

**SYCAMORE TOWNSHIP, OH**  
DEPARTMENT OF PLANNING & ZONING  
8540 KENWOOD ROAD, CINCINNATI, OH 45236  
513.792.7250 PHONE 513.792.8571 FAX

**ZONING COMMISSION APPLICATION**

**FEES:**

ZONE CHANGE	\$1,000	MINOR ADJUSTMENT TO A PUD	\$200
PUD I	\$1,000	MAJOR ADJUSTMENT TO A PUD	\$1,000
PUD II	\$1,200	MINOR ADJUSTMENT TO LASR	\$200
LASR	\$1,000	MAJOR ADJUSTMENT TO LASR	\$1,000

THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN

**APPLICATION NUMBER**

2021-02MA

DO NOT WRITE IN THIS SPACE

**1. PROJECT ADDRESS:** 8495 Vorhees Lane (The Oaks of Kenwood) **ZIP CODE:** 45236

2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER
OWNER Kugler Mill Square LLC	3053 Madison Road	Cincinnati	OH	45209	513-616-9516
CONTRACTOR To Be Determined					
DESIGNER Bayer Becker	1404 Race Street, Suite 204	Cincinnati	OH	45202	513-336-6600
APPLICANT Kugler Mill Square LLC	3053 Madison Road	Cincinnati	OH	45209	513-616-9516
APPLICANTS E-MAIL ADDRESS koppenhoefer@gmail.com					

**3. ZONING COMMISSION ACTION REQUESTED:**

ZONE CHANGE ☐ FROM ZONE \_\_\_\_\_ TO ZONE \_\_\_\_\_

PUD I ☐ PUD II ☐ LASR ☐

MAJOR ADJUSTMENT TO A PUD ☒ MINOR ADJUSTMENT TO A PUD ☐

MAJOR ADJUSTMENT TO A LASR ☐ MINOR ADJUSTMENT TO A LASR ☐

**4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:**

The existing property consists of 2.5 story multi-family apartment buildings and 2 story townhomes.

The proposed uses for the property consist of 2 and 3 story multi-family apartment buildings.


**5. SQUARE FEET:** \_\_\_\_\_ **6. USE:** Multi-Family **7. HEIGHT:** 2 and 3 story

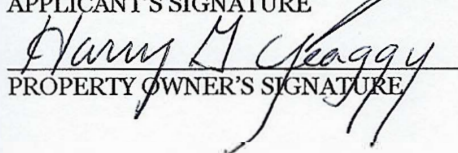
**8. EST. START DATE:** \_\_\_\_\_ **9. EST. FINISH DATE:** \_\_\_\_\_ **10. # OF SIGNS:** \_\_\_\_\_

THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Zoning Commission application.

**NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.**

  
APPLICANT'S SIGNATURE  
DATE 2/19/21

  
PROPERTY OWNER'S SIGNATURE  
DATE 2-19-21

February 16, 2021

Skylor Miller, Planning & Zoning Administrator  
Sycamore Township  
8540 Kenwood Road  
Sycamore Township, Ohio 45236

Dear Skylor,

This project narrative and letter of intent is in reference to the proposed Oaks of Kenwood infill development located at 8495 Vorhees Lane, formerly known as Kugler Mill Square Apartments, in Sycamore Township, Hamilton County, Ohio (Approximately 7.0476 acres). Included with this narrative is the signed application, required application fee, and required plan documents per the application check list.

The existing zoning designation of DD Planned Multiple Residence with a Specific PUD (S-PUD) overlay shall remain the same. The applicant is requesting a Major Adjustment to the PUD. The surrounding zoning is predominately single-family residential, with some light industrial to the east. The current Sycamore Township future land use plan designates this property, as well as surrounding properties, as "mixed-use."

The existing site currently has 68 total units which includes 66 apartments and 2 townhomes. This submittal proposes that the 2 townhomes be demolished, and 52 new apartments be constructed for a total of 118 apartment units (16.74 units per acre). The existing buildings to remain are 2.5 stories, and the proposed buildings range between two and three stories in height.

We believe the proposed project improves the quality of the community. While the development increases the overall density, it also utilizes the land in a more efficient manner, improves both vehicular and pedestrian circulation, and centralizes the open space and amenity area. The proposed plan maintains a minimum 40 foot building setback along all boundary lines as well as a minimum 10 foot perimeter buffer for landscaping enhancements. Existing trees, including two mature and healthy oak trees in the center of the community, will be preserved wherever possible.

The applicant is requesting that this application be accepted by the Sycamore Township Planning & Zoning Department and placed on the agenda for the March 8, 2021 Sycamore Township Zoning Commission meeting.

Thank you for your time and consideration and we look forward to working with you. In the meantime, if you have any questions please feel free to contact me.

Sincerely,

A handwritten signature in blue ink that reads 'Alex Betsch'.

Alex Betsch, AICP, Senior Planner  
Bayer Becker

Date: February 12, 2021  
Description: Kugler Mill Square Apartments  
Rezoning  
Location: City of Cincinnati  
Hamilton County, Ohio



Situated in Section 14, Town 4, Entire Range 1 Between the Miamis, Sycamore Township, Hamilton County, Ohio and being part of Kugler Mill Square, LLC as recorded in Official Record 14093, Page 529 of the Hamilton County, Ohio Recorder's Office, containing 7.0476 acres to be rezoned and being further described as follows:

Begin at a point found by measuring from the southeast corner of lot 9 of Buttonwood Acres Subdivision as recorded in Plat Book 4, Page 79, said corner being on the terminus of Beech Avenue and being the True Point of Beginning;

thence, from the True Point of Beginning, departing said terminus and with the east line of said Buttonwood Acres Subdivision, North 05° 49' 47" East, 544.15 feet;

thence, South 82° 15' 13" East, 722.36 feet to the centerline of Vorhees Lane;

thence, with said centerline, South 05° 45' 47" West, 190.31 feet;

thence, departing said centerline, North 84° 14' 13" West, 25.00 feet;

thence, with a curve to the left, having a central angle of 88° 01' 00", a radius of 12.50 feet, an arc length of 19.20 feet, and a chord bearing North 38° 14' 43" West, 17.37 feet;

thence, North 82° 15' 13" West, 197.92 feet;

thence, South 05° 45' 47" West, 123.50 feet;

thence, South 09° 28' 15" West, 40.92 feet;

thence, South 05° 49' 47" West, 200.64 feet to the north line of Beechwood, Section A, First Addition as recorded in Plat Book 16, Page 85 ;

thence, with the north line of said Beechwood, Section A, First Addition, North 82° 15' 13" West, 485.10 feet to the True Point of Beginning containing 7.0476 acres.

Basis of Bearings: NAD83(2011) Ohio State Plane Coordinates, South Zone (3402).

The above description was prepared from a rezoning plat made on February 12, 2021 under the direction of Jeffrey O. Lambert, Professional Surveyor #7568 in the State of Ohio.



