHANGE \$1,000 MINOR ADJUSTMENT TO A PUD \$200
PUD I \$1,000 MAJOR ADJUSTMENT TO A PUD \$1,000
PUD II \$1,200 MINOR ADJUSTMENT TO LASR \$200
LASR \$1,000 MAJOR ADJUSTMENT TO LASR \$1,000

THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN

1. PROJECT ADDRESS: 8915 BlueAsh Road ZIP CODE: 45236

2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER
OWNER BLUEASH SELF STORAGE LLC	5105 E GALE BRANCH SUITE 4100	Cincinnati	OH	45236	
CONTRACTOR RJK ASSOCIATES INC	6757 SPRINGDALE	Cincinnati	OH	45247	513 741 1400
DESIGNER TGA	803 Compton	Cincinnati	OH	45231	513 521 4760
APPLICANT RJK ASSOCIATES	6757 SPRINGDALE	Cincinnati	OH	45247	513 741 1400
APPLICANTS E-MAIL ADDRESS	KEVIN @ RJKASSOCIATES.NET				513 741 1400

3. ZONING COMMISSION ACTION REQUESTED:

ZONE CHANGE FROM ZONE _____ TO ZONE _____

PUD I PUD II LASR ISR 50% = 64%

MAJOR ADJUSTMENT TO A PUD MINOR ADJUSTMENT TO A PUD

MAJOR ADJUSTMENT TO A LASR MINOR ADJUSTMENT TO A LASR

4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:

EX WAREHOUSE TO BE RAZED / SIX NEW STORAGE BUILDINGS TO REPLACE

5. SQUARE FEET: 60,144 6. USE: MINI STORAGE (F) 7. HEIGHT: 10'

8. EST. START DATE: 8/2020 9. EST. FINISH DATE: _____ 10. # OF SIGNS: _____

THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Zoning Commission application.

NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.

APPLICANT'S SIGNATURE

DATE

7/21/2020

PROPERTY OWNER'S SIGNATURE

DATE

7/21/2020



July 20, 2020

Sycamore Township Zoning Commission
8540 Kenwood Road,
Cincinnati, Ohio 45236

Re: 8915 Blueash Road

Attached project is for the expansion for Blueash Self Storage. Due to overwhelming demand the existing facility is at capacity and additional space is needed. The project is on 3.4460 Acre and encompasses two phases. The first phase (IIA) is demolition of the existing dilapidated warehouse (formerly grass cor) building and construction of mini-warehouse buildings 9,10, and 11, concrete paving, landscaping, and detention pond modifications as required for updated water quality standards. Phase IIA comprises 132 rental units. Access to these buildings will be via an electric gate installed at the existing drive. Phase IIB will be buildings 12,13, and 14, this phase is planned to be constructed in 2022/2023.

The former grass-corr warehouse had approximately 75% hard surface coverage whereas the planned improvements are only 64% coverage. The project currently has a F-light industrial zoning of which we are not requesting a change from just that the ISR is above 50% but less than the previous usage was. The property location has adjacent industrial buildings to the North, South and West. To the East is a railroad track and Blueash road. On the east side of Blueash road there is E-retail zoning and B zoning. The above improvements will improve the property's value, appearance, and usage as storage is community type of business of which the community's residents and business typically utilize.

Sincerely,

A handwritten signature in blue ink, appearing to read 'K. Koch'.

Kelvin L Koch

PROPOSED

IMPERVIOUS SURFACE RATIO WORKSHEET
(Method of Calculation)

IMPERVIOUS SURFACE: Any hard-surfaced, man-made area that does not readily absorb or retain water, including but not limited to building roofs, parking and driveway areas, sidewalks and paved recreational facilities.

IMPERVIOUS SURFACE RATIO (ISR): The total area of impervious surfaces divided by the net area (excluding right-of-way) of the lot.

LOT AREA: The total horizontal area included within the lot lines of the lot. No public right-of-way or access easement for a public street or handle of a panhandle lot shall be included in the calculation of the lot area, nor shall the public right-of-way cross the lot area.

Site Identification 8915 BLUEASH Road

Lot Area 150106.9832 square feet

Impervious Surfaces:

1. Building footprint 60,144 sq.ft.
2. Parking & Drive areas 37,308.8231 sq.ft.
3. Walkways _____ sq.ft.
4. Other _____ sq.ft.

Total Impervious Surfaces: 97,452.8231 sq.ft.

97,452.8231 divided by 150106.9832 = .64%
Total Impervious Surface Lot Area Impervious Surface Ratio %

I, [Signature] (Signature) certify that the calculations submitted above for the Impervious Surface Ratio are accurate and complete to the best of my knowledge.

Date 7/20/2020

Please attach your business card or submit your complete name, address and telephone number, fax and e-mail in the space below.

RJK
ASSOCIATES
INCORPORATED

KELVIN KOCH

conflict of information contained herein,
Binding Resolution shall apply.

6257 Springdale Road
Cincinnati, Ohio 45247

Office 513.741.1400
Mobile 513.383.0179
E-Mail kelvin@rjkassociates.net

December 17, 2012

Legal Description: Parcel "B" (3.4460 Acres)

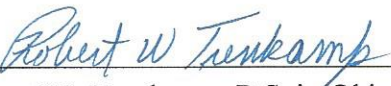
Situated in Section 14, Town 4, Entire Range 1, Miami Purchase, Sycamore Township, Hamilton County, State of Ohio, and being the same premises conveyed by Deed dated November 21, 2011 and recorded in Official Record Book 11877, Page 1377, Hamilton County Recorder's Office and being more particularly described as follows:

Commencing at the intersection of the west Right-of-Way line of the Southwest Ohio Regional Transit Authority as recorded in Official Record Book 9308, Page 674, Hamilton County Recorder's Office and the north line of Section 14; thence with the said west Right-of-Way line of the Southwest Ohio Regional Transit Authority, South 19° 15' 00" West, 688.46 feet to the point of beginning of the tract herein described; thence continuing with the said west Right-of-Way line, South 19° 15' 00" West, 207.18 feet to a found iron pin; thence departing the said west Right-of-Way line, North 87° 40' 00" West, 806.70 feet to a found iron pipe; thence North 02° 20' 00" East, 86.24 feet to a set iron pin; thence South 87° 40' 13" East, 140.67 feet to a set iron pin; thence North 02° 20' 00" East, 111.92 feet to a set iron pin; thence South 87° 40' 13" East, 726.31 feet to a set iron pin and the point of beginning.

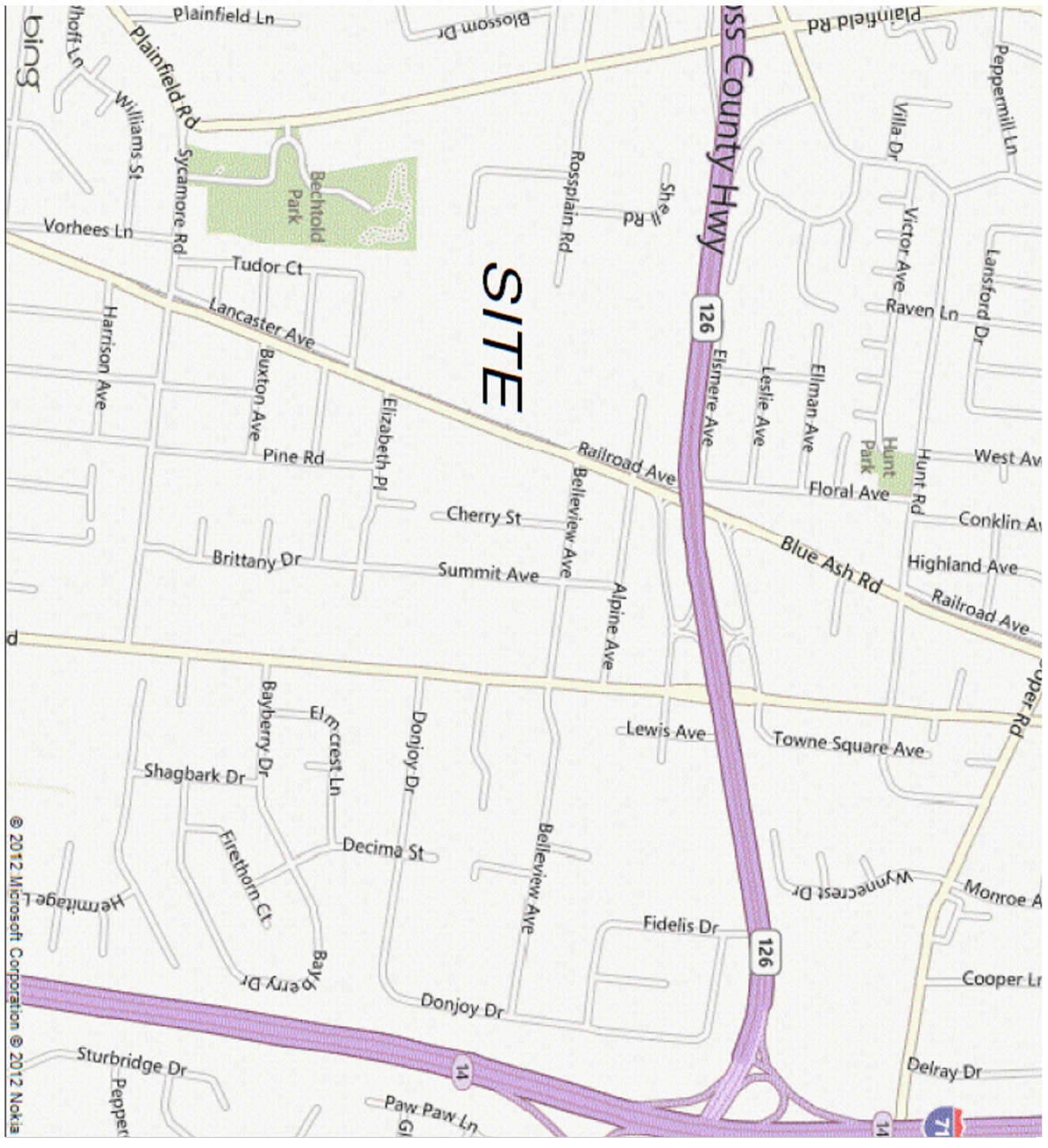
The above described tract contains 3.4460 Acres (150,106.9832 Sq. Ft.) and is subject to all easements and restrictions of record.

Basis of Bearings: North based upon deed recorded in Official Record 8238,
Page 3418 of the Hamilton County Recorder's Office

This description was prepared by Robert W. Trenkamp, Registered Surveyor in Ohio (No. 6452) and is based on a survey made by Thomas Graham Associates, Inc. dated December 12, 2012.


Robert W. Trenkamp, P.S. in Ohio #6452



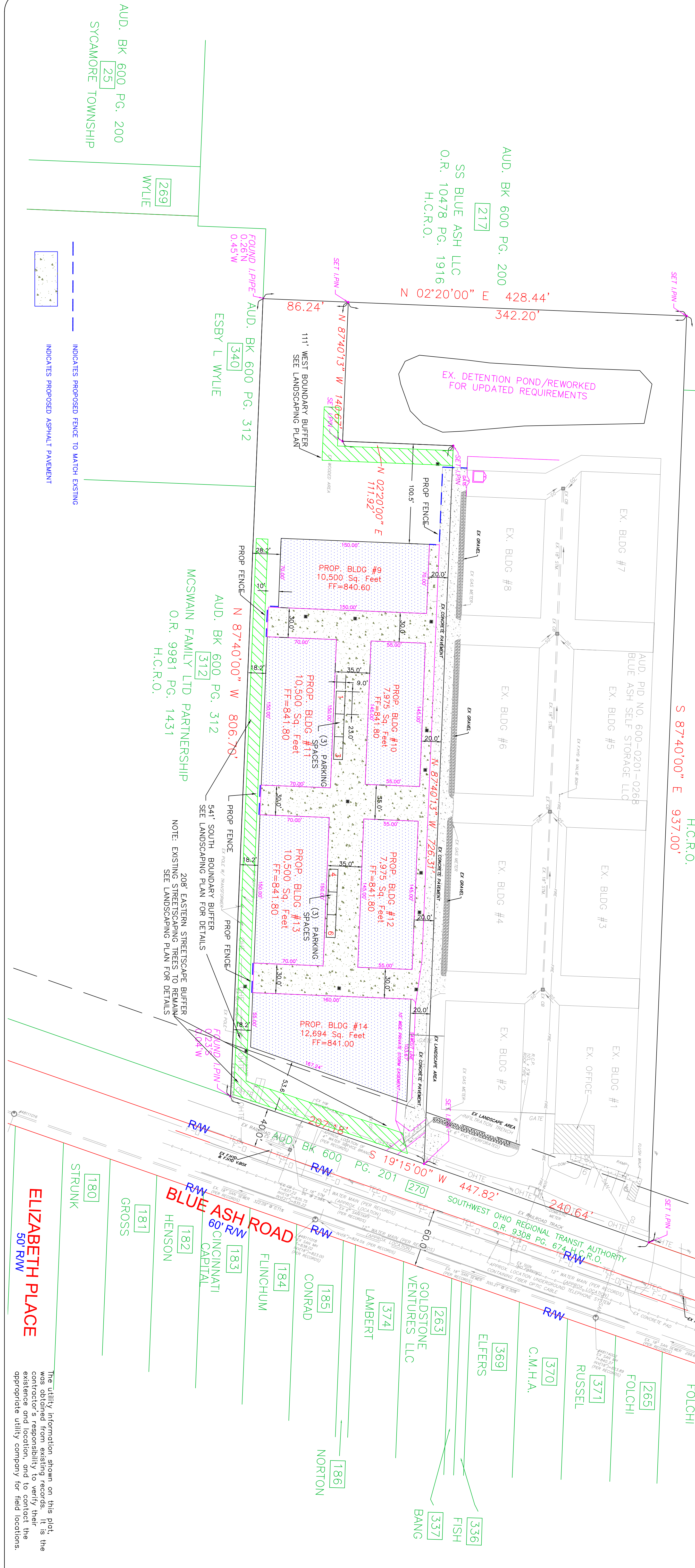


VICINITY MAP
NOT TO SCALE

PHASE 2 - BLUE ASH STORAGE

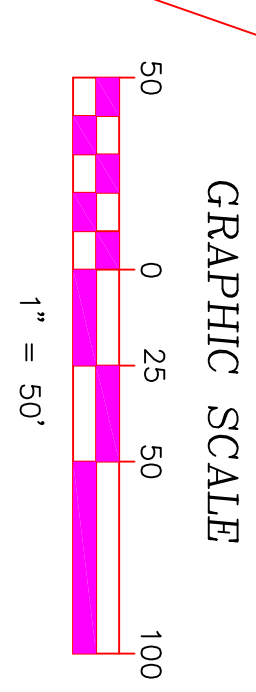
- 7/17/2020
 Applicant - Blue Ash Self Storage
 Owner - Blue Ash Self Storage
- Gross area - 3,4460 A / 150,106,9832 SF
 - Existing and Proposed Use - Light Industrial "F" - Storage/mini warehouse
 - Gross Floor area - 60,144 SF
 - Parking 3+1 per 100 Units
 - 134 units phase 1A / 100 units Phase 1B = 234 Units
 - Total required -3+2.4 = 6 // 6 provided
 - ISR
 - lot 150,106,9832 SF
 - Buildings 60,144,0000 SF
 - Drives 37,308,8231 SF
 - Total Impervious 97,452,8231 SF
 - ISR 97,452,8231/150,106,9832 = .64%

AUD. BK 600 PG. 201
 [311]
 EASTERN SHEET METAL HOLDING COMPANY INC.
 O.R. 10374 PG. 1251
 H.C.R.O.
 S 87°40'00" E 937.00'



NORTH LINE OF SECTION 14

S 19°15'00" W 447.82'
 FROM NORTH LINE OF SECTION 14



ELIZABETH PLACE
 50'RW

The utility information shown on this plot, was obtained from existing records. It is the contractor's responsibility to verify their existence and location, and to contact the appropriate utility company for field locations.