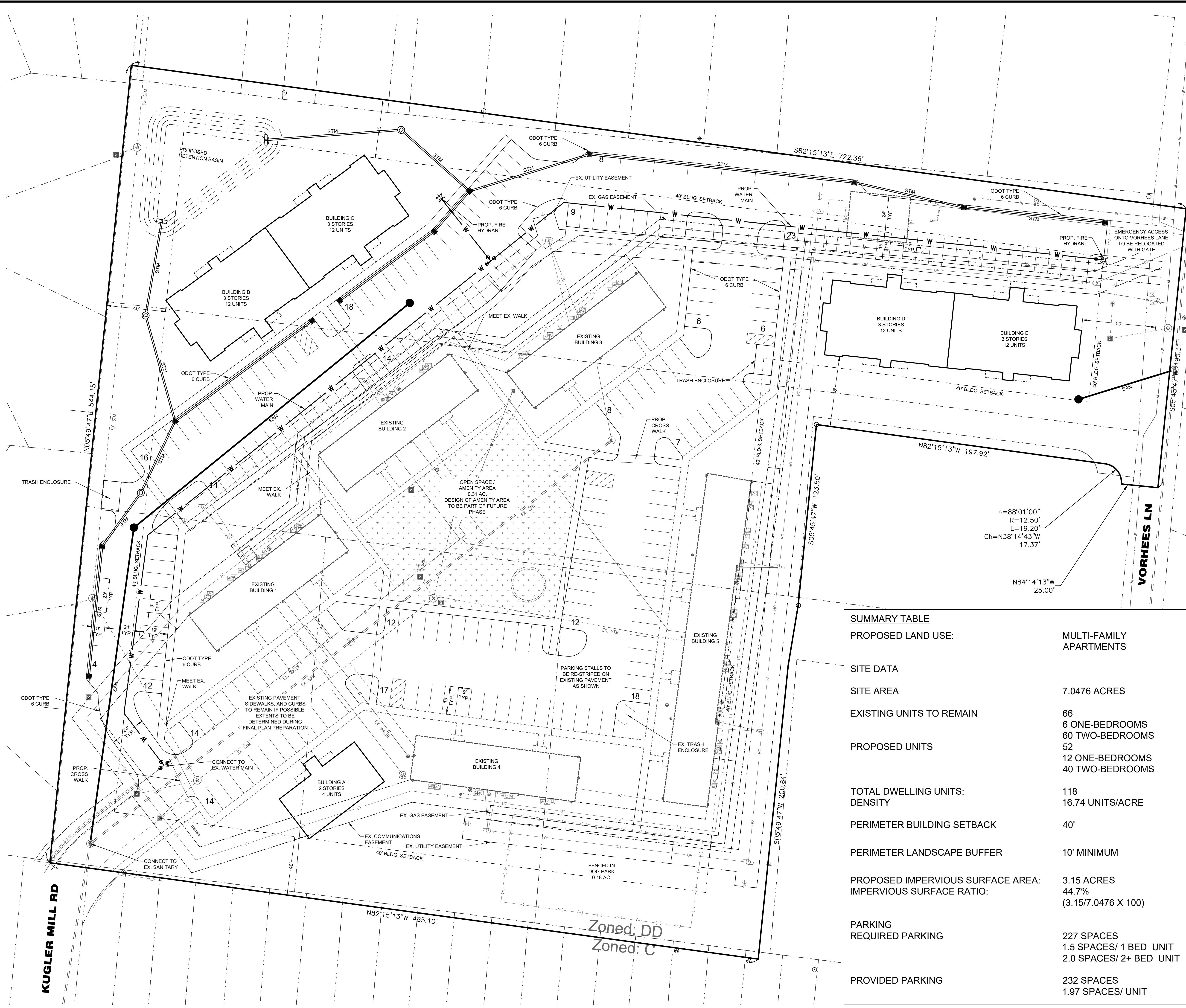












<u>SUMMARY TABLE</u>	
PROPOSED LAND USE:	MULTI-FAMILY APARTMENTS
<u>SITE DATA</u>	
SITE AREA	7.0476 ACRES
EXISTING UNITS TO REMAIN	66 6 ONE-BEDROOMS 60 TWO-BEDROOMS
PROPOSED UNITS	52 12 ONE-BEDROOMS 40 TWO-BEDROOMS
TOTAL DWELLING UNITS: DENSITY	118 16.74 UNITS/ACRE
PERIMETER BUILDING SETBACK	40'
PERIMETER LANDSCAPE BUFFER	10' MINIMUM
PROPOSED IMPERVIOUS SURFACE AREA: IMPERVIOUS SURFACE RATIO:	3.15 ACRES 44.7% (3.15/7.0476 X 100)
<u>PARKING</u>	
REQUIRED PARKING	227 SPACES 1.5 SPACES/ 1 BED UNIT 2.0 SPACES/ 2+ BED UNIT
PROVIDED PARKING	232 SPACES 1.97 SPACES/ UNIT

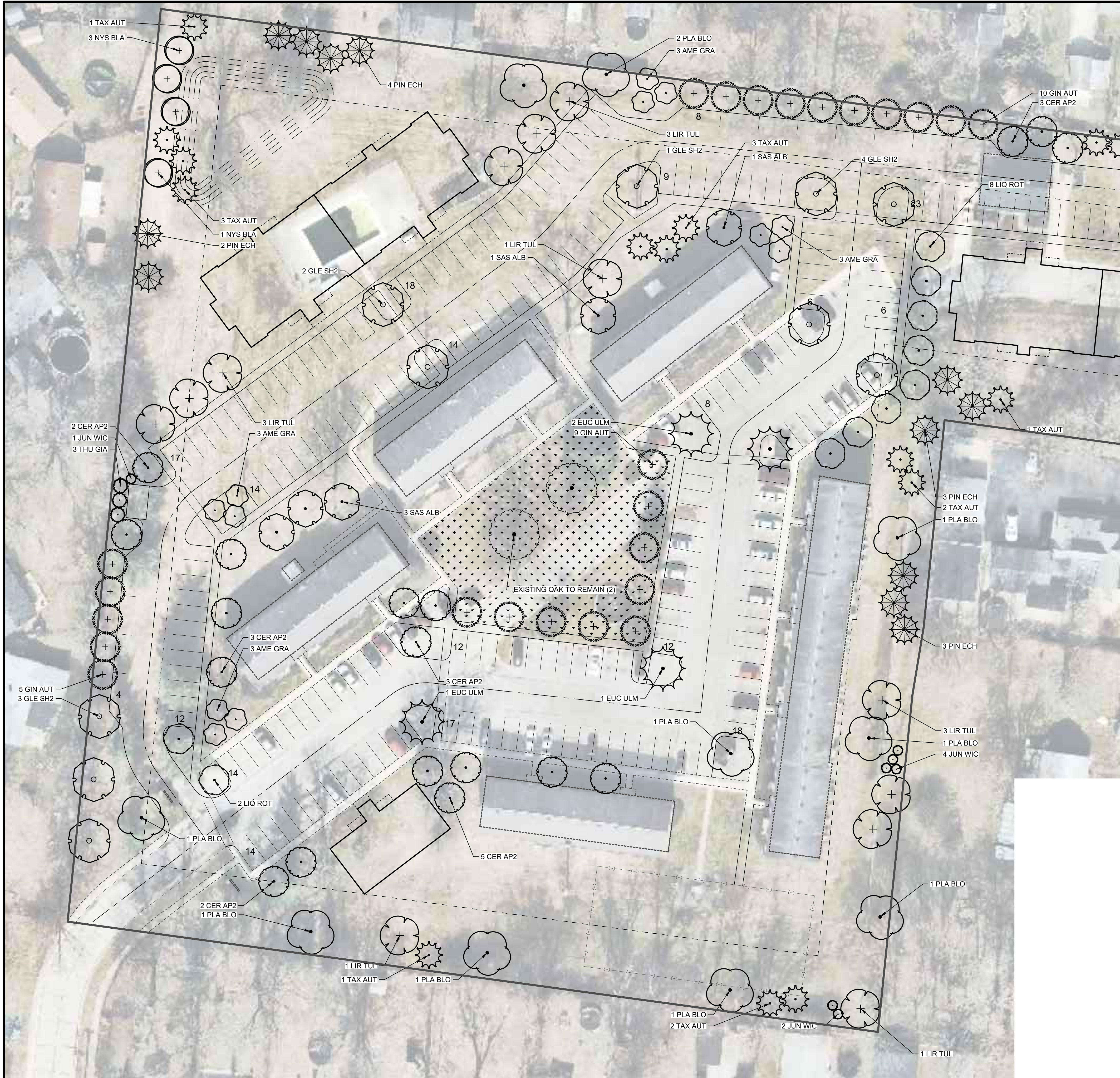












**ZONING CALCULATIONS**

SYCAMORE TOWNSHIP, OH

CURRENT ZONING: DD-PLANNED MULTIPLE RESIDENCE  
PROPOSED ZONING: S-PUD OVERLAY  
ADJACENT ZONING: C-SINGLE FAMILY

**CHAPTER 12 - PARKING LOT LANDSCAPING**

- 3 CANOPY TREES REQUIRED PER 10 SPACES
- FOR EVERY CANOPY TREE REQUIRED, 3 SHRUBS ARE REQUIRED

$(233 \text{ SPACES} / 10) \times 3 = 70 \text{ CANOPY TREES}$   
 $70 \text{ CANOPY TREES} \times 3 = 210 \text{ SHRUBS}$

**CHAPTER 14 - PERIMETER LANDSCAPING**

**STREETSCAPE**

STREETSCAPE BUFFER (25'+ WIDE)

- 1.9 CANOPY TREES / 100 LF
- 5 SHRUBS / 100 LF

$(191 \text{ LF} / 100) \times 1.9 = 4 \text{ REQUIRED TREES}$   
 $(191 \text{ LF} / 100) \times 5 = 10 \text{ REQUIRED SHRUBS}$

**NORTH PERIMETER**

BUFFER A (10-15' WIDE)

- 5 CANOPY TREES / 100 LF
- 15 SHRUBS / 100 LF

$(452 \text{ LF} / 100) \times 5 = 23 \text{ TREES}$   
 $(452 \text{ LF} / 100) \times 15 = 68 \text{ SHRUBS}$

BUFFER A (25'+ WIDE)

- 2 CANOPY TREES / 100 LF
- 7 SHRUBS / 100 LF

$(256 \text{ LF} / 100) \times 2 = 6 \text{ TREES}$   
 $(256 \text{ LF} / 100) \times 7 = 18 \text{ SHRUBS}$

**WEST PERIMETER**

BUFFER A (10-15' WIDE)

- 5 CANOPY TREES / 100 LF
- 15 SHRUBS / 100 LF

$(182 \text{ LF} / 100) \times 5 = 10 \text{ TREES}$   
 $(182 \text{ LF} / 100) \times 15 = 28 \text{ SHRUBS}$

BUFFER A (25'+ WIDE)

- 2 CANOPY TREES / 100 LF
- 7 SHRUBS / 100 LF

$(346 \text{ LF} / 100) \times 2 = 7 \text{ TREES}$   
 $(346 \text{ LF} / 100) \times 7 = 25 \text{ SHRUBS}$

**EAST PERIMETER**

BUFFER A (25'+ WIDE)

- 2 CANOPY TREES / 100 LF
- 7 SHRUBS / 100 LF

$(816 \text{ LF} / 100) \times 2 = 17 \text{ TREES}$   
 $(816 \text{ LF} / 100) \times 7 = 58 \text{ SHRUBS}$

**SOUTH PERIMETER**

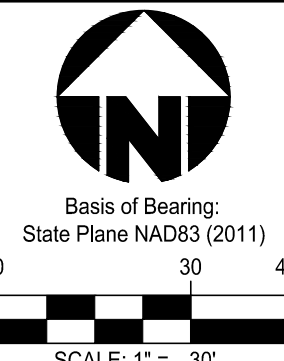
BUFFER A (25'+ WIDE)

- 2 CANOPY TREES / 100 LF
- 7 SHRUBS / 100 LF

$(450 \text{ LF} / 100) \times 2 = 9 \text{ TREES}$   
 $(450 \text{ LF} / 100) \times 7 = 32 \text{ SHRUBS}$

**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
EUC ULM	4	Eucommia ulmoides	Hardy Rubber Tree	B & B	2.0" Cal
GIN AUT	24	Ginkgo biloba 'Autumn Gold' TM	Maidenhair Tree	B & B	2.0" Cal
GLE SH2	10	Gleditsia triacanthos inermis 'Shademaster' TM	Shademaster Locust	B & B	2.0" Cal
LIQ ROT	10	Liquidambar styraciflua 'Rotundiloba' TM	Round-Lobed Sweet Gum	B & B	2.0" Cal
LIR TUL	16	Liriodendron tulipifera	Tulip Tree	B & B	2.0" Cal
NYS BLA	4	Nyssa sylvatica 'Black Tupelo'	Sour Gum	B & B	2.0" Cal
PLA BLO	14	Platanus x acerifolia 'Bloodgood'	London Plane Tree	B & B	2.0" Cal
SAS ALB	8	Sassafras albidum	Sassafras	B & B	2.0" Cal
TAX AUT	16	Taxodium distichum 'Autumn Gold'	Autumn Gold Bald Cypress	B & B	2.0" Cal
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
JUN WIC	7	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	B & B	6' HL
PIN ECH	12	Pinus echinata	Short Leaf Pine	B & B	6' HL
THU GIA	3	Thuja plicata 'Green Giant'	Western Red Cedar	B & B	6' HL
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
AME GRA	12	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry Tree Form	B & B	2.0" Cal
CER AP2	18	Cercis canadensis 'Appalachian Red'	Appalachian Red Eastern Redbud	B & B	2.0" Cal

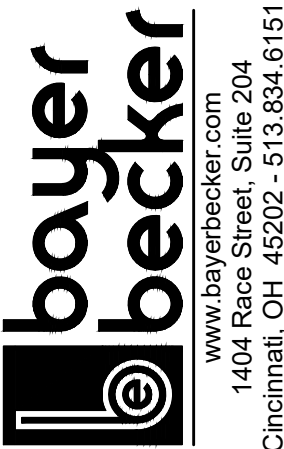


**PRELIMINARY**

**OAKS OF KENWOOD**  
(KUGLER MILL SQUARE)

8495 VORHEES LANE  
SECTION 14, TOWN 4, E. RANGE 1  
SYCAMORE TOWNSHIP  
HAMILTON COUNTY, OHIO

TREE PLANTING PLAN



Drawing: 20-0148 LA 2100211

Drawn by: ADH

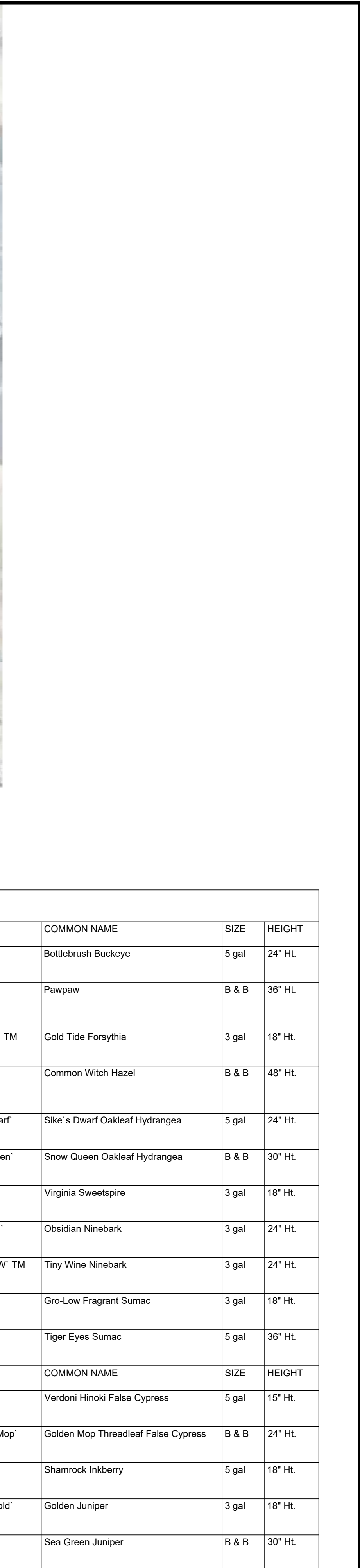
Checked by: XXX

Issue Date: 21-02-16

Sheet:

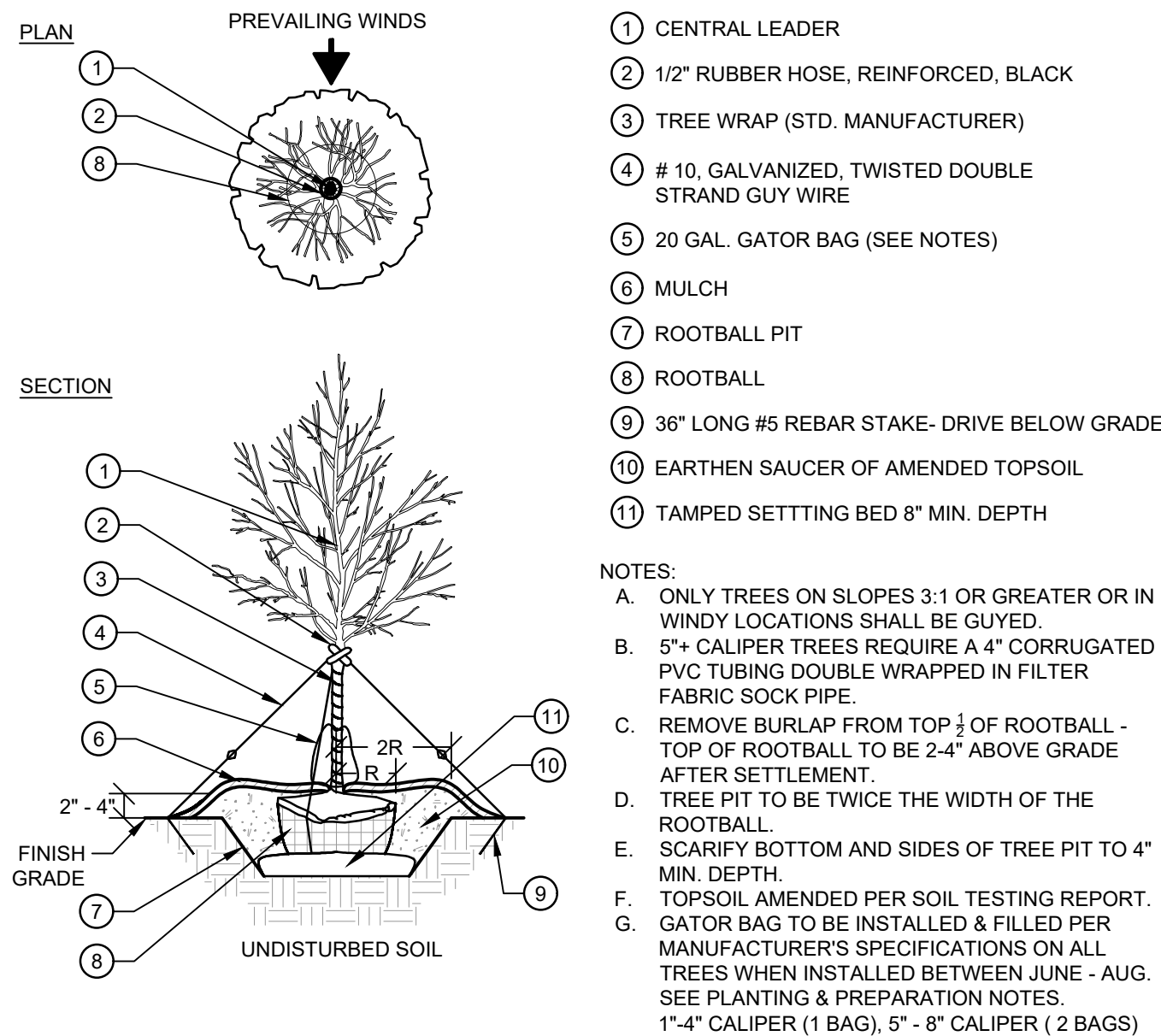
**L1.0**



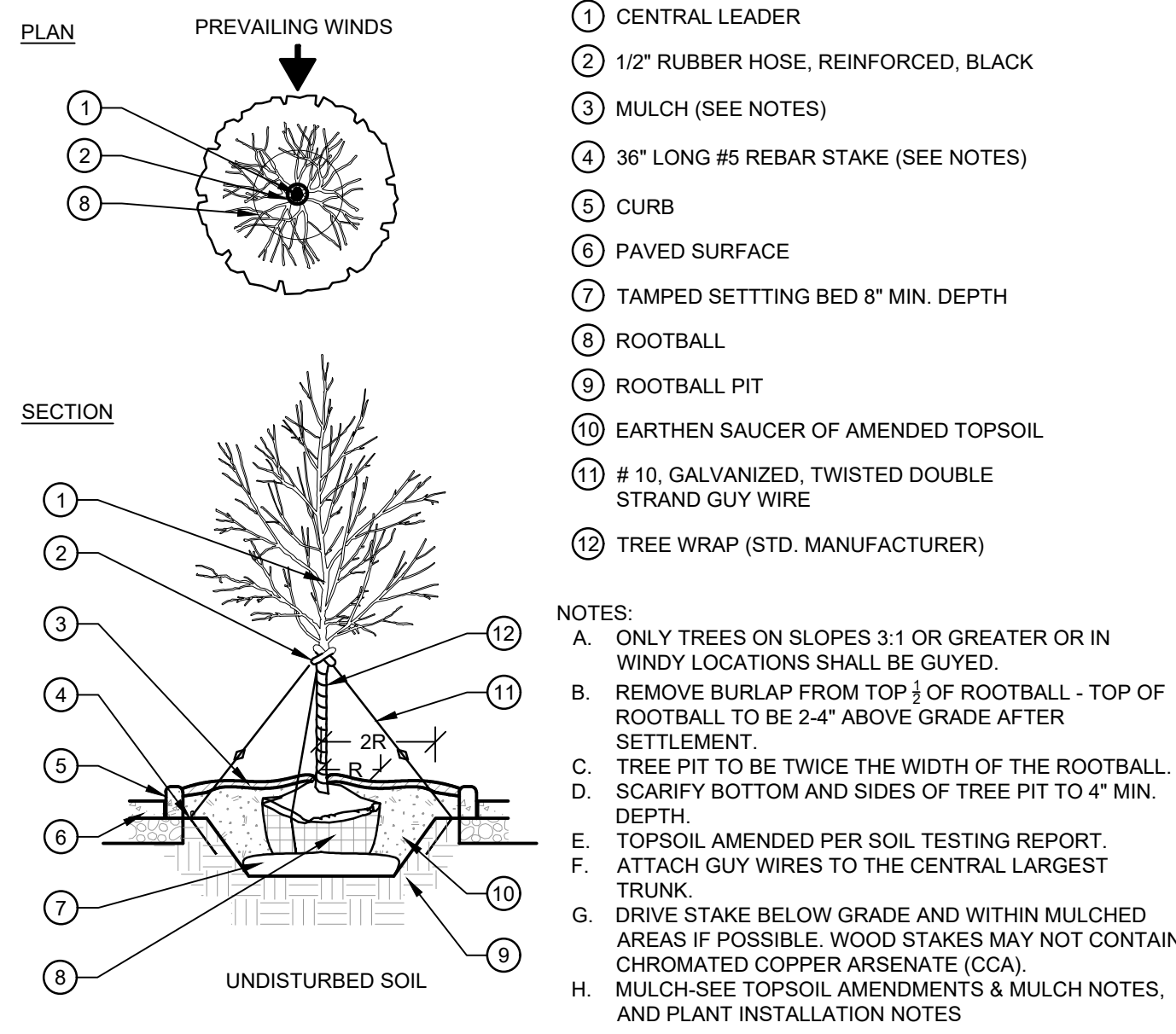


---

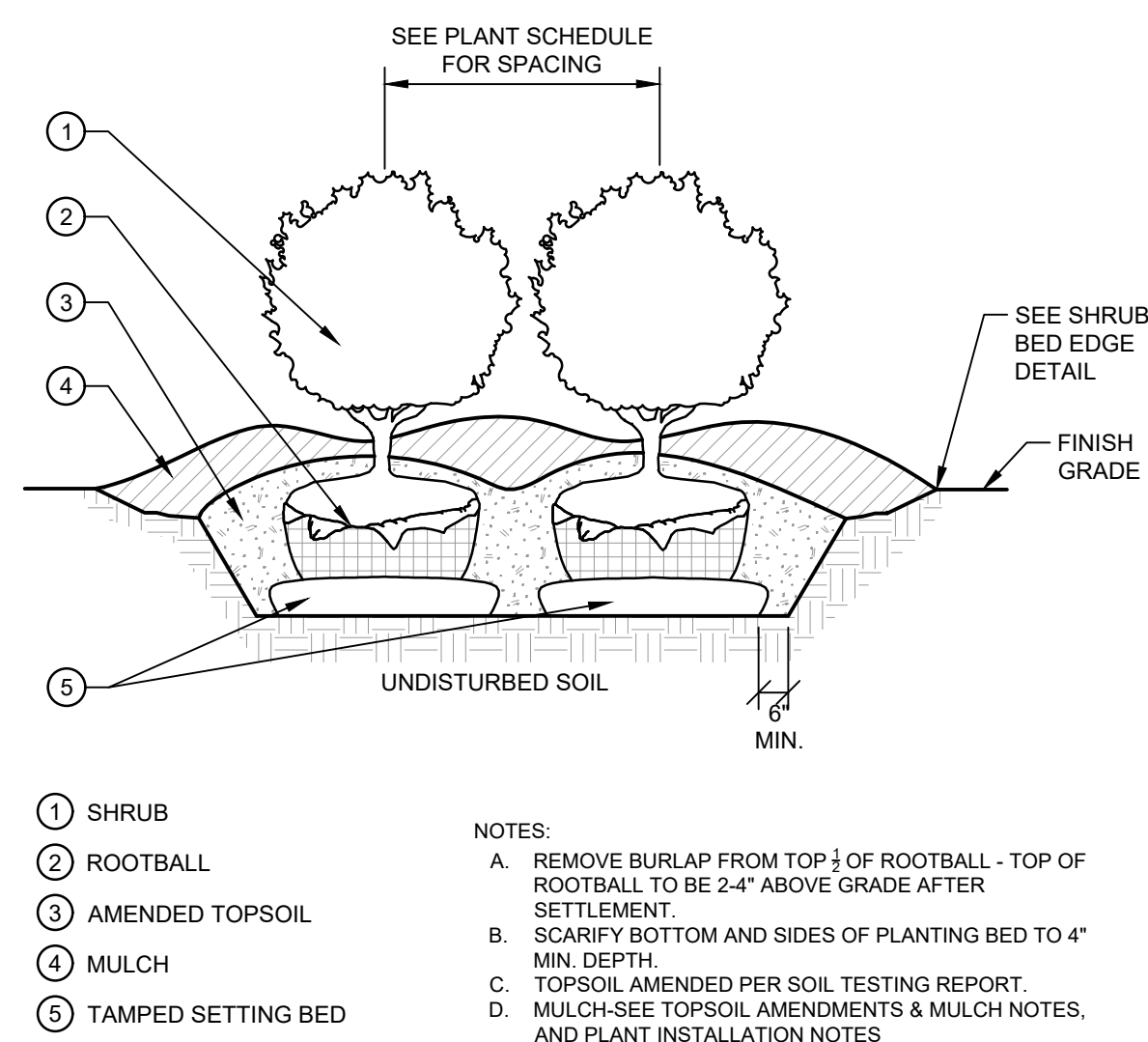




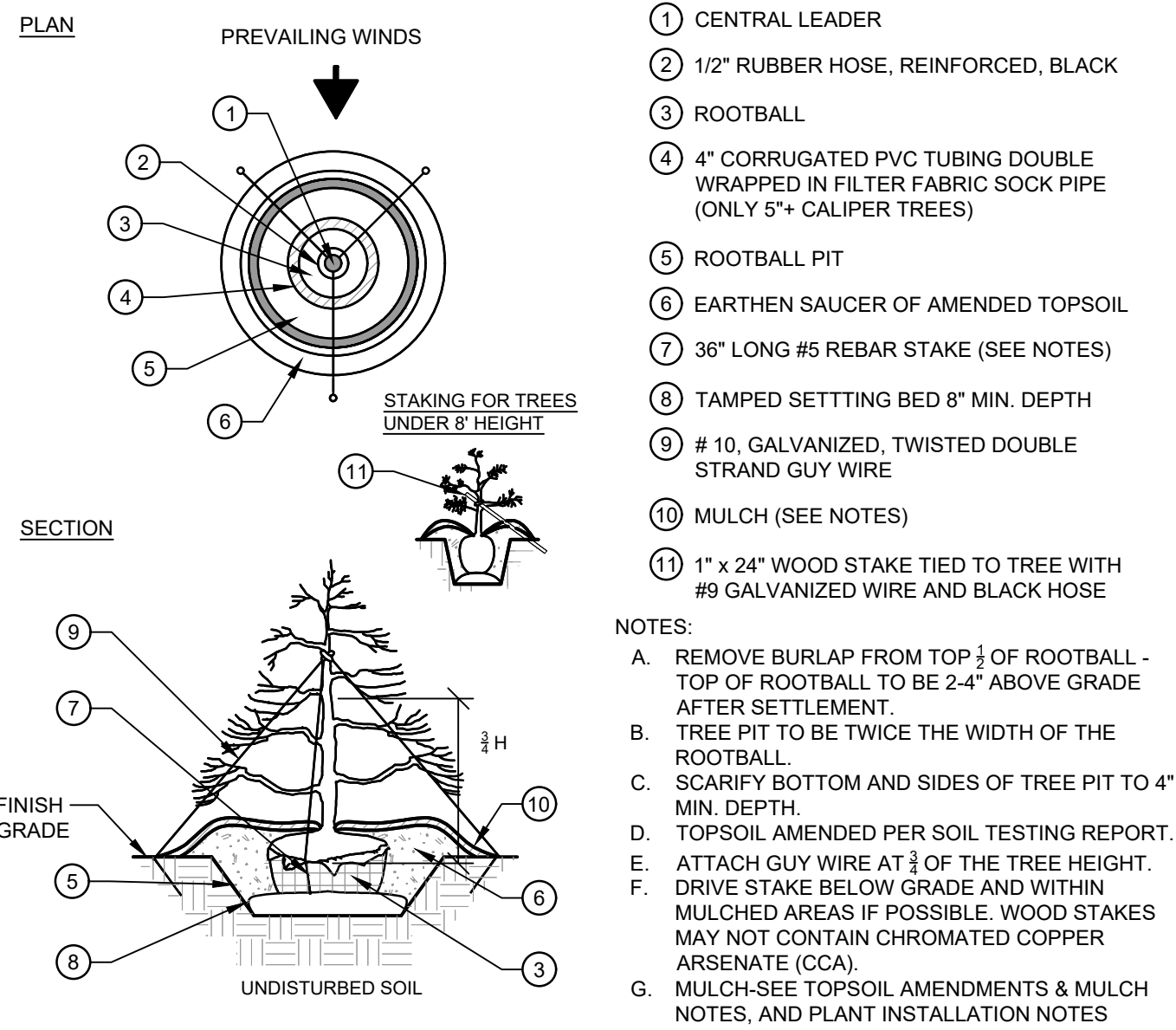
**1 TREE PLANTING**  
NOT TO SCALE 329343.46-06