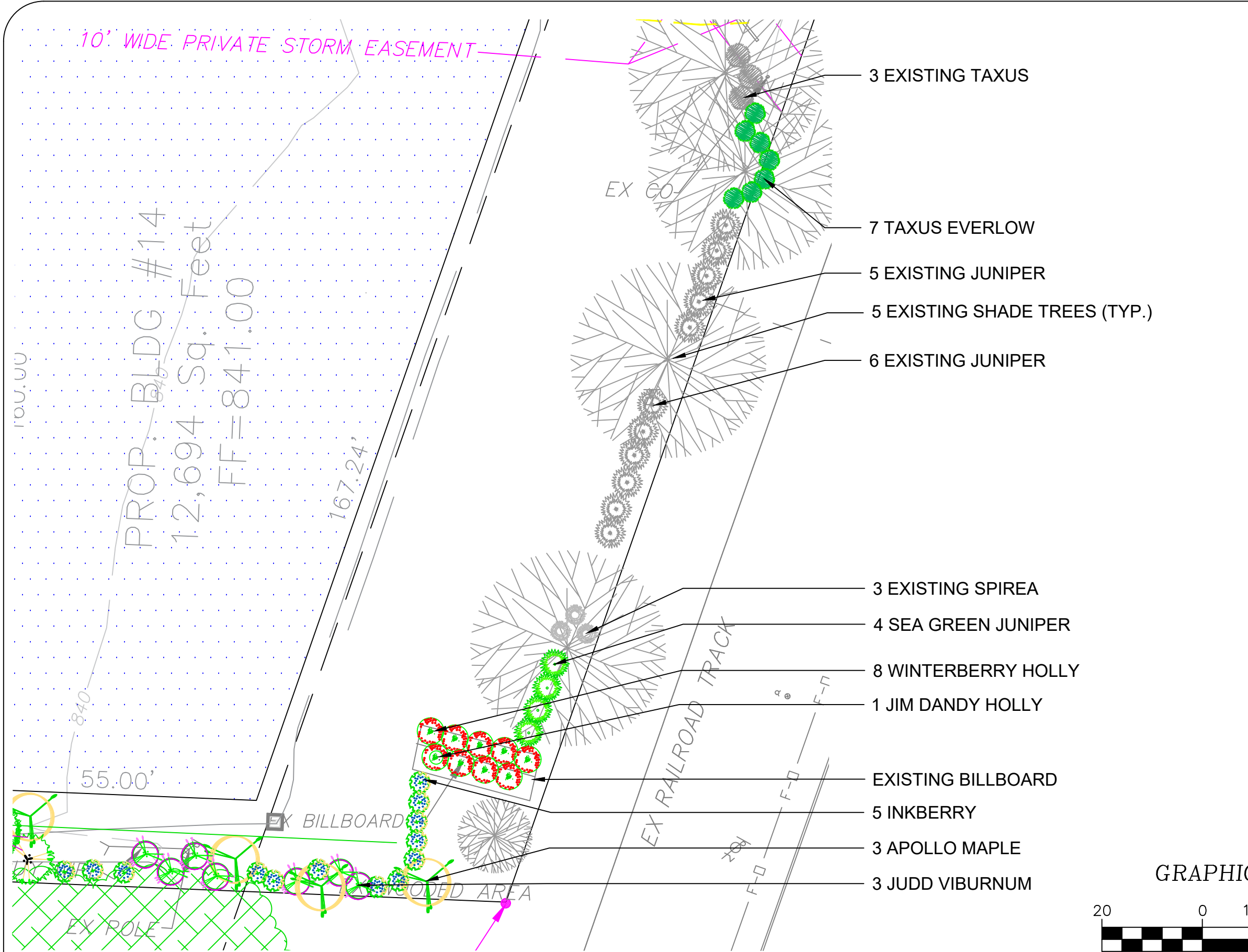


Date:	FEB. 18, 2020
Scale:	1" = 50'
Job No.:	
Revisions:	
No.:	
Date:	

Proposed Features plan

PHASE 2
 ADDRESS: 8915 BLUE ASH ROAD
 GRASSCORN LAWN AND LANDSCAPING, LLC.
 SECTION 14, TOWN 4, ENTIRE RANGE 1
 SYCAMORE TOWNSHIP
 HAMILTON COUNTY, OHIO

ACAD FILENAME:

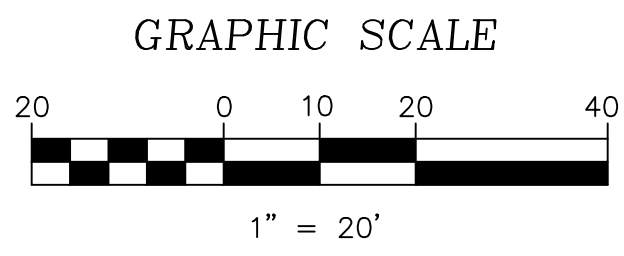
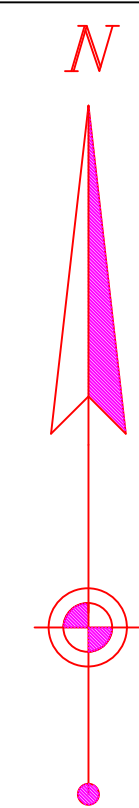
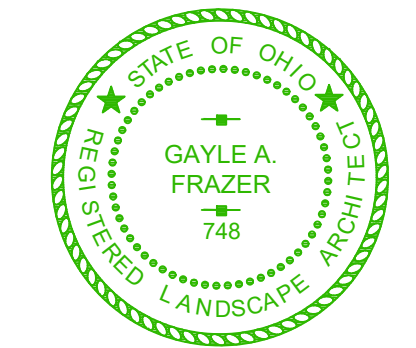


Zoning Calculations

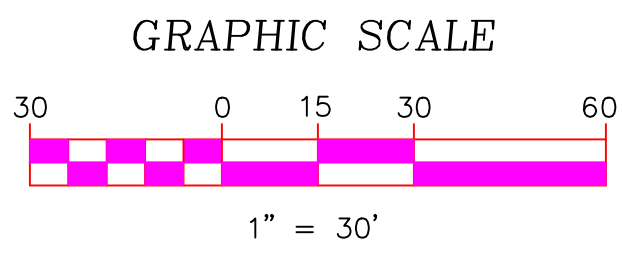
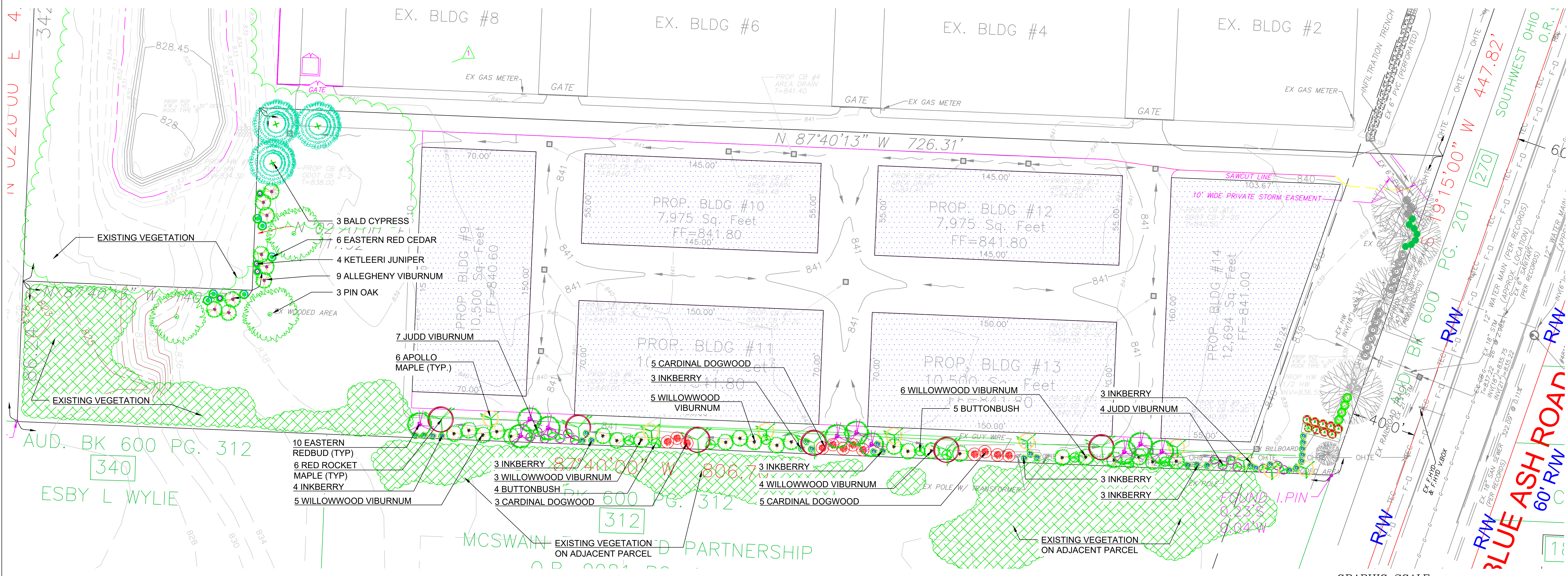
STREETSCAPE BUFFER (EAST PROPERTY LINE)	
207.18 LIN.FT. / 100 = 2.07	
2.07 x 2.5 (trees) = 5.1 (6 trees)	
6 trees required - 5 existing = 1 tree provided	
Existing trees - 5 Honey Locust	
2.07 x 20 (shrubs) = 41.4 (42 shrubs)	
42 shrubs required - 17 existing = 25 shrubs provided	
Existing shrubs - 3 Taxus, 11 Juniper, 3 Spirea	
BOUNDARY BUFFER (SOUTH PROPERTY LINE)	
541 LIN.FT. / 100 = 5.41	
5.41 x 4.5 (trees) = 24.34 (25 trees) 25 trees provided	
5.41 x 15 (shrubs) = 81.15 (82 shrubs) 82 shrubs provided	
BOUNDARY BUFFER (WEST PROPERTY LINE)	
111.92 LIN.FT. / 100 = 1.11	
1.11 x 4.5 (trees) = 4.99 (5 trees) 5 trees provided	
1.11 x 15 (shrubs) = 16.65 (17 shrubs) 17 shrubs provided	

PLANT KEY			
QTY	SIZE	COMMON	LATIN
9	2.5"	Apollo Sugar Maple	Acer saccharum 'Apollo Sugar'
3	2.5"	Green Pillar Pin Oak	Quercus palustris 'Green Pillar'
6	2.5"	Red Rocket Maple	Acer rubrum 'Red Rocket'
10	2.5"	Eastern Redbud	Cercis canadensis
1	5 GAL	Male and Female Winterberry	Ilex verticillata (male and female)
4	5 GAL	Sea Green Juniper	Juniperus chinensis 'Sea Green'
7	5 GAL	Dense Yew	Taxus x media 'Densifomis'
8	5 GAL	Winter Red Winterberry	Ilex verticillata 'Winter Red'
9	5 GAL	Buttonbush	Cephalanthus occidentalis
9	5 GAL	Allegheny Viburnum	Viburnum x rhytidophyloides 'Allegheny'
12	5 GAL	Cardinal Dogwood	Cornus alba 'Cardinal'
14	5 GAL	Judd Viburnum	Viburnum x Judd
23	5 GAL	Willowood Viburnum	Viburnum x rhytidophyloides 'Willowood'
29	5 GAL	Inkberry Holly	Ilex glabra
3	6"	Bald Cypress	Taxodium distichum
4	6"	Kettleri Juniper	Juniperus virginiana 'Kettleri'
6	6"	Eastern Red Cedar	Juniperus virginiana

The utility information shown on this plat, prepared by Thomas Graham Associates, Inc., was obtained from existing records. It is the contractor's responsibility to verify their existence and location, and to contact the appropriate utility company for field locations.



STREETSCAPE BUFFER SCALE 1"=20'



BOUNDARY BUFFERS SCALE 1"=30'



• Engineers
• Surveyors

803 Compton Road
Cincinnati, Ohio 45231
513-521-4760
Fax # 521-2439

Date: 5.1.2020
Scale: VARIES
Job No: 7806

Revisions	
No.	Date
1	MARCH 23, 2020

LANDSCAPE PLAN

PHASE 2
ADDRESS: 8915 BLUE ASH ROAD
GRASSCORN LAWN AND LANDSCAPING, LLC.
SECTION 14, TOWN 4, ENTIRE RANGE 1
SYCAMORE TOWNSHIP
HAMILTON COUNTY, OHIO

ACAD FILENAME: 7806_BASE.DWG

Drawn By: JET
SHEET 1 OF 2
L1
Job No: 7806-20

SPECIFICATIONS

GENERAL PLANTING NOTES

- *CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL LINES MARKED PRIOR TO COMMENCING WORK
- *PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."
- *FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- *PROVIDE TREES AND SHRUBS OF SIZES AND GRADES COMPLYING WITH ANSI Z60.1 FOR TYPE OF TREES AND SHRUBS REQUIRED. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- *IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.
- *LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- *LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- *TOPSOIL SHALL BE ASTM D 5268; PH RANGE OF 5.5 TO 7, A MINIMUM OF 4 PERCENT ORGANIC MATERIAL CONTENT; FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- *COMPOST SHALL BE WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH ONE INCH SIEVE, SOLUBLE SALT CONTENT OF 5 TO 10 DECIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
- *FERTILIZER TO BE SLOW-RELEASE, GRANULAR OR PELLETED CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED FOR TYPE OF PLANT BEING GROWN.

PREPARATION AND PLANTING

- *LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. IF A PLANT IS SHOWN ON THE PLAN WITHIN THREE FEET OF AN UNDERGROUND UTILITY, NOTIFY LANDSCAPE ARCHITECT FOR ADJUSTMENT INSTRUCTIONS.
- *PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWNS AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
- *PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
- *LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
- *TREES SHALL BE SITED IN FIELD BY LANDSCAPE ARCHITECT WHERE NOTED ON PLANS.

- *ALL PLANTING BEDS ARE TO BE PREPARED AS FOLLOWS :
 - LOOSEN SUBGRADE TO A DEPTH OF 4 - 6". REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - SPREAD COMPOST AT A DEPTH OF 4 - 6" AND TILL WITH LOOSENED SUBGRADE, MIXING THOROUGHLY.
 - GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
 - EDGE BEDS 3 - 4" DEEP (SEE DETAIL).

ADDITIONAL PREPARATION FOR PERENNIAL BEDS:
 PROVIDE A TOTAL OF 6" OF COMPOST AND 6" UNSHREDDED TOPSOIL, THOROUGHLY BLEND MIXTURE, DO NOT COMPACT. MULCH WITH MINI PINE NUGGETS, 100% COVERAGE. LANDSCAPE ARCHITECT TO OBSERVE AND APPROVE.

*ALL PLANTS ARE TO BE INSTALLED WITH ORGANIC BIO-TONE STARTER (A MYCORRHIZAL FUNGI STIMULANT)

*AND TRICHODERMA ABSORBENT GEL, PER MANUFACTURER'S SPECIFICATIONS ON INSTALLATION MEANS AND METHODS AND APPLICATION RATES.