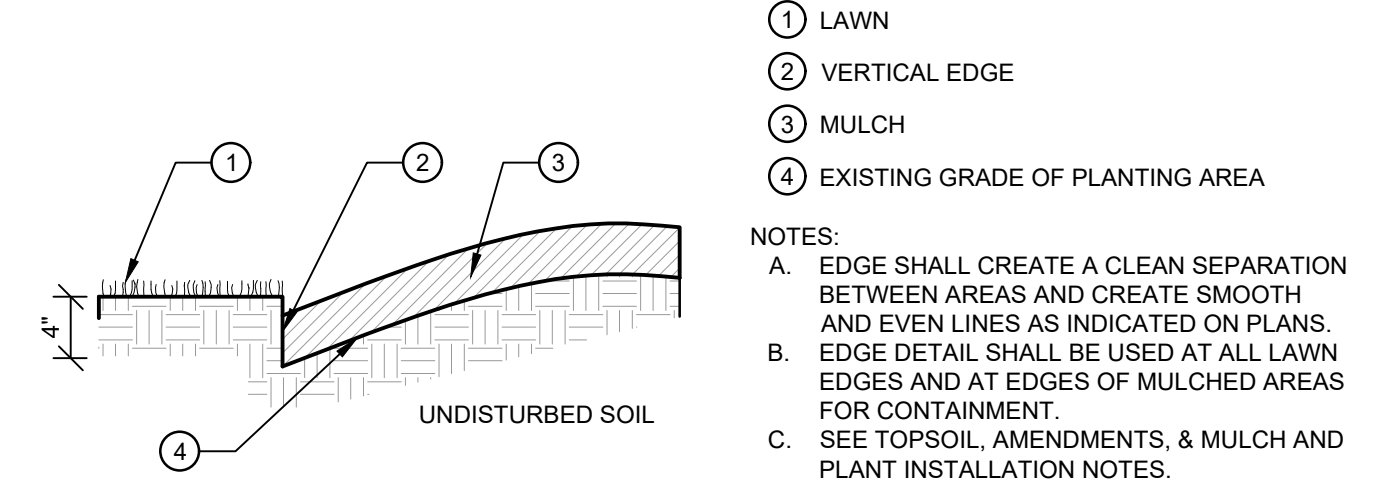
**2 TREE ISLAND PLANTING**  
NOT TO SCALE 329343.46-07



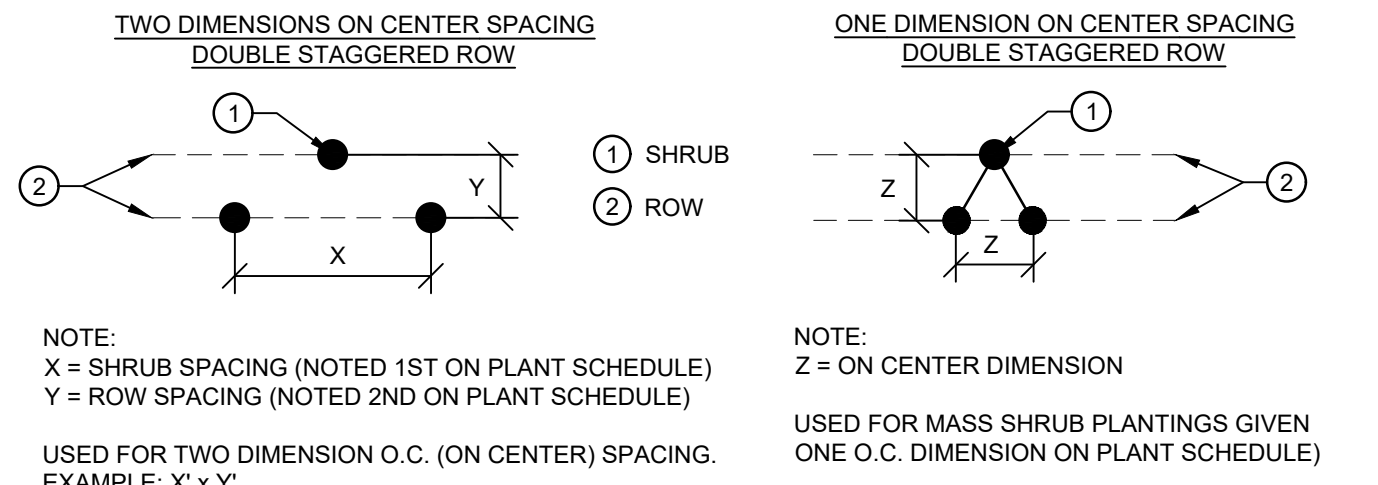
**3 SHRUB BED PLANTING DETAIL**  
NOT TO SCALE 329113.26-03



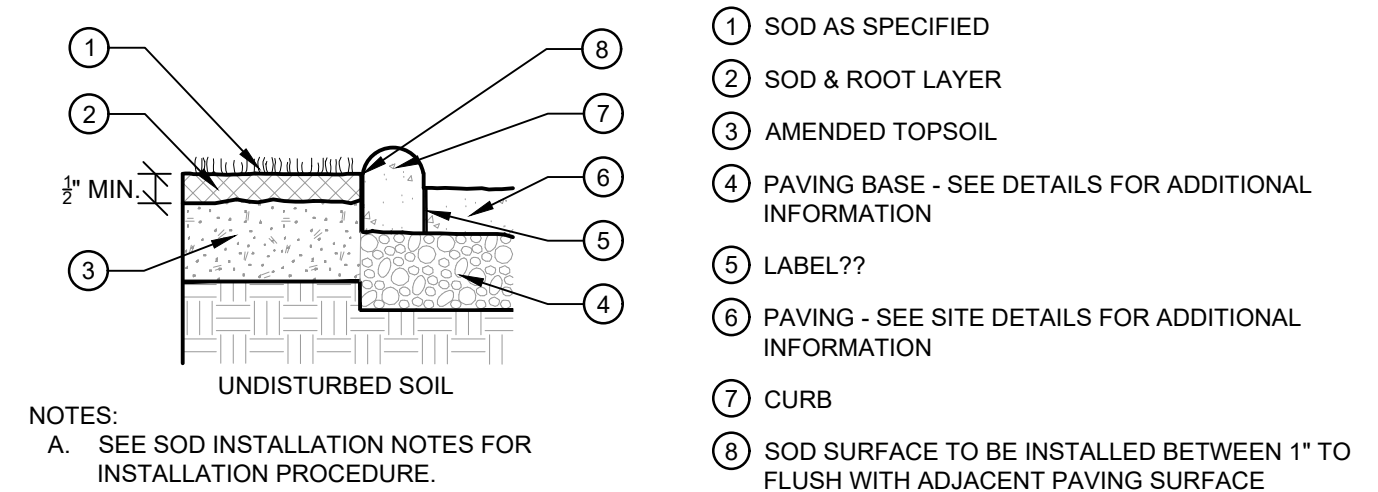
**6 EVERGREEN TREE DETAIL**  
NOT TO SCALE 329343.46-03



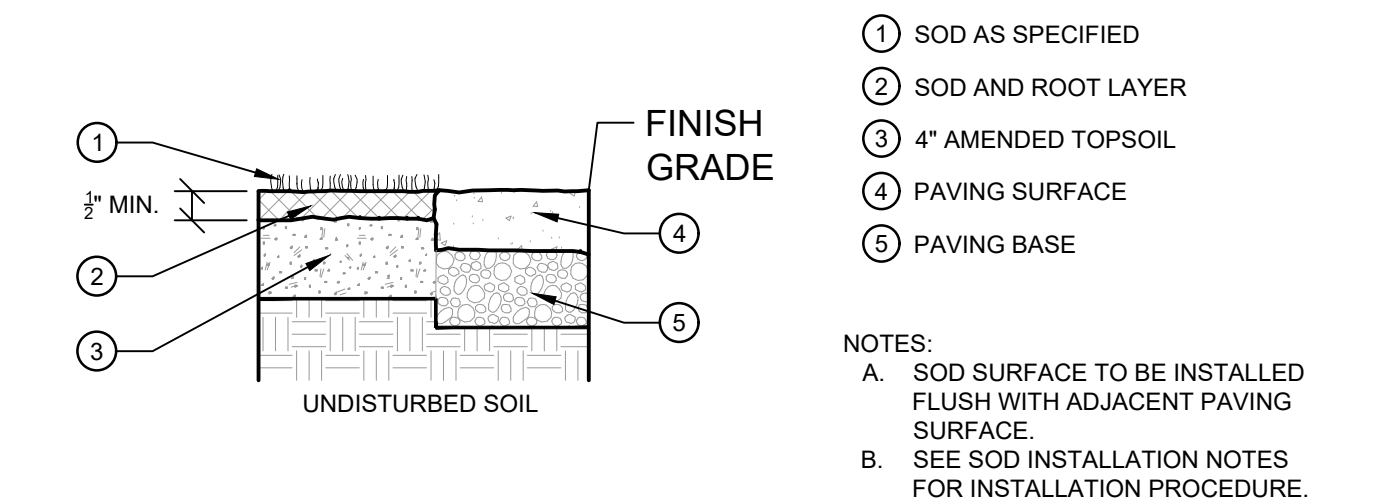
**4 SHRUB BED EDGE DETAIL**  
NOT TO SCALE 329113.26-02



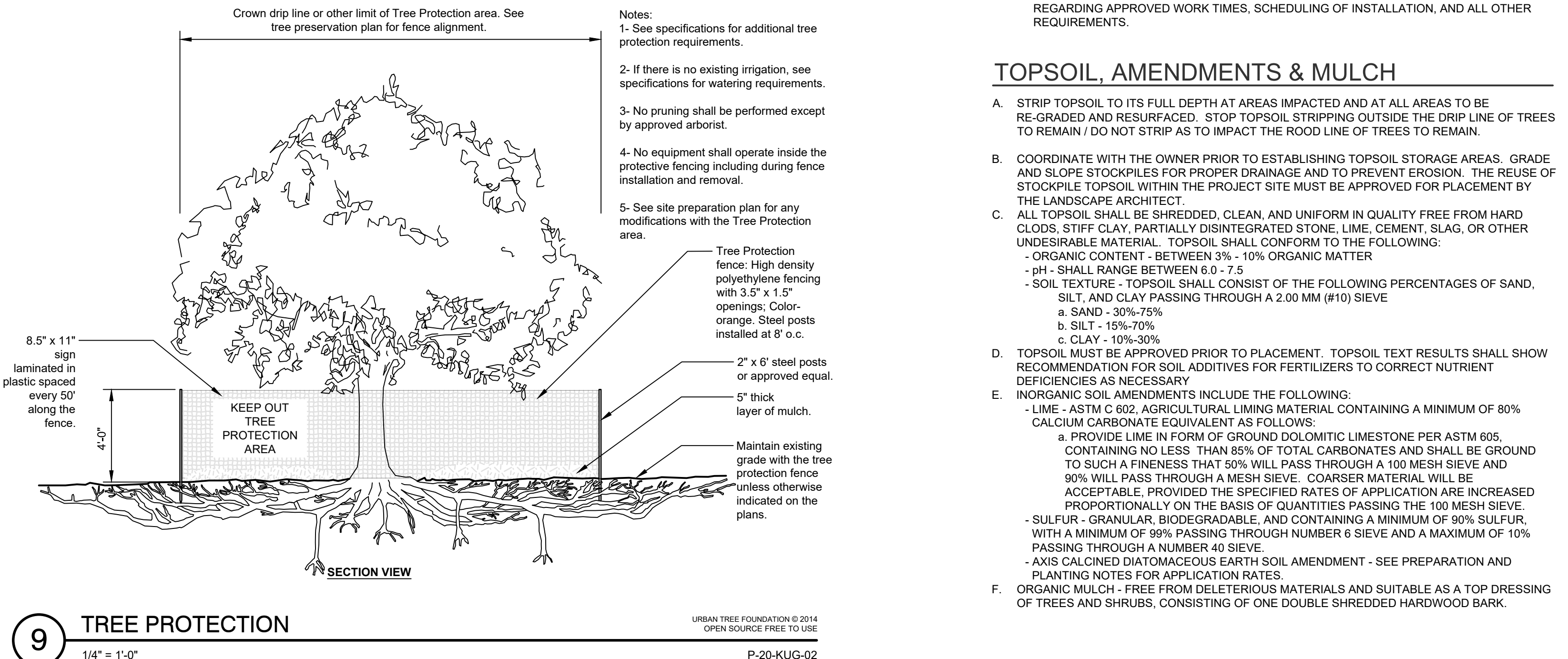
**5 SHRUB SPACING DETAIL (TYP.)**  
NOT TO SCALE 329333-01



**7 CURB/SOD INSTALLATION DETAIL**  
NOT TO SCALE 321613.16-11



**8 SIDEWALK/SOD INSTALLATION**  
NOT TO SCALE 321623-01



**9 TREE PROTECTION**  
1/4" = 1'-0" 321623-02

**GENERAL LANDSCAPE NOTES**

A. THE CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY REVIEW THESE DOCUMENTS AND FULLY UNDERSTAND THE NATURE AND SCOPE OF WORK NEEDED TO ACHIEVE THE FINISHED PRODUCT INTENDED BY THE OWNER. IN ADDITION, THE CONTRACTOR SHALL AT ONCE REPORT TO THE LANDSCAPE ARCHITECT, INACCURACIES OR INCONSISTENCIES DISCOVERED. FAILURE TO REASONABLY RECOGNIZE OR NOTIFY THE LANDSCAPE ARCHITECT OF SUCH ITEMS SHALL RELEASE THE LANDSCAPE ARCHITECT AND OWNER OF ALL LIABILITY. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.