Type of Plants Normal Planting Dates
 Non-Container Grown, Deciduous October 1 to April 1
 Non-Container Grown, Other October 1 to May 1
 Non-Container Grown, Other October 1 to May 1
 Container Grown, All Year-Round, if suitable precautions are taken to protect the stock from extremes of moisture and temperature, if there is a doubt, obtain a variance or a performance bond

ABSOLUTELY NO PLANT SUBSTITUTIONS WITHOUT WRITTEN PERMISSION OF THE MUNICIPALITY ZONING STAFF, CLIENT REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OH OR KY DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND PROJECT MANAGEMENT SPECIFICATIONS". IN THE EVENT OF A CONFLICT THE MORE STRINGENT STANDARD SHALL APPLY.

- *NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PITS.
- *NOTIFY LANDSCAPE ARCHITECT IF A LIGHT FIXTURE OR OTHER UTILITY HAS BEEN BUILT WITHIN 10' OF PROPOSED TREE.
- *ALL PLANTS ARE TO BE FERTILIZED WITH A SLOW-RELEASE FERTILIZER PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *REFER TO TYPICAL PLANTING DETAILS FOR PLANT INSTALLATION.
- *IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE, BUT IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ASSURE PLANTS REMAIN IN AN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD.
- *ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS ARE TO BE MULCHED AT A DEPTH OF 3". APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *FOR ALL PLANT MATERIALS, PRUNE TO REMOVE DEAD OR INJURED BRANCHES ONLY, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.
- *IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
 - KEEP ADJACENT PAVINGS AND CONSTRUCTION CLEAN, AND MAINTAIN WORK AREA IN AN ORDERLY CONDITION, FOR DURATION OF PROJECT.
 - PROJECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED EXTERIOR PLANTING.
 - REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- *CONTRACTOR SHALL PROVIDE OWNER WITH A WRITTEN WARRANTY FOR LABOR AND MATERIALS.
- *CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- *WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FOR TREES AND SHRUBS, SEED INSTALLATION, GROUND COVERS, AND OTHER EXTERIOR PLANTS.
- *SERVICES PROVIDED BY WARRANTY SHALL INCLUDE:
 - MAINTAINING UPRIGHT POSITION OF EXTERIOR PLANTINGS DURING WARRANTY PERIOD.
 - IMMEDIATE REMOVAL OF DEAD EXTERIOR PLANTS AND IMMEDIATE REPLACEMENT, UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.
 - REPLACEMENT OF EXTERIOR PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
- *WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.
- *PERFORM A SOIL TEST FOR SEED NEEDS, AND FERTILIZE AS REQUIRED FOR SUCCESSFUL GERMINATION.
- *TILL AREA TO BE SEEDED TO A DEPTH OF 4". RAKE TILLED AREA TO REMOVE DEBRIS 1" OR LARGER IN SIZE THAT HAS BEEN BROUGHT TO THE SURFACE DURING TILLING.
- *SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURER'S WRITTEN RECOMMENDED RATE.
- *RAKE SEED LIGHTLY INTO TOP OF TOPSOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
- *PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 AND/OR SWALES/ AREAS OF HIGHER WATER FLOW WITH EROSION-CONTROL FIBER MESH INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *SEED CONTRACTOR SHALL IDENTIFY THESE POTENTIAL AREAS OF EROSION AND PROVIDE MEANS TO MITIGATE SUCH.
- *PROTECT ALL OTHER SEEDED AREAS BY SPREADING STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1-1/2" IN LOOSE DEPTH OVER.
- *SEED INSPECTION SHALL BE PERFORMED TO WARRANT A 90% GERMINATION, YIELDING 80% OPACITY WITHIN 90 DAYS OR INSTALLATION.
- *SEED ONLY AS THE WEATHER AND TEMPERATURE ALLOWS FOR SUCCESS.

- *CONTRACTOR SHALL PROVIDE OWNER WITH A WRITTEN WARRANTY FOR LABOR AND MATERIALS.
- *CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
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- *PERFORM A SOIL TEST FOR SEED NEEDS, AND FERTILIZE AS REQUIRED FOR SUCCESSFUL GERMINATION.
- *TILL AREA TO BE SEEDED TO A DEPTH OF 4". RAKE TILLED AREA TO REMOVE DEBRIS 1" OR LARGER IN SIZE THAT HAS BEEN BROUGHT TO THE SURFACE DURING TILLING.
- *SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURER'S WRITTEN RECOMMENDED RATE.
- *RAKE SEED LIGHTLY INTO TOP OF TOPSOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
- *PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 AND/OR SWALES/ AREAS OF HIGHER WATER FLOW WITH EROSION-CONTROL FIBER MESH INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *SEED CONTRACTOR SHALL IDENTIFY THESE POTENTIAL AREAS OF EROSION AND PROVIDE MEANS TO MITIGATE SUCH.
- *PROTECT ALL OTHER SEEDED AREAS BY SPREADING STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1-1/2" IN LOOSE DEPTH OVER.
- *SEED INSPECTION SHALL BE PERFORMED TO WARRANT A 90% GERMINATION, YIELDING 80% OPACITY WITHIN 90 DAYS OR INSTALLATION.
- *SEED ONLY AS THE WEATHER AND TEMPERATURE ALLOWS FOR SUCCESS.

- *CONTRACTOR SHALL PROVIDE OWNER WITH A WRITTEN WARRANTY FOR LABOR AND MATERIALS.
- *CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- *WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FOR TREES AND SHRUBS, SEED INSTALLATION, GROUND COVERS, AND OTHER EXTERIOR PLANTS.
- *SERVICES PROVIDED BY WARRANTY SHALL INCLUDE:
 - MAINTAINING UPRIGHT POSITION OF EXTERIOR PLANTINGS DURING WARRANTY PERIOD.
 - IMMEDIATE REMOVAL OF DEAD EXTERIOR PLANTS AND IMMEDIATE REPLACEMENT, UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.
 - REPLACEMENT OF EXTERIOR PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
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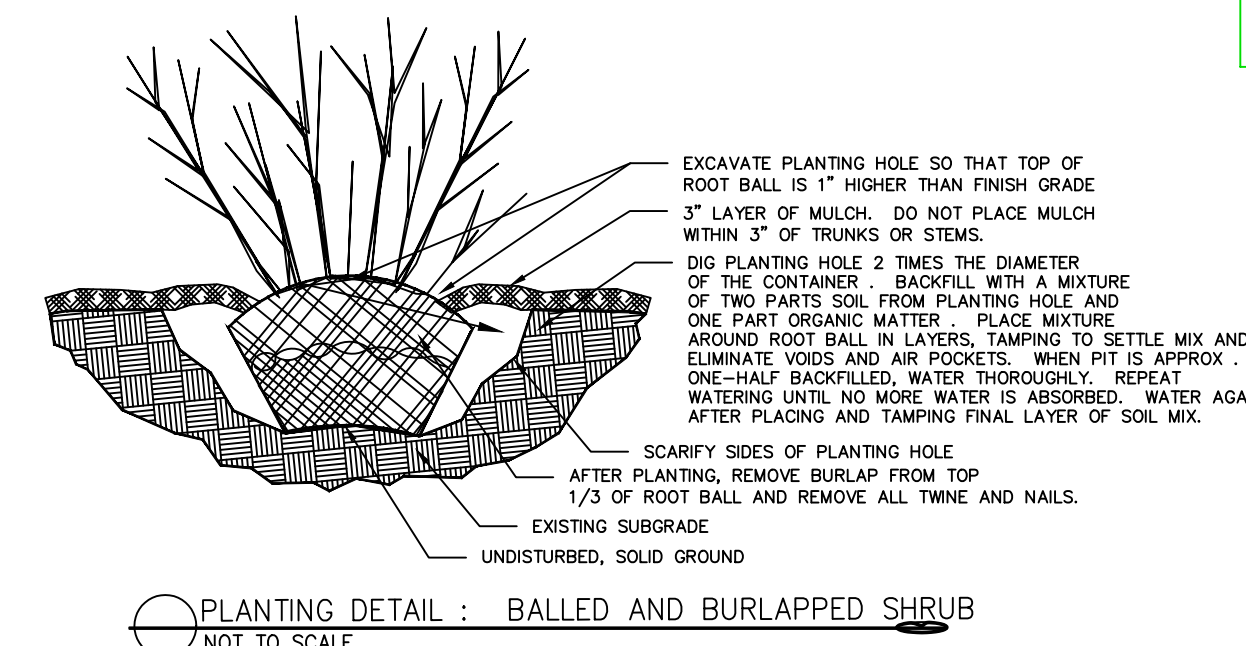
MULCH TO BE FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS. GRADE A MATERIALS APPLY TO 100 PERCENT OPACITY TO LAST 7 MONTHS WITHOUT ANY ADDITIONAL TOP DRESSING. DEPTH WILL VARY DEPENDING ON PRODUCT INSTALLED. TYPICALLY 3" DEPTH

- PROVIDE CLIENT OR CLIENT REPRESENTATIVE WITH PRICE AND A SAMPLE OF THE FOLLOWING OPTIONS:
 - LONG LASTING DYED BLACK MULCH DOUBLE SHREDDED
 - DYED BROWN MULCH DOUBLE SHREDDED
 - DOUBLE SHREDDED HARDWOOD BLEND
 - CYPRESS MULCH
 - MINI PINE NUGGET
 - MINI PINE FINES
 - PINE STRAW
 - PREMIUM WOOD CHIP
 - WOOD CHIP

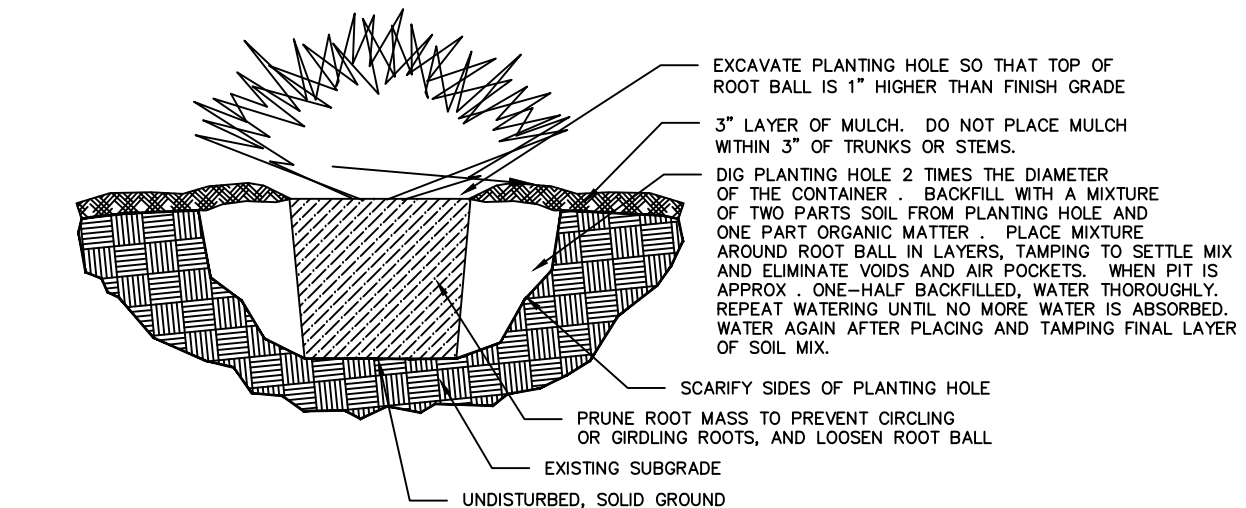
PROVIDE CLIENT WITH QNT MULCH PROVIDED _____ CUBIC YARDS

PROVIDE CLIENT WITH QNT OF COMPOST PROVIDED _____ CUBIC YARDS

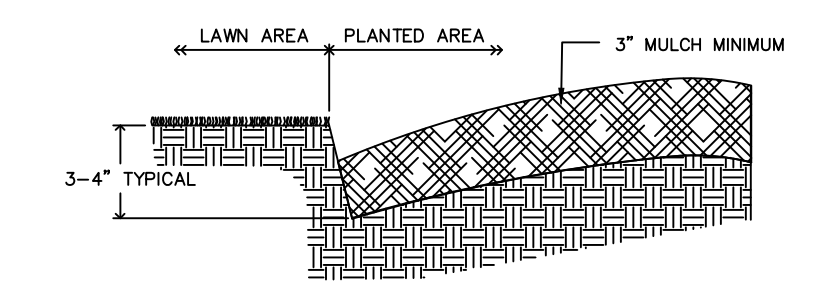
PROVIDE CLIENT WITH QUANTITY OF TOPSOIL PROVIDED _____ CUBIC YARDS



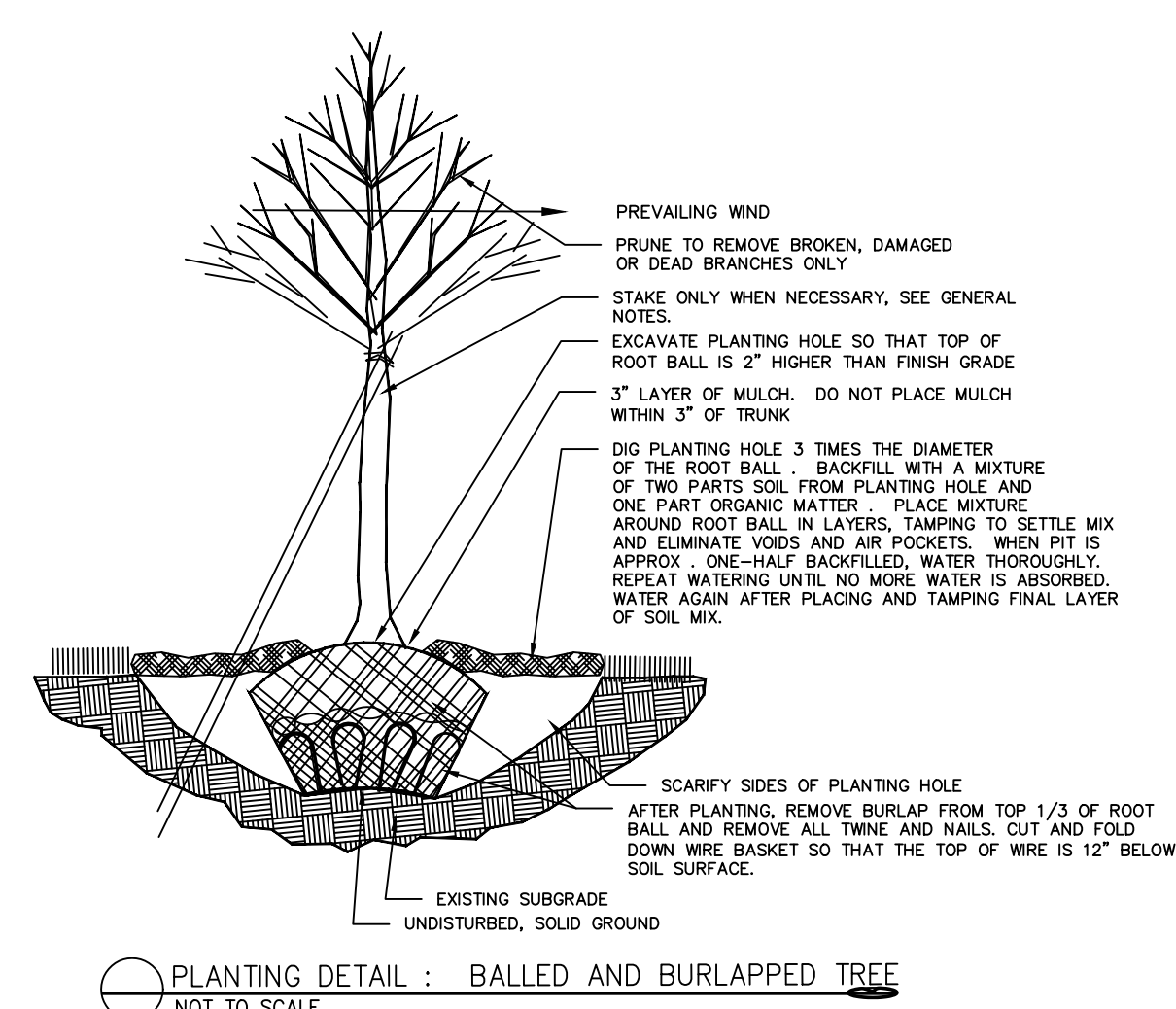
PLANTING DETAIL : BALLED AND BURLAPPED SHRUB NOT TO SCALE



PLANTING DETAIL : CONTAINERIZED PLANTS NOT TO SCALE

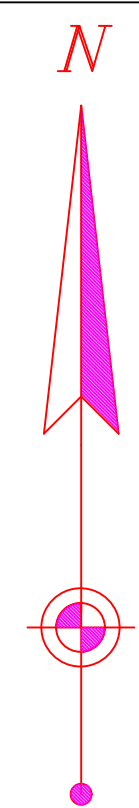
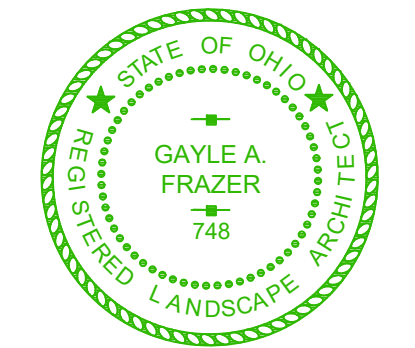


PLANTING DETAIL : BED EDGE NOT TO SCALE



PLANTING DETAIL : BALLED AND BURLAPPED TREE NOT TO SCALE

The utility information shown on this plat, prepared by Thomas Graham Associates, Inc., was obtained from existing records. It is the contractor's responsibility to verify their existence and location, and to contact the appropriate utility company for field locations.



tga
 THOMAS GRAHAM ASSOCIATES, INC.

- Engineers
- Surveyors

803 Compton Road
 Cincinnati, Ohio 45231
 513-521-4760
 Fax # 521-2439

Date: 5.1.2020
 Scale: VARIES
 Job No: 7806

Revisions

No.	Date
1	MARCH 23, 2020

LANDSCAPE PLAN
 PHASE 2

ADDRESS: 8915 BLUE ASH ROAD
 GRASSCOP LAWN AND LANDSCAPING, LLC.
 SECTION 14, TOWN 4, ENTIRE RANGE 1
 SYCAMORE TOWNSHIP
 HAMILTON COUNTY, OHIO

Drawn By: JET

SHEET 2 OF 2

L2

Job No: 7806-20

ACAD FILENAME: 7806_BASE.DWG

KEYNOTES

- SLOPES IN ACCESSIBLE AREAS SHALL BE PER ADA REQUIREMENTS 2% MAX CROSSLOPES AND 5% MAX RUNNING SLOPE ALONG ROUTES. 2% ANY DIRECTION IN ACCESSIBLE SPACE OR AISLE.
- EROSION AND SEDIMENT CONTROLS NEED TO BE ESTABLISHED AROUND THE PERIMETER OF THE SITE BEFORE ANY EARTH DISTURBING ACTIVITIES HAVE BEGUN. SPECIFICALLY, INLET PROTECTION SHOULD BE USED AS A TEMPORARY MEASURE AGAINST SILT WASH INTO CATCH BASINS UNTIL VEGETATIVE COVER CAN BE ESTABLISHED AND THE PERMANENT SLOPE HAS BEEN CONSTRUCTED.

NOTE:
REMOVE ALL EXISTING TREES, SHRUBS AND LANDSCAPE MATERIALS UNLESS NOTED OTHERWISE. ADJUST ALL EXISTING MANHOLES, VALVES, CLEAN OUTS, ETC. TO NEW GRADES AS NEEDED.

LEGEND

- INDICATES EX. GAS VALVE BOX
- INDICATES DEPRESSED CURB
- INDICATES METAL POST
- INDICATES EX. IRON PIN
- INDICATES EX TELEPHONE POLE
- INDICATES EX. LIGHT POLE
- INDICATES TELE, CABLE AND ELEC. POLE
- INDICATES TELEPHONE AND ELECTRIC POLE
- INDICATES GUY POLE
- INDICATES EX GUY WIRE
- INDICATES EX. SINGLE GRATE INLET
- INDICATES EX. INLET (2'X2')
- F.HYD INDICATES EX. FIRE HYDRANT
- W.V.B.X INDICATES EX. WATER VALVE BOX
- W.M.B.X INDICATES EX. WATER METER BOX
- F.D.C INDICATES EX. FIRE DEPARTMENT CONNECTION
- P.V.I INDICATES EX. POST INDICATOR VALVE
- INDICATES EX. UNDERGROUND WATER
- INDICATES EX. UNDERGROUND GAS
- INDICATES EX. OVERHEAD ELECTRIC WIRE
- INDICATES EX. OVERHEAD ELECTRIC
- INDICATES EX. OVERHEAD TELEPHONE, ELECTRIC, CABLE WIRE
- INDICATES EX. OVERHEAD TELEPHONE & ELECTRIC WIRE
- INDICATES EX. CONCRETE PAVEMENT
- INDICATES EX. PAVEMENT STRIPING
- INDICATES EX. SPOT GRADE
- INDICATES EX. CONTOUR
- INDICATES GUARD RAIL
- INDICATES RIGHT OF WAY

PROPOSED CONDITIONS LEGEND

- 841 INDICATES EX. CONTOURS
- 841 INDICATES PROPOSED CONTOURS
- 841.0 + INDICATES PROPOSED ASPHALT GRADES
- SF INDICATES PROPOSED SILT FENCE (REFER TO C4.0 FOR DETAIL)
- IP INLET PROTECTION (REFER TO C4.0 FOR DETAIL)
- INDICATES PROPOSED DRAINAGE FLOW ROUTE
- CE TEMPORARY CONSTRUCTION ENTRANCE (REFER TO C4.0 FOR DETAIL)
- INDICATES PROPOSED ASPHALT PAVEMENT (CONFIRM PAVEMENT SECTION WITH OWNER)
- CD ROCK CHECK DAM (REFER TO SHEET C4.0 FOR DETAIL)

UTILITY INSTALLATION TABLE

UTILITY	TYPICAL DEPTH
GAS	36"
WATER	42"
ELECTRIC	30"
TELEPHONE	30"
CABLE TV	30"

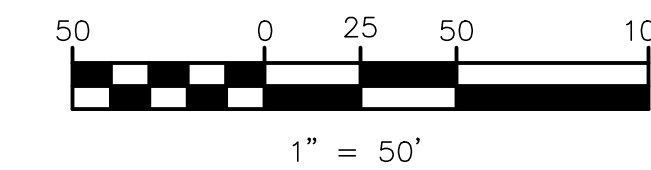
IF CONFLICT OCCURS BETWEEN UTILITIES SHOWN ABOVE AND THE GRAVITY SYSTEMS INCLUDING SANITARY AND STORM SEWERS, THE CONTRACTOR IS TO ADJUST THE UTILITIES LISTED ABOVE AS NEEDED.

UNDERGROUND UTILITIES



NON-MEMBERS MUST BE CALLED DIRECTLY

GRAPHIC SCALE



N



803 Compton Road
Cincinnati, Ohio 45231
513-521-4760
Fax # 521-2439

Date: FEB. 18, 2020

Scale: 1" = 50'

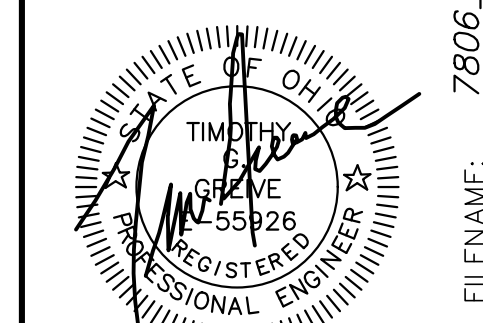
Job No: 7806

Revisions

No. Date

SITE GRADING PLAN

PHASE 2
ADDRESS: 8915 BLUE ASH ROAD
GRASSCORN LAWN AND LANDSCAPING, LLC.
SECTION 14, TOWN 4, ENTIRE RANGE 1
SYCAMORE TOWNSHIP
HAMILTON COUNTY, OHIO