B. PROTECT ALL EXISTING VEGETATION TO REMAIN WITHIN 20' OF CONSTRUCTION DISTURBANCE AS PER PLANS AND SPECIFICATIONS. INSTALL MINIMUM 4" TALL FENCE 5' OUTSIDE THE DRIP LINE OF TREES TO REMAIN. WATER TREES AND VEGETATION TO REMAIN WITH ONE INCH OF RAIN (RAIN GAUGE OR NOAA LOCAL WEATHER VERIFIED) PER WEEK FOR DURATION OF CONSTRUCTION PROJECT.

C. PRIOR TO CONSTRUCTION, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO COMPLETE THE WORK, LOCATING ALL UNDERGROUND UTILITIES, AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING INSTALLATION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH MAY OCCUR AS A RESULT OF LANDSCAPE CONSTRUCTION.

D. CONTRACTOR MUST CERTIFY THAT ITS SAFETY PROGRAM MEETS REGULATORY REQUIREMENTS AT A MINIMUM. CONTRACTOR TO PROVIDE DOCUMENTATION OF THE OSHA RECORD KEEPING SUMMARY.

E. LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS, ROOT SYSTEMS, INSECTS, INJURIES, AND LATELY DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. LANDSCAPE CONTRACTOR SHALL REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.

F. IF EXISTING ECOLOGY CAUSES ADJUSTMENTS OF LANDSCAPE PLANS TO FIT THE SITE CONDITIONS, A STAKE OUT BY LANDSCAPE CONTRACTOR AND ADJUSTMENTS BY LANDSCAPE ARCHITECT SHALL BE REQUIRED PRIOR TO INSTALLATION.

G. ALL PLANTING AREAS SHOWN ON PLANS SHALL BE TO WITHIN 2" OF FINAL GRADE BEFORE LANDSCAPE CONTRACTOR COMMENCES INSTALLATION.

H. LANDSCAPE CONTRACT IS RESPONSIBLE FOR COORDINATING WITH OTHER CONTRACTORS AND/OR LOCATING PROPOSED SITE UTILITIES, STORM STRUCTURES, EASEMENTS, ETC.

I. ALL PLANT MATERIAL MUST BE INSTALLED ACCORDING TO THE APPROVED LANDSCAPING PLAN BY NO LATER THAN THE NEXT PLANTING SEASON OR WITHIN 6 MONTHS FROM THE COMPLETION OF ALL SITE CONSTRUCTION.

J. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES. ANY DISCREPANCY BETWEEN THE PLANTING LIST AND THE PLAN SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT. ALL SUBSTITUTIONS AND/OR CHANGES SHALL BE REQUESTED IN WRITING TO THE OWNER OR OWNERS REPRESENTATIVE AND BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE LOCAL MUNICIPALITY (IF REQUIRED) PRIOR TO INSTALLATION.

K. THE CONTRACTOR SHALL PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."

L. THE CONTRACTOR SHALL FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.

M. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.

N. IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.

O. THE CONTRACTOR SHALL LABEL ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH THE BOTANICAL AND COMMON NAME.

P. PLANT TAGS SHALL REMAIN ON INSTALLED PLANT MATERIAL UNTIL THE WORK HAS BEEN APPROVED BY LOCAL INSPECTOR AND/OR THE OWNER OR OWNERS REPRESENTATIVE.

Q. LANDSCAPE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PLANT BEDS WITHOUT ADVERSELY AFFECTING DRAINAGE. GRADIENT CURBS FOR AREAS TO RECEIVE MULCH SHALL BE HELD 4 INCHES BELOW TOP OF CURB AND 2 INCHES BELOW TOP OF CURB FOR SOD.

R. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING, INCLUDING, BUT NOT LIMITED TO, WATERING, SPRAYING, MULCHING, FERTILIZING, ETC., ALL PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

**LANDSCAPE PREPARATION**

A. EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS ARE CORRECTED.

B. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES AND TURF AREAS AND EXISTING PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.

C. INSTALL EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.

D. APPLY ANTIDISCICANT TO TREES AND SHRUBS USING POWER SPRAY TO PROVIDE ADEQUATE FILM OVER TRUNKS (BEFORE WRAPPING), BRANCHES, STEMS, TWIGS, AND FOLIAGE TO PROTECT DURING HANDLING AND TRANSPORTATION. IF DECIDUOUS TREES OR SHRUBS ARE MOVED IN FULL LEAF, SPRAY ANTIDISCICANT AT NURSERY BEFORE MOVING AND AGAIN TWO (2) WEEKS AFTER PLANTING.

E. WRAP TREES AND SHRUBS WITH BURLAP FABRIC OVER TRUNKS, BRANCHES, STEMS, TWIGS, AND FOLIAGE TO PROTECT FROM WIND AND OTHER DAMAGE DURING DIGGING, HANDLING, AND TRANSPORTATION.

F. LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND BED EDGES FOR ALL EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECTS, OWNER'S, OR OWNER REPRESENTATIVE'S WRITTEN ACCEPTANCE OF LAYOUT PRIOR TO PLANTING. TREES SHALL BE SITED IN THE FIELD BY THE LANDSCAPE ARCHITECT WHERE NOTED ON THE PLAN. CONTACT THE LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES OR ISSUES WITH PLACEMENT.

**PLANT INSTALLATION**

A. LOOSEN SUBGRADE OF PLANTING AREAS TO A DEPTH OF TWELVE (12) INCHES. REMOVE STONES LARGER THAN ONE (1) INCH IN ANY DIMENSION, STICKS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OF THE OWNER'S PROPERTY.

B. APPLY FERTILIZER DIRECTLY TO THE SUBGRADE BEFORE LOOSENING.

C. SPREAD TOPSOIL, APPLY SOIL AMENDMENTS AND FERTILIZER ON SURFACE, AND THOROUGHLY BLEND PLANTING SOIL. APPLY TURFMATRIX SOIL AMENDMENT AT THE FOLLOWING RATES:  
FOR 2" DEEP BEDS - 450 LBS / 1000 SF  
FOR 4" DEEP BEDS - 900 LBS / 1000 SF  
FOR 6" DEEP BEDS - 1,300 LBS / 1000 SF  
FOR 8" DEEP BEDS - 1,750 LBS / 1000 SF

D. DELAY MIXING FERTILIZER WITH PLANTING SOIL IF PLANTING WILL NOT PROCEED WITHIN A FEW DAYS.

E. MIX LIME WITH DRY SOIL PRIOR TO MIXING FERTILIZER.

F. SPREAD TOPSOIL TO A DEPTH OF (6) SIX INCHES FOR LAWN OR (12) TWELVE INCHES FOR BEDS BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLING. DO NOT SPREAD IF PLANTING SOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.

G. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM, SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSION TO MEET FINISH GRADES.

H. RESTORE PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING.

I. FOR PLANTING PITS AND TRENCHES, EXCAVATE CIRCULAR PLANTING PITS WITH SIDES SLOPING INWARD AT A FORTY-FIVE (45) DEGREE ANGLE. EXCAVATIONS WITH VERTICAL SIDES ARE NOT ACCEPTABLE. TRIM PERIMETER OF BOTTOM LEAVING THE CENTER AREA OF THE BOTTOM RAISED 8" TO SUPPORT THE ROOT BALL AND ASSIST WITH DRAINAGE AWAY FROM THE CENTER. DO NOT DISTURB THE BASE. ENSURE THAT THE ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF THE PLANTING PIT SMOOTHER OR SMOTHERED DURING EXCAVATION.  
- EXCAVATE APPROXIMATELY TWO (2) TIMES THE DIAMETER OF THE ROOT BALL FOR BALLED AND BURLAPPED STOCK.  
- FOR BARE ROOT STOCK, EXCAVATE AT LEAST TWELVE (12) INCHES WIDER THAN THE ROOT SPREAD AND DEEP ENOUGH TO ACCOMMODATE VERTICAL ROOTS.  
- IF DRAIN TILE IS SHOWN ON DRAWINGS OR DETAILS, OR REQUIRED UNDER PLANTING AREAS, EXCAVATE TO TOP OF POROUS BACKFILL OVER TILE.

J. SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATION MAY BE USED AS PLANTING SOIL PROVIDED IT IS FREE FROM ROCKS AND OTHER DELETERIOUS MATERIAL.

K. NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.

L. NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS.

M. FILL EXCAVATIONS WITH WATER AND ALLOW TO PERCOLATE AWAY BEFORE POSITIONING TREES AND SHRUBS.

N. INSTALL PLANTS - REFER TO TYPICAL PLANTING DETAILS ON THIS SHEET FOR PLANT INSTALLATION.

O. IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE UNDER 5" CALIPER. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT PLANTS REMAIN IN AN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD, AT WHICH POINT ANY STAKES & WIRE ARE TO BE REMOVED BY THE CONTRACTOR.

P. ALL DECIDUOUS TREES SHALL BE WRAPPED WITH STANDARD MANUFACTURER'S TREE WRAP TO PREVENT WINTER DAMAGE. TREE WRAP TO BE REMOVED AFTER THE FIRST WINTER BY THE LANDSCAPE CONTRACTOR.

Q. LANDSCAPE CONTRACTOR SHALL INSTALL GATOR BAGS, PER MANUFACTURER'S RECOMMENDATION FOR ALL TREES THAT ARE NOT OTHERWISE IRRIGATED.

R. PRIOR TO MULCHING, APPLY PRE-EMERGENT HERBICIDE (PREEN OR EQUIVALENT) PER MANUFACTURER'S RECOMMENDATION.

S. INSTALL WEED CONTROL BARRIERS BEFORE MULCHING ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. COMPLETELY COVER AREA TO BE MULCHED, OVERLAPPING EDGES A MINIMUM OF SIX (6) INCHES AND SECURE THE SEAMS WITH GALVANIZED PINS.

T. MULCH BACKFILLED SURFACES OF PLANTING AREAS AND OTHER AREAS AS INDICATED.

U. APPLY MULCH ACCORDING TO THE FOLLOWING:  
- TREES AND SHRUBS IN TURF AREAS - APPLY ORGANIC MULCH RING OF FOUR (4) INCH AVERAGE THICKNESS WITH THIRTY SIX (36) INCH RADIUS AROUND TRUNKS OR STEMS.  
- DO NOT PLACE MULCH WITHIN THREE INCHES OF THE TRUNKS OR STEMS.  
- ORGANIC MULCH IN PLANTING AREAS - APPLY TWO (2) INCH AVERAGE THICKNESS OF ORGANIC MULCH EXTENDING TWELVE (12) INCHES BEYOND THE EDGES OF INDIVIDUAL PLANTING PIT OR TRENCH AND OVER THE WHOLE SURFACE OF THE PLANTING AREA, AND FINISH LEVEL WITH ADJACENT FINISH GRADES. DO NOT PLACE MULCH WITHIN THREE (3) INCHES OF TRUNKS OR STEMS.

V. THE LANDSCAPE CONTRACTOR SHALL INSTRUCT THE OWNER OR OWNER REPRESENTATIVE ON WATERING NEEDS OF INSTALLED PLANTINGS.

**WARRANTY**

A. CONTRACTOR SHALL PROVIDE OWNER WITH A MINIMUM ONE YEAR WRITTEN WARRANTY FOR LABOR AND MATERIALS.

B. CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.

C. WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FROM DATE OF ACCEPTANCE FOR TREES AND SHRUBS. COMPLETELY COVER AREA TO BE MULCHED, OVERLAPPING EDGES A MINIMUM OF SIX (6) INCHES AND SECURE THE SEAMS WITH GALVANIZED PINS.

D. WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.

E. WARRANTY FOR IRRIGATION SERVICE, PLUMBING, & DRAINAGE SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR AND WILL INCLUDE START-UP, WINTERIZATION, AND SECOND SEASON START-UP. WARRANTY SHALL INCLUDE ALL LABOR, MATERIAL, TOOLS, AND EQUIPMENT AS NECESSARY TO PROVIDE A FUNCTIONING SYSTEM, FREE FROM DEFECTS AND ADJUSTED PROPERLY FOR APPROPRIATE WATER DELIVERY TO ALL PLANT MATERIAL.

**TRAFFIC & SAFETY**

A. REFER TO BID DOCUMENTS AND COMPLY WITH ALL STATE & LOCAL REQUIREMENTS REGARDING APPROVED WORK TIMES, SCHEDULING OF INSTALLATION, AND ALL OTHER REQUIREMENTS.

**TOPSOIL, AMENDMENTS & MULCH**

A. STRIP TOPSOIL TO ITS FULL DEPTH AT AREAS IMPACTED AND AT ALL AREAS TO BE RE-GRADED AND RESURFACED. STOP TOPSOIL STRIPPING OUTSIDE THE DRIP LINE OF TREES TO REMAIN / DO NOT STRIP AS TO IMPACT THE ROOT LINE OF TREES TO REMAIN.

B. COORDINATE WITH THE OWNER PRIOR TO ESTABLISHING TOPSOIL STORAGE AREAS. GRADE AND SLOPE STOCKPILES FOR PROPER DRAINAGE AND TO PREVENT EROSION. THE REUSE OF STOCKPILE TOPSOIL WITHIN THE PROJECT SITE MUST BE APPROVED FOR PLACEMENT BY THE LANDSCAPE ARCHITECT.

C. ALL TOPSOIL SHALL BE SHREDDED, CLEAN, AND UNIFORM IN QUALITY FREE FROM HARD CLODS, STIFF CLAY, PARTIALLY DISINTEGRATED STONE, LIME, CEMENT, SLAG, OR OTHER UNSUITABLE MATERIAL. TOPSOIL SHALL CONFORM TO THE FOLLOWING:  
- ORGANIC CONTENT - BETWEEN 3% - 10% ORGANIC MATTER  
- pH - SHALL RANGE BETWEEN 6.0 - 7.5  
- SOIL TEXTURE - TOPSOIL SHALL CONSIST OF THE FOLLOWING PERCENTAGES OF SAND, SILT, AND CLAY PASSING THROUGH A 2.0 MM (#10) SIEVE  
a. SAND - 30%-75%  
b. SILT - 15%-70%  
c. CLAY - 10%-30%

D. TOPSOIL MUST BE APPROVED PRIOR TO PLACEMENT. TOPSOIL TEXT RESULTS SHALL SHOW RECOMMENDATION FOR SOIL ADDITIVES FOR FERTILIZERS TO CORRECT NUTRIENT DEFICIENCIES AS NECESSARY.

E. INORGANIC SOIL AMENDMENTS INCLUDE THE FOLLOWING:  
- LIME - ASTM C 602, AGRICULTURAL LIMING MATERIAL CONTAINING A MINIMUM OF 80% CALCIUM CARBONATE EQUIVALENT AS FOLLOWS:  
a. PROVIDE LIME IN FORM OF GROUND DOLOMITIC LIMESTONE PER ASTM 605, CONTAINING NO LESS THAN 85% OF TOTAL CARBONATES AND SHALL BE GROUND TO SUCH A FINENESS THAT 50% WILL PASS THROUGH A 100 MESH SIEVE AND 90% WILL PASS THROUGH A MESH SIEVE. COARSER MATERIAL WILL BE ACCEPTABLE, PROVIDED THE SPECIFIED RATES OF APPLICATION ARE INCREASED PROPORTIONALLY ON THE BASIS OF QUANTITIES PASSING THE 100 MESH SIEVE.  
- SULFUR - GRANULAR, BIODEGRADABLE, AND CONTAINING A MINIMUM OF 90% SULFUR, WITH A MINIMUM OF 95% PASSING THROUGH NUMBER 6 SIEVE AND A MAXIMUM OF 10% PASSING THROUGH A NUMBER 40 SIEVE.  
- AXIS CALCINED DIATOMACEOUS EARTH SOIL AMENDMENT - SEE PREPARATION AND PLANTING NOTES FOR APPLICATION RATES.

F. ORGANIC MULCH - FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF ONE DOUBLE SHREDDED HARDWOOD BARK.

Revision Description  
Item Date Dwn: Chk:

**PRELIMINARY**

**OAKS OF KENWOOD  
(KUGLER MILL SQUARE)**  
8495 VORHEES LANE  
SECTION 14, TOWN 4, E. RANGE 1  
SYCAMORE TOWNSHIP