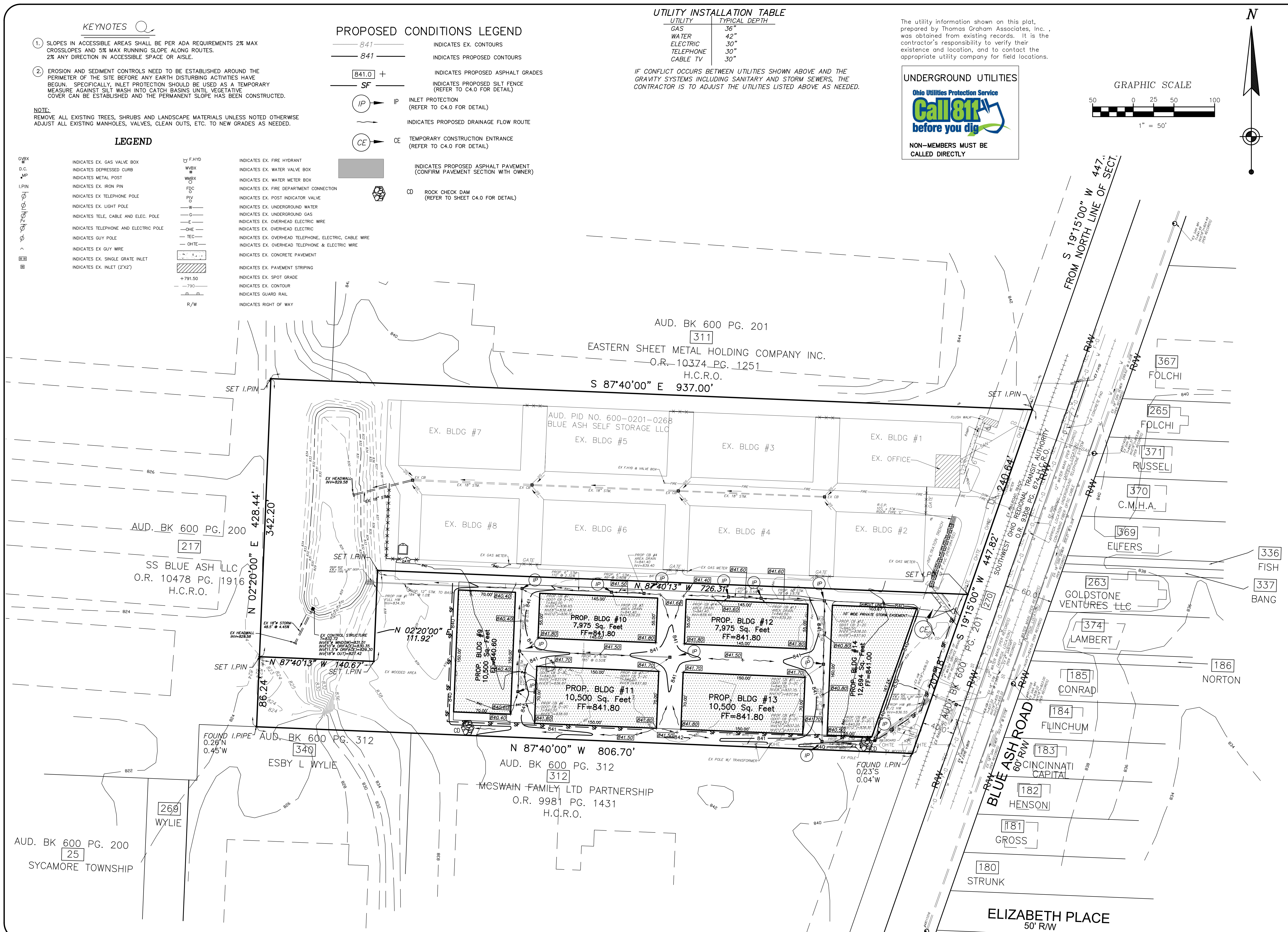
Drawn By: J.KAFFENBERGER

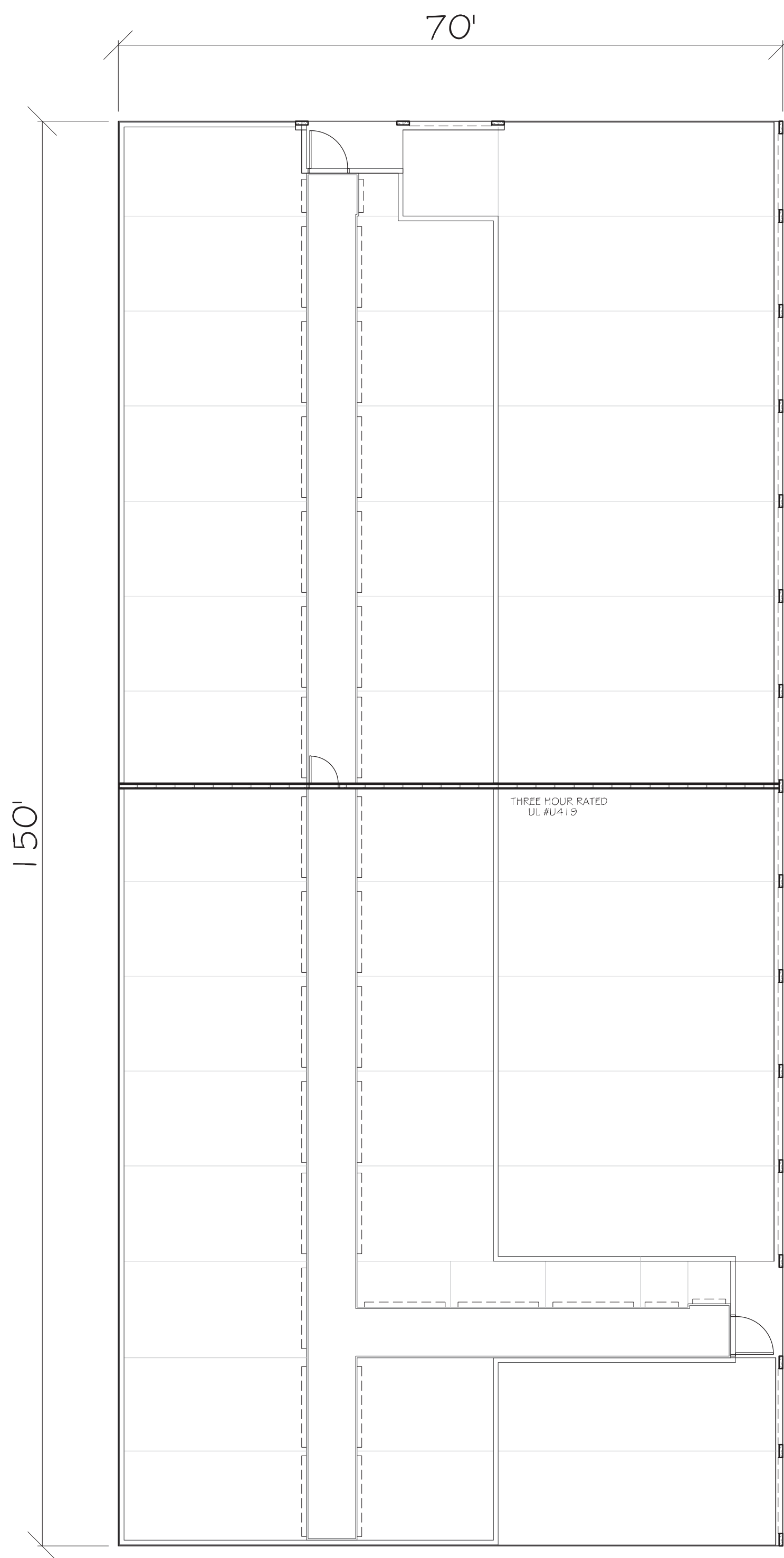
SHEET 4 OF 6

C-2.0

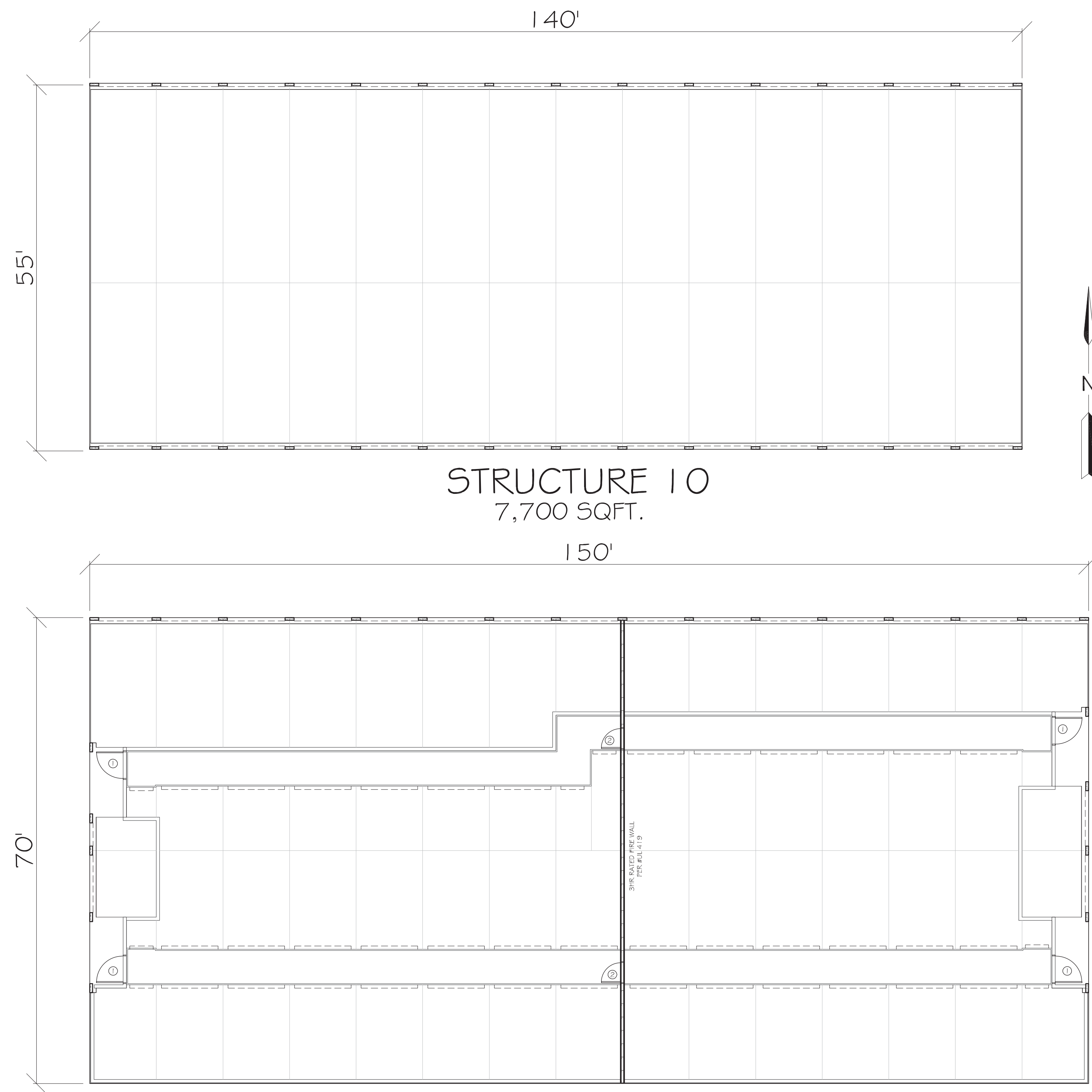
Job No: 7806-20

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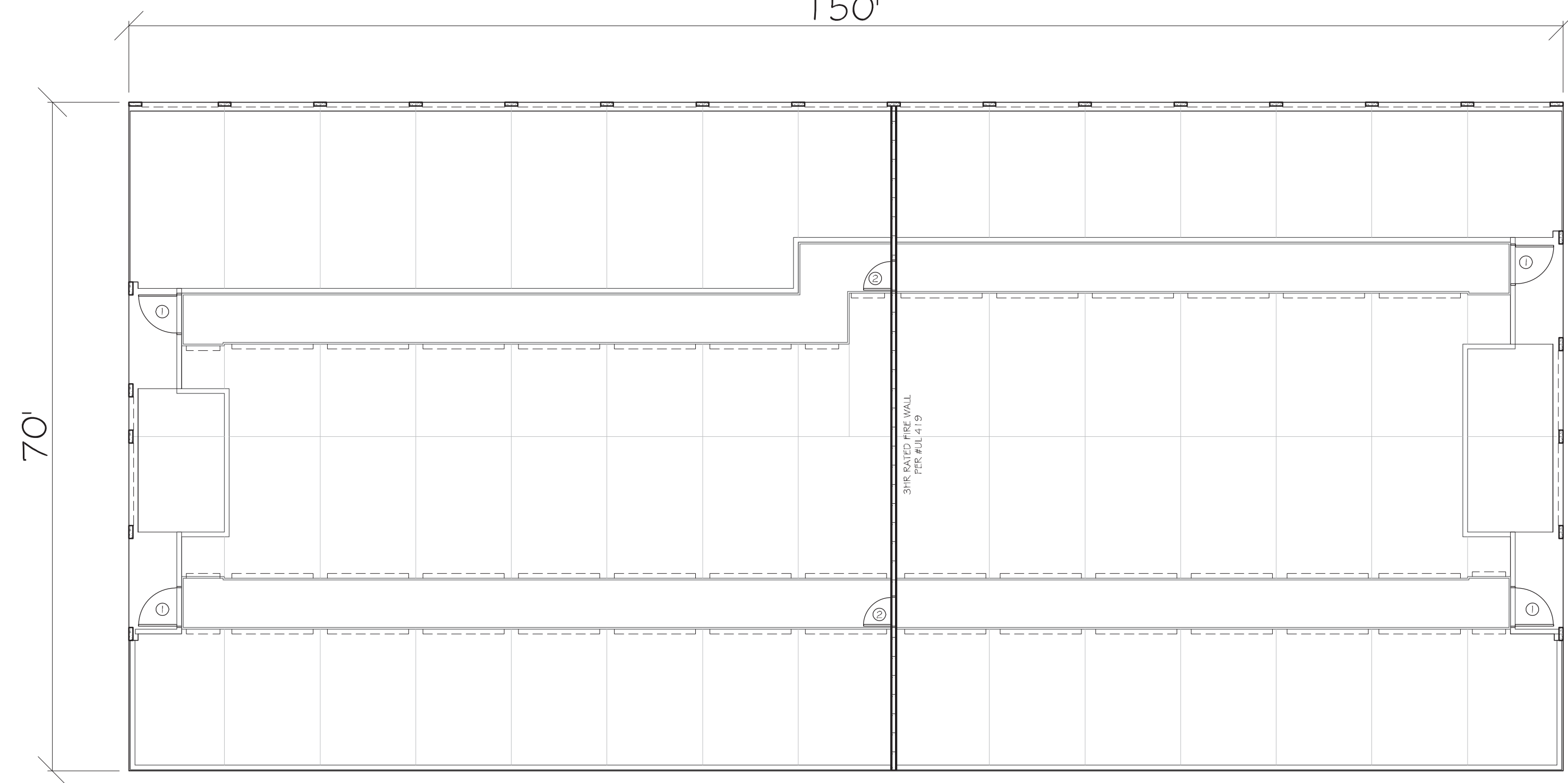




STRUCTURE 9
10,500 SQFT.



STRUCTURE 10
7,700 SQFT.



STRUCTURE 11
10,500 SQFT.



GC SHALL COORDINATE ALL T/CMU WALL HEIGHTS WITH RABCO ENTERPRISES, LLC PRIOR TO CONSTRUCTION TO ENSURE PROPER FIT OF THE METAL BUILDING COMPONENTS. FAILURE TO GET WRITTEN APPROVAL PRIOR TO ERECTING THE CMU WALLS MAY RESULT IN NEEDED MODIFICATIONS TO EITHER THE CMU WALL AND/OR THE METAL BUILDING COMPONENTS AT THE G.C.'S EXPENSE.

NOTES:

1. WITHOUT EXCEPTION, ALL RAINUP, SHEETLEDGE AND BLOCKEDGE SHALL BE 1-1/2" DOWN FROM THE T/FINISHED FLOOR ELEVATION.
2. WITHOUT EXCEPTION, ALL DOOR THRESHOLD SHALL BE 3" DOWN FROM THE T/FINISHED FLOOR ELEVATION.
3. G.C. SHALL VERIFY WIDTH OF RAINUP, SHEETLEDGE, BLOCKEDGE AND DOOR THRESHOLD WITH CONTRACT DOCUMENTS PRIOR TO FORMING SLAB EDGE.
4. IN THE ABSENCE OF RAINUP, SHEETLEDGE, BLOCKEDGE OR DOOR THRESHOLD BEING SPECIFIED ON THE PLANS, THE G.C. SHALL VERIFY IN WRITING WITH THE STEEL CONTRACTOR THE INTENT PRIOR TO FORMING SLAB EDGE.
5. RAINUP, SHEETLEDGE, BLOCKEDGE AND DOOR THRESHOLD ARE VITAL TO THE PROPER FIT OF THE STEEL CONSTRUCTION.
6. G.C. SHALL FIELD VERIFY THE RAINUP, SHEETLEDGE, AND BLOCKEDGE HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH CONTRACT DOCUMENTS BEFORE STEEL CONSTRUCTION BEGINS.

FINISH SCHEDULE

ROLL - UP DOORS	
ROOF - STORAGE	
ROOF - OFFICE/ APT.	
PERIMETER PANEL	
TRIM	
DOWNSPOUTS	
PIERS & HEADERS	
* COLOR SELECTIONS MUST BE ON FILE PRIOR TO RELEASING FOR FABRICATION	

MARKUPS

#	DATE	BY	ISSUE

REVISIONS

#	DATE	BY	ISSUE

BUILDING LAYOUT

BLUE ASH SELF STORAGE
PHASE 4
8915 BLUE ASH RD
CINCINNATI, OH 45242

OWNER: SHAWMUT CAPITAL PARTNERS
DRAWING NO: 2293-STR-DWG
DATE: 04-01-2020

ROBERT M. BEATTIE, PE
10750 W. 13TH AVE., SUITE 100, WESTLAND, MI 48090
PH: 313.487.1100 FAX: 313.487.1101
WWW.RMBeattie.com
REGISTERED PROFESSIONAL ENGINEER
STATE OF OHIO
REGISTRATION NO. 68849
EXPIRES 6-26-20

DRAWN BY	DATE
MNG	04-01-2020
SCALE	AS NOTED
JOB NUMBER	2293
FILE NAME	2293-STR-DWG
SHEET	

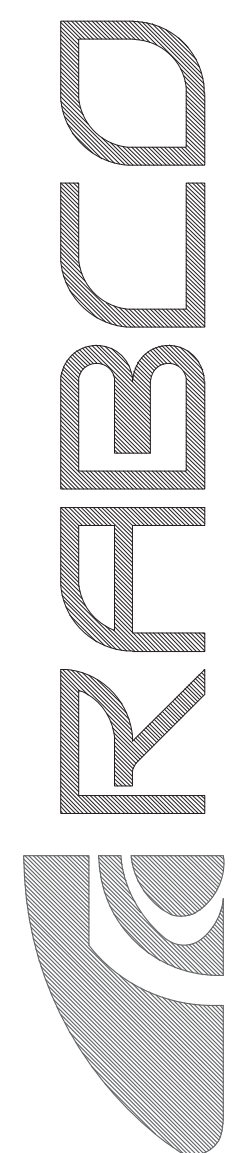
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#	DATE	BY	ISSUE

REVISIONS			
#	DATE	BY	ISSUE

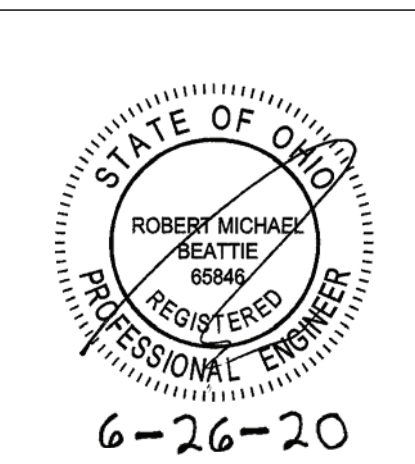
STRUCTURE 9
PARTITION PLAN

BLUE ASH SELF STORAGE
PHASE 4
8915 BLUE ASH RD
CINCINNATI, OH 45242

DRAWING SHALL BE FINAL APPROVED
BY THE MANUFACTURER OF THE
PRODUCTS SHOWN



RABCO
INNOVATIVE METAL BUILDING SYSTEMS
10411 CROWN PARK CIRCLE WINTER GARDEN, FL 34787
800-389-0220 CBC058975 FAX: 407-877-9065

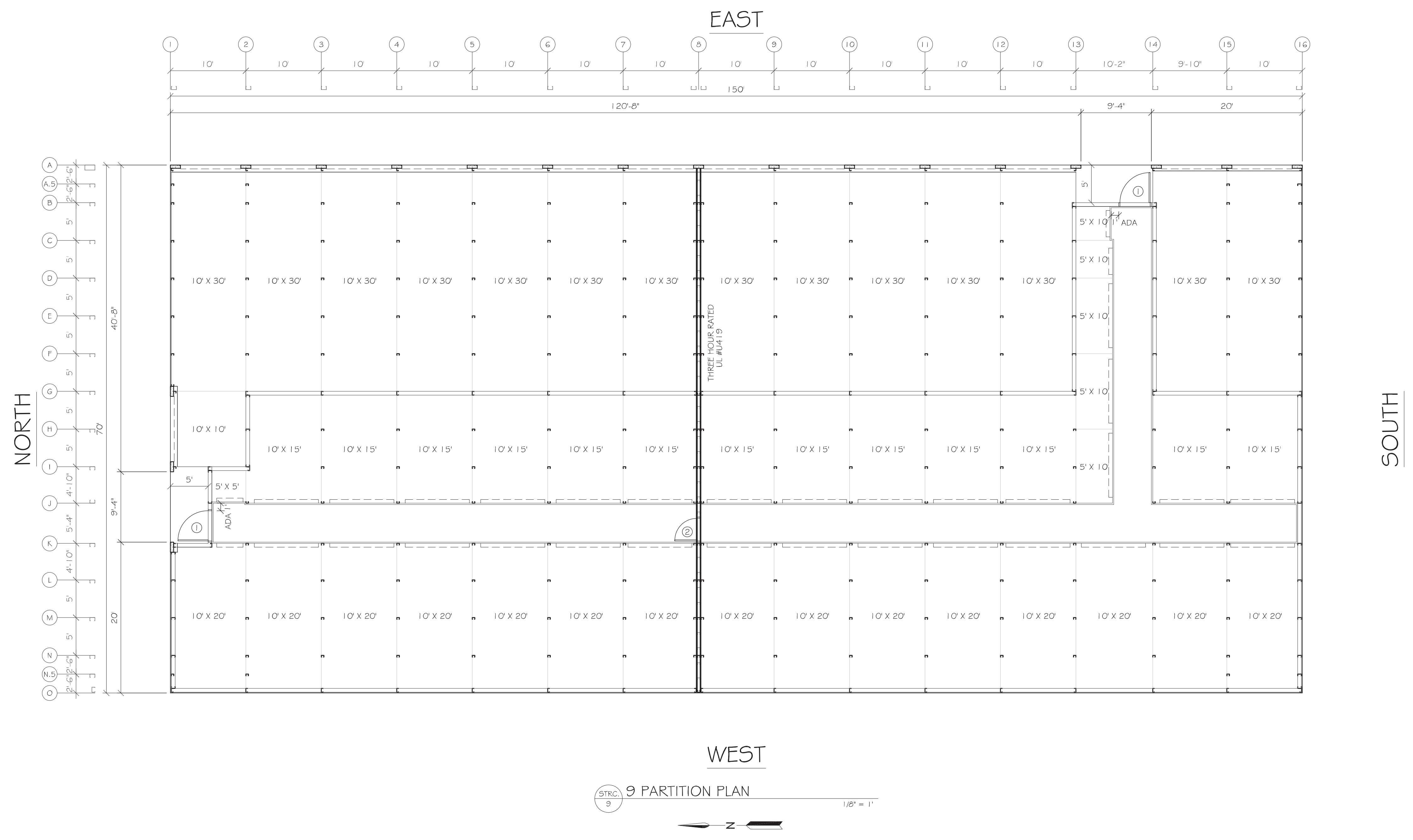


STATE OF OHIO
ROBERT MICHAEL BEATTIE
REGISTERED PROFESSIONAL ENGINEER
68846
6-26-20

ROBERT M. BEATTIE, PE
1275 25th Street, Cincinnati, OH 45202
513-763-1111
www.rabco.com
RABCO METAL BUILDING SYSTEMS, INC.
10411 Crown Park Circle, Winter Garden, FL 34787
800-389-0220
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10411 Crown Park Circle, Winter Garden, FL 34787
800-389-0220

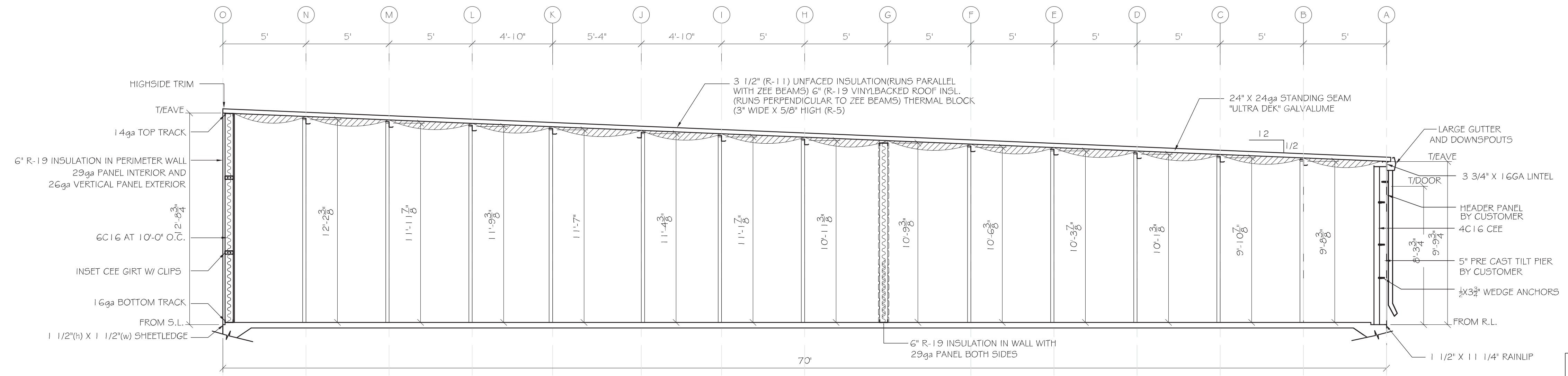
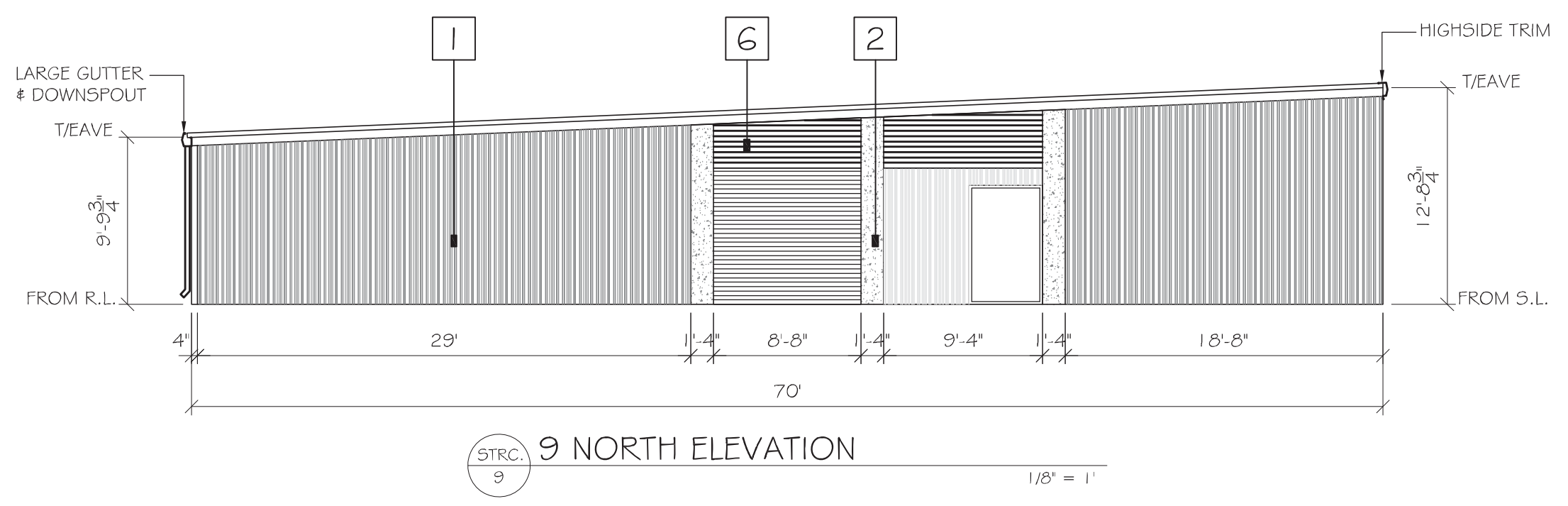
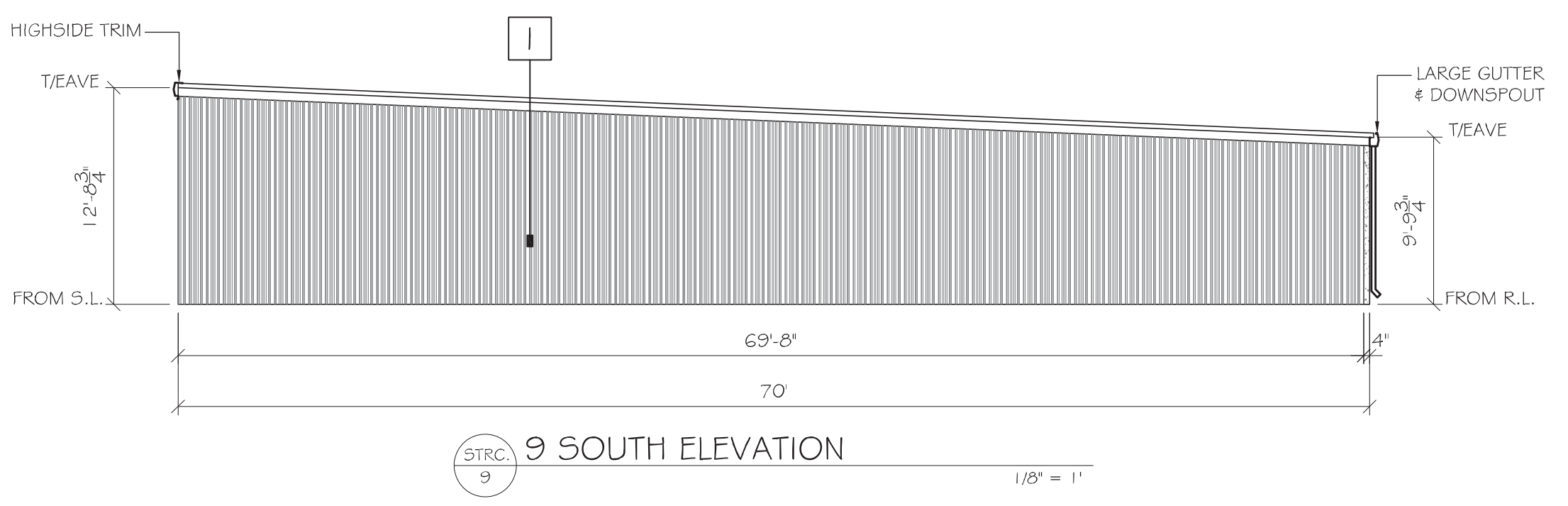
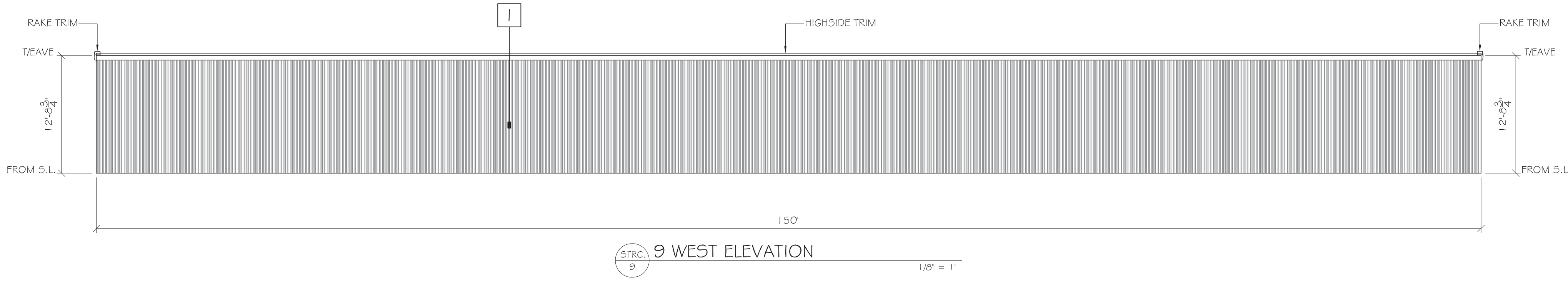
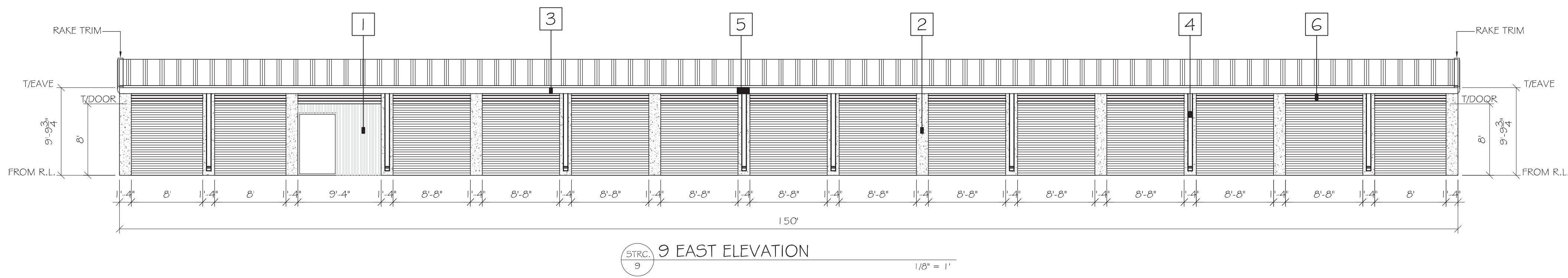
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MNG	04-01-2020
SCALE	AS NOTED
JOB NUMBER	2293
FILE NAME	2293-STR.DWG
SHEET	

S-1



LINE KEY	
	HORIZONTAL PARTITION PANEL 29GA GALVALUME TYPE "U"
	HALL WAY SYSTEM
	6" R-19 INSULATION IN PERIMETER WALL 29GA PANEL INTERIOR AND 26GA VERTICAL PANEL EXTERIOR
	6" R-19 INSULATION IN WALL WITH 29GA PANEL BOTH SIDES
	THREE HOUR RATED SEPERATION WALL UL #U-419

DOOR SCHEDULE	
①	4'-0" x 7'-0" EXTERIOR GLASS DOOR (BY OTHERS)
②	4'-0" x 7'-0" FIRE RATED DOOR (3 HOUR RATED) WITH HEAVY THRESHOLD (BY RABCO)



TYPICAL PIER AND HEADER UNLESS INDICATED OTHERWISE
 PIER TEX COTE - TILT UP PIER (BY OTHERS)
 SIDE WALL HEADER - TILT UP HEADER (BY OTHERS)

24ga STANDING SEAM ROOF
 "ULTRA DEK" - GALVALUME

LARGE DOWNSPOUTS 20' O.C. MAX.
 LARGE GUTTER EXP. BOX 90' O.C. MAX.

ELEVATION KEY	
1	PBR 26 GAUGE VERTICAL PANEL
2	TILT UP PIER & HEADER (BY OTHERS)
3	LARGE GUTTER
4	LARGE DOWNSPOUT
5	EXPANSION BOX
6	HEADER BY DOOR PROVIDER

NOTES:
 ALL MAIN DOORS, ROLL-UP DOORS, SLIDING GLASS DOORS, WINDOWS AND TRANSOMS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION TO ENSURE PROPER FIT. G.C./SUBCONTRACTOR SHALL NOT FABRICATE FROM THE CONSTRUCTION DOCUMENTS. SHOULD THE G.C./SUBCONTRACTOR CHOOSE TO FABRICATE THE PREVIOUSLY REFERENCED ITEMS FROM THE CONTRACT/PROPOSAL DOCUMENTS AND NOT FROM THE FIELD THEY DO SO AT THEIR OWN RISK AND ANY AND ALL MODIFICATIONS REQUIRED AS A RESULT SHALL BE AT THEIR OWN EXPENSE.

NOTE:
 GC SHALL COORDINATE ALL TCMU WALL HEIGHTS WITH RABCO ENTERPRISES, LLC PRIOR TO CONSTRUCTION TO ENSURE PROPER FIT OF THE METAL BUILDING COMPONENTS. FAILURE TO GET WRITTEN APPROVAL PRIOR TO ERECTING THE CMU WALLS MAY RESULT IN NEEDED MODIFICATIONS TO EITHER THE CMU WALL AND/OR THE METAL BUILDING COMPONENTS AT THE G.C.'S EXPENSE.

MARKUPS		
#	DATE	BY

REVISIONS		
#	DATE	BY

STRUCTURE 9
 ELEVATIONS & SECTION

BLUE ASH SELF STORAGE
 PHASE 4
 8915 BLUE ASH RD
 CINCINNATI, OH 45242

DRAWING IS UNLESS OTHERWISE NOTED
 DRAWING MANUFACTURING REQUIRE

ROBERT M. BEATTIE, PE
 10411 CROWN PARK, CIRCLE WINTER GARDEN, FL 34757
 800-589-0220, 407-877-9065
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF OHIO
 REGISTRATION NO. 68846
 EXPIRES 06/30/2020

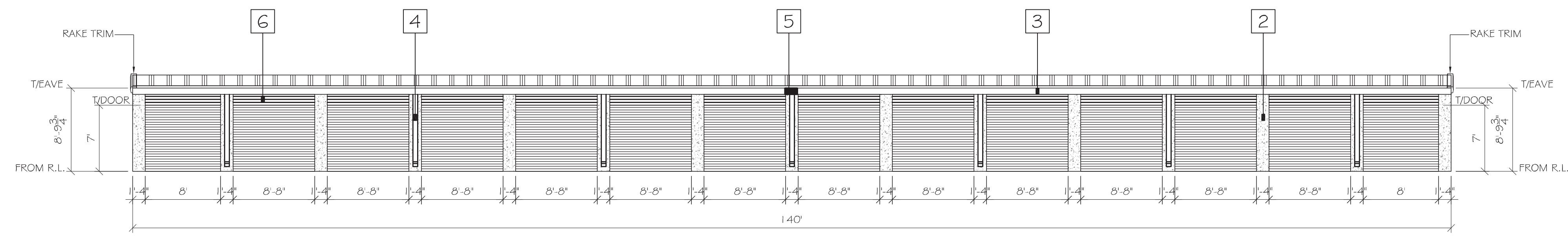
DRAWN BY	DATE
MFG	04-01-2020
SCALE	AS NOTED
JOB NUMBER	2293
FILE NAME	2293 STR.DWG
SHEET	

S-1-4

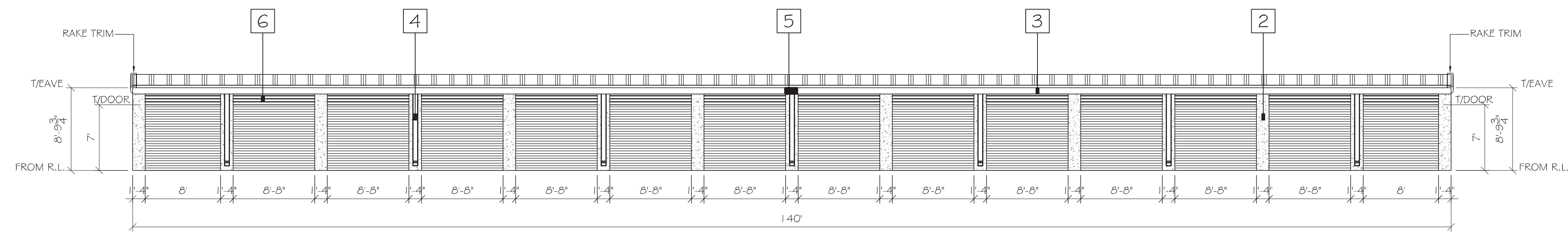
NOTE:
 VERTICAL COLUMN DIMENSION IS ACTUAL LENGTH OF CEE FROM F.F.

SECTION A-A
 SCALE: 1/4" = 1'

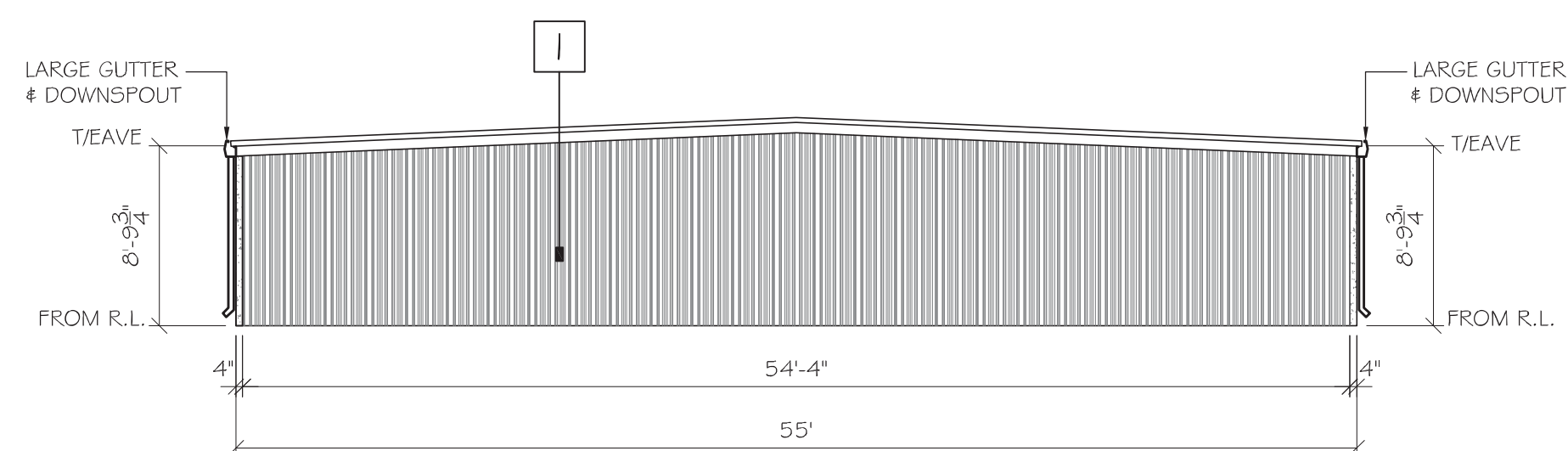
NOTES:
 1. UNLESS NOTED OTHERWISE ON THE PLANS, THE FOLLOWING OUTLINES STANDARD PARTITION HEIGHTS USED FOR DESIGN PURPOSES.
 2. NON-GLASS CONTROLLED INSULATION BUILDINGS HAVE BEEN DESIGNED BASED ON THE TOP OF ALL INTERIOR PARTITION PANELS BEING HELD TO WITHIN 4" OF THE BOTTOM OF THE ROOF DECK.
 3. GLASS CONTROLLED INSULATION BUILDINGS HAVE BEEN DESIGNED BASED ON THE TOP OF ALL INTERIOR PARTITION PANELS BEING HELD TO WITHIN 4" OF THE BOTTOM OF THE ROOF DECK.
 4. GLASS CONTROLLED INSULATION BUILDINGS HAVE BEEN DESIGNED BASED ON THE TOP OF ALL INTERIOR PARTITION PANELS BEING HELD TO WITHIN 4" OF THE BOTTOM OF THE ROOF DECK.
 5. SHOULD THE PARTITION PANELS BE HELD TO THE HEAD DOWN PIER FROM THE BOTTOM OF THE FLOOR/ROOF DECK, THE REQUESTOR SHALL BE SUBMITTED IN WRITING AND A FORMAL WRITTEN RESPONSE PROVIDED PRIOR TO FABRICATION AND/OR RESTITUTION.



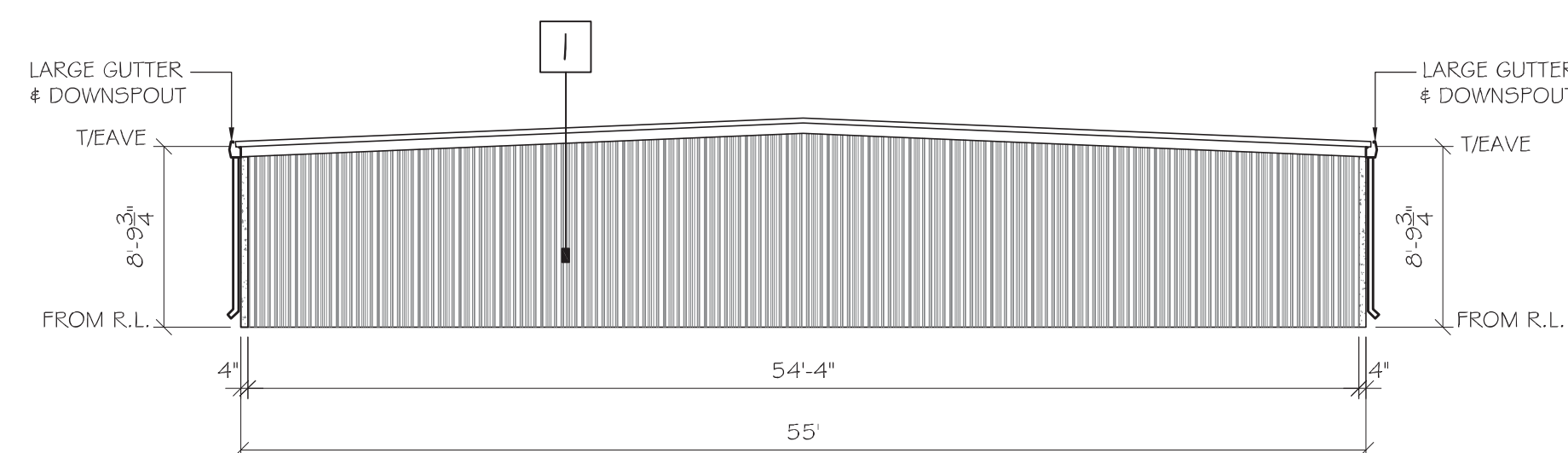
STRUC. 10 SOUTH ELEVATION
1/8" = 1'



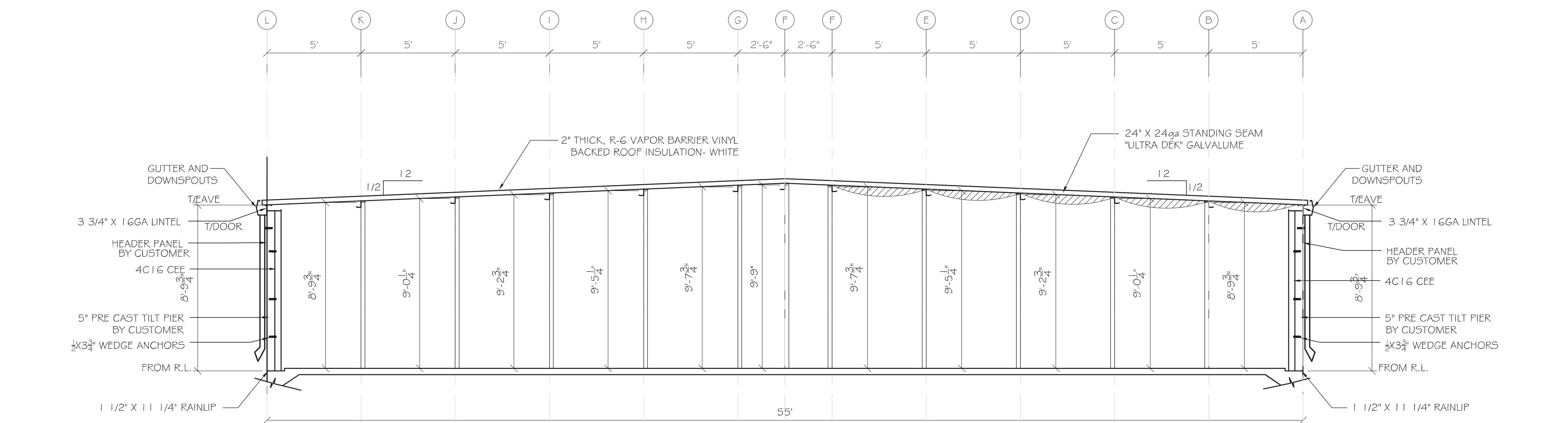
STRUC. 10 NORTH ELEVATION
1/8" = 1'



STRUC. 10 EAST ELEVATION
1/8" = 1'



STRUC. 10 WEST ELEVATION
1/8" = 1'



SECTION B-B
SCALE: 1/4" = 1'

NOTE:
VERTICAL COLUMN DIMENSION IS
ACTUAL LENGTH OF CEE FROM F.F.

TYPICAL PIER AND HEADER UNLESS INDICATED OTHERWISE
PIER TEX COTE - TILT UP PIER (BY OTHERS)
SIDE WALL HEADER - TILT UP HEADER (BY OTHERS)

24ga STANDING SEAM ROOF
"ULTRA DEK" - GALVALUME

LARGE DOWNSPOUTS 20' O.C. MAX.
LARGE GUTTER EXP. BOX 90' O.C. MAX.

ELEVATION KEY	
1	PBR 26 GAUGE VERTICAL PANEL
2	TILT UP PIER & HEADER (BY OTHERS)
3	LARGE GUTTER
4	LARGE DOWNSPOUT
5	EXPANSION BOX
6	HEADER BY DOOR PROVIDER

NOTES:
ALL MAIN DOORS, ROLL-UP DOORS, SLIDING GLASS DOORS, WINDOWS AND TRANSOMS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION TO ENSURE PROPER FIT. G.C./SUBCONTRACTOR SHALL NOT FABRICATE FROM THE CONSTRUCTION DOCUMENTS. SHOULD THE G.C./SUBCONTRACTOR CHOOSE TO FABRICATE THE PREVIOUSLY REFERENCED ITEMS FROM THE CONTRACT/PROPOSAL DOCUMENTS AND NOT FROM THE FIELD THEY DO SO AT THEIR OWN RISK AND ANY AND ALL MODIFICATIONS REQUIRED AS A RESULT SHALL BE AT THEIR OWN EXPENSE.

NOTE:
GC SHALL COORDINATE ALL TCMU WALL HEIGHTS WITH RABCO ENTERPRISES, LLC PRIOR TO CONSTRUCTION TO ENSURE PROPER FIT OF THE METAL BUILDING COMPONENTS. FAILURE TO GET WRITTEN APPROVAL PRIOR TO ERECTING THE CMU WALLS MAY RESULT IN NEEDED MODIFICATIONS TO EITHER THE CMU WALL AND/OR THE METAL BUILDING COMPONENTS AT THE G.C.'S EXPENSE.

MARKUPS			
#	DATE	BY	ISSUE

REVISIONS			
#	DATE	BY	ISSUE

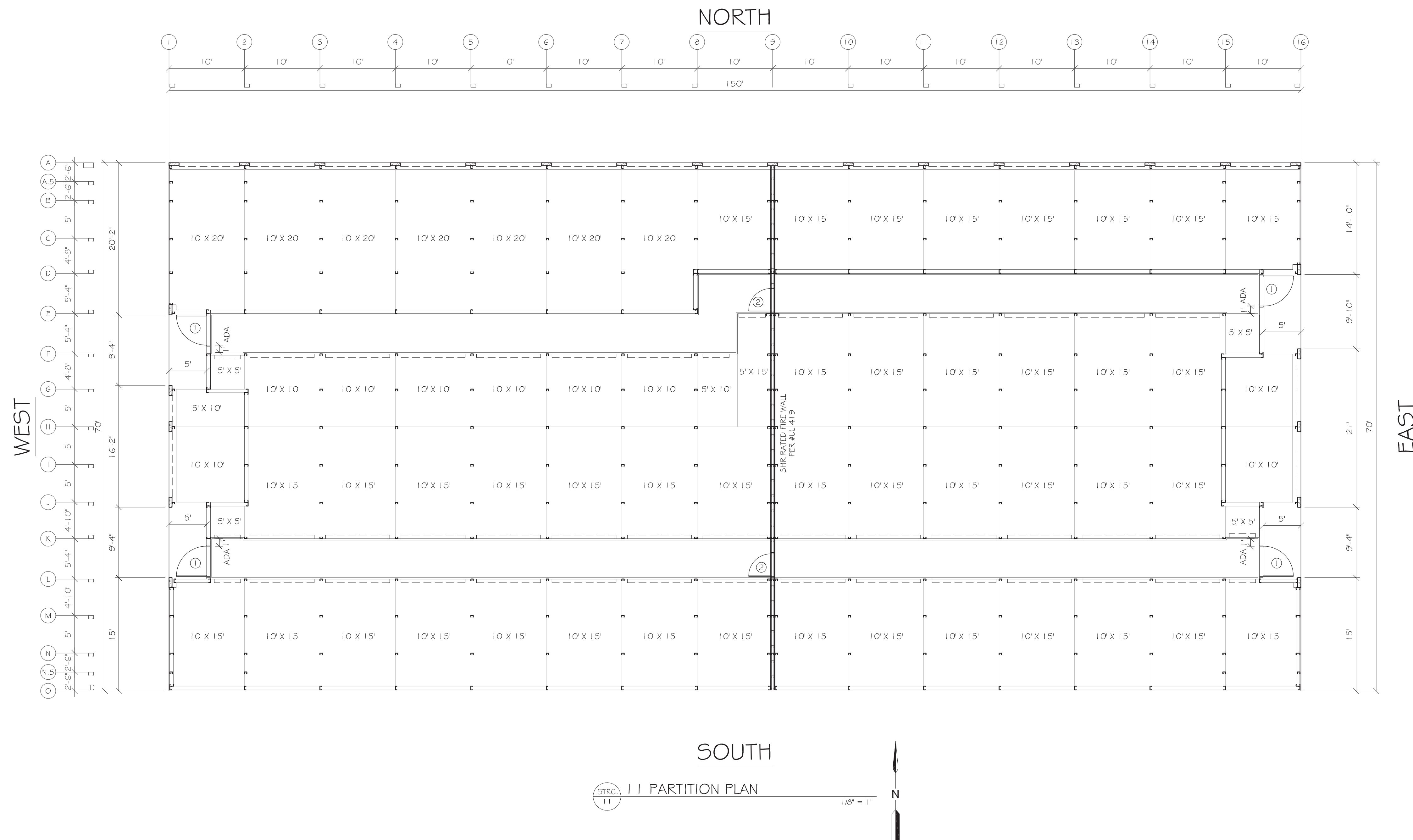
STRUCTURE 10
ELEVATIONS & SECTION

BLUE ASH SELF STORAGE
PHASE 4
8915 BLUE ASH RD
CINCINNATI, OH 45242

DRAWING SHALL BE FINAL, UNLESS INDICATED OTHERWISE
BY THE PROJECT MANAGER

ROBERT M. BEATTIE, PE LICENSED PROFESSIONAL ENGINEER STATE OF OHIO LICENSE NO. 68846 EXPIRES 06/30/2024	DATE 04-01-2020
DRAWN BY MFG	SCALE AS NOTED
JOB NUMBER 2293	FILE NAME 2293-STR.DWG
SHEET	S-2-4

NOTES:
1. UNLESS NOTED OTHERWISE ON THE PLANS, THE FOLLOWING OUTLINES STANDARD PARTITION HEIGHTS USED FOR DESIGN PURPOSES.
2. NON-COMMERCIAL CONTROLLED-ACCESS ENTRY BUILDINGS HAVE BEEN DESIGNATED BASED ON THE TOP OF ALL INTERIOR PARTITION PANELS BEING HELD TO WITHIN 4" OF THE BOTTOM OF THE ROOF DECK.
3. COMMERCIAL CONTROLLED-ACCESS ENTRY BUILDINGS HAVE BEEN DESIGNATED BASED ON THE TOP OF ALL INTERIOR PARTITION PANELS BEING HELD TO WITHIN 4" OF THE BOTTOM OF THE ROOF DECK.
4. COMMERCIAL CONTROLLED-ACCESS ENTRY BUILDINGS HAVE BEEN DESIGNATED BASED ON THE TOP OF ALL INTERIOR PARTITION PANELS BEING HELD TO WITHIN 4" OF THE BOTTOM OF THE ROOF DECK.
5. SHOULD THE PARTITION PANELS NEED TO BE HELD DOWN FURTHER FROM THE BOTTOM OF THE ROOF DECK, THE SUBMITTER SHALL BE SUBMITTED IN WRITING AND A FORMAL WRITTEN RESPONSE PROVIDED PRIOR TO FABRICATION AND/OR INSTALLATION.



STR. 11 PARTITION PLAN
1/8" = 1'

MARKUPS			
#	DATE	BY	ISSUE

REVISIONS			
#	DATE	BY	ISSUE

STRUCTURE 11
PARTITION PLAN

BLUE ASH SELF STORAGE
PHASE 4
8915 BLUE ASH RD
CINCINNATI, OH 45242

DIMENSIONS MULTIPLE FINAL APPROVED
 FINISHED MANUFACTURE

RABCO
INNOVATIVE METAL BUILDING SYSTEMS
10411 CROWN PARK, CIRCLE WINTER GARDEN, FL 34787
800-389-0220 CBC058975 FAX: 407-877-9065

STATE OF OHIO
ROBERT MICHAEL BEATTIE
68849
REGISTERED
PROFESSIONAL ENGINEER
6-26-20

LINE KEY	
	HORIZONTAL PARTITION PANEL 29GA GALVALUME TYPE 'U'
	HALL WAY SYSTEM
	6' R-19 INSULATION IN PERIMETER WALL 29GA PANEL INTERIOR AND 26GA VERTICAL PANEL EXTERIOR
	6' R-19 INSULATION IN WALL WITH 29GA PANEL BOTH SIDES
	THREE HOUR RATED SEPERATION WALL UL #U419

DOOR SCHEDULE	
①	4'-0" x 7'-0" EXTERIOR GLASS DOOR (BY OTHERS)
②	4'-0" x 7'-0" FIRE RATED DOOR (BY RABCO)

ROBERT M. BEATTIE, PE
 1000 W. WILSON AVE., SUITE 200, WILSON, OH 45394
 513-333-1111
 1000 W. WILSON AVE., SUITE 200, WILSON, OH 45394
 513-333-1111
 1000 W. WILSON AVE., SUITE 200, WILSON, OH 45394
 513-333-1111

DRAWN BY	DATE
MFG	04-01-2020
SCALE	AS NOTED
JOB NUMBER	2293
FILE NAME	2293-STR.DWG
SHEET	

Date: FEB. 18, 2020

Scale: 1" = 50'

Job No:

Revisions

No.	Date

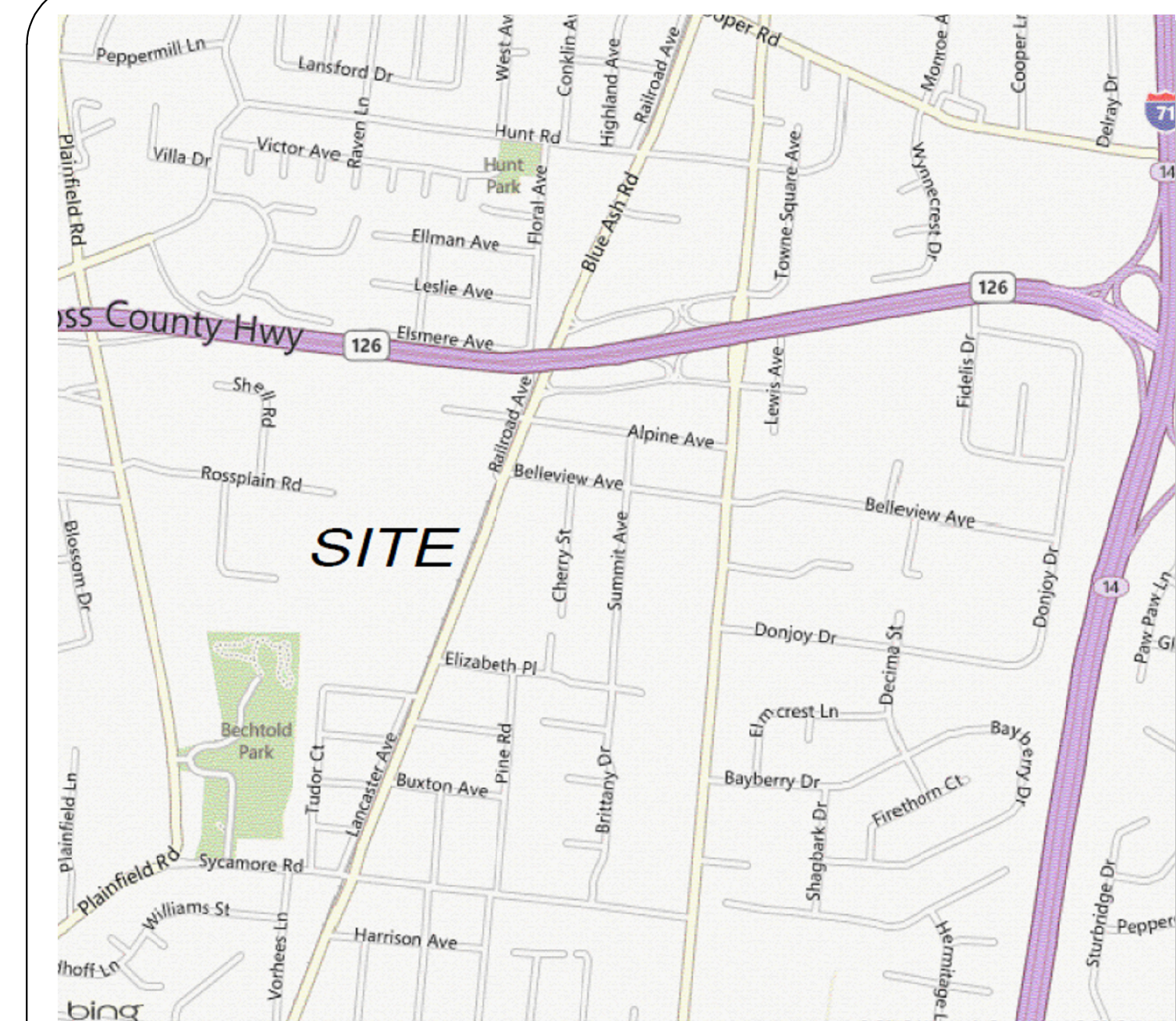
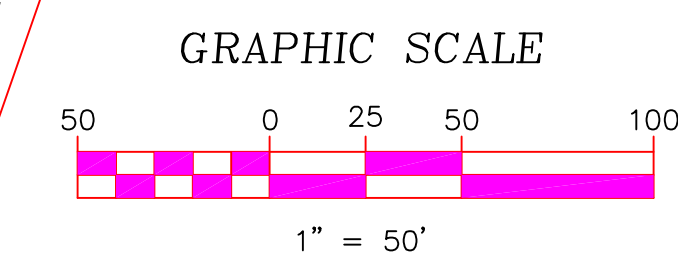
PHASE 2 - BLUE ASH STORAGE

7/17/2020

Applicant - Blue Ash Self Storage

Owner - Blue Ash Self Storage

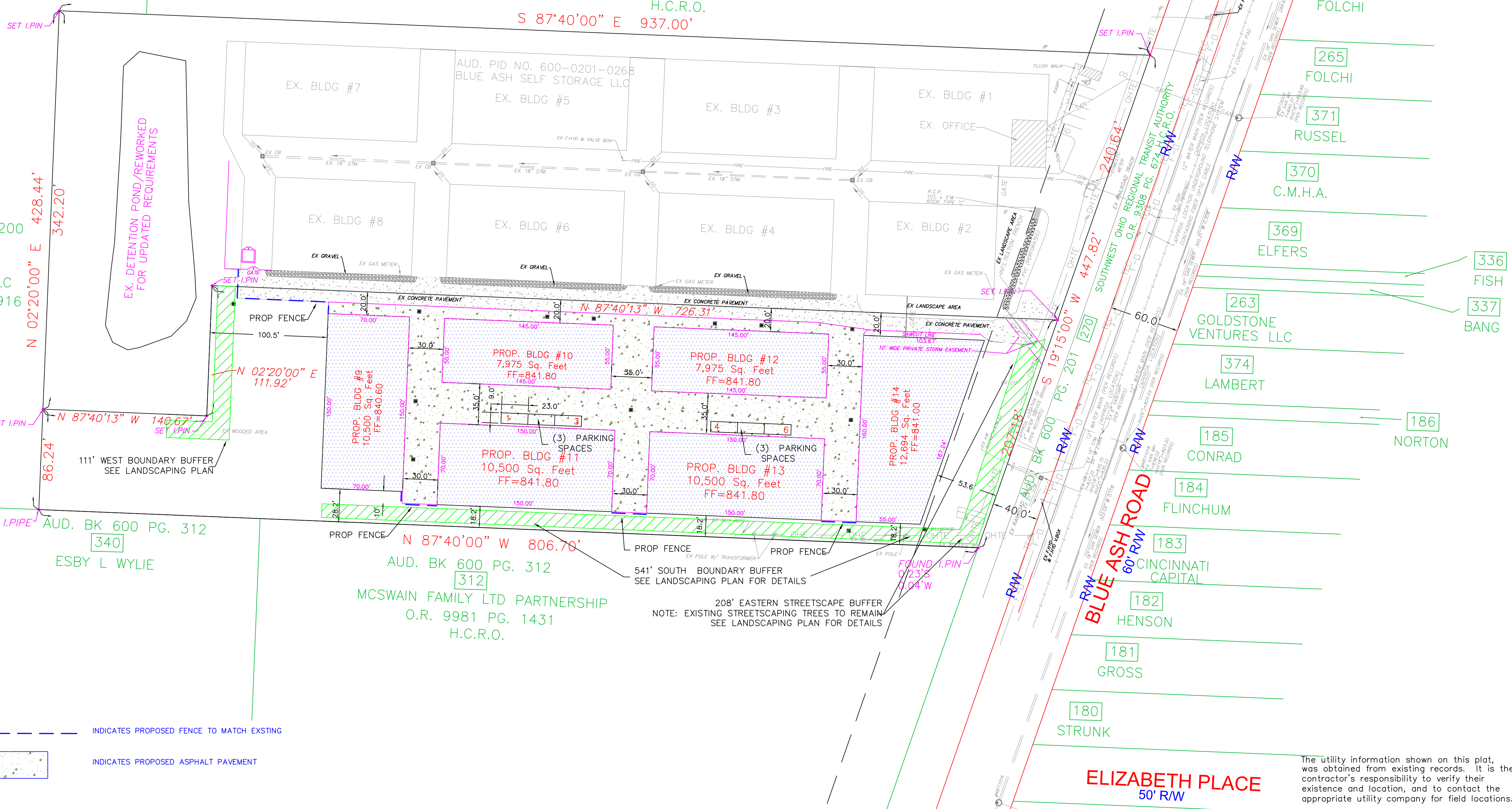
- Gross area - 3,4460 A / 150,106.9832 SF
- Existing and Proposed Use - Light Industrial "F" - Storage/mini warehouse
- Gross Floor area - 60,144 SF
- Parking 3+1 per 100 Units
- 134 units phase IIA / 100 units Phase IIB = 234 Units
- Total required -3+2.4 = 6 // 6 provided
- ISR
- lot 150,106.9832 SF
- Buildings 60,144.0000 SF
- Drives 37,308.8231 SF
- Total Impervious 97,452.8231 SF
- ISR 97,452.8231/150,106.9832 = .64%



VICINITY MAP
NOT TO SCALE

AUD. BK 600 PG. 201
[311]
EASTERN SHEET METAL HOLDING COMPANY INC.
O.R. 10374 PG. 1251
H.C.R.O.
S 87°40'00" E 937.00'

AUD. BK 600 PG. 200
[217]
SS BLUE ASH LLC
O.R. 10478 PG. 1916
H.C.R.O.



Proposed Features plan

PHASE 2

ADDRESS: 8915 BLUE ASH ROAD
GRASSCORN LAWN AND LANDSCAPING, LLC.
SECTION 14, TOWN 4, ENTIRE RANGE 1
SYCAMORE TOWNSHIP
HAMILTON COUNTY, OHIO

Drawn By: KK

The utility information shown on this plat, was obtained from existing records. It is the contractor's responsibility to verify their existence and location, and to contact the appropriate utility company for field locations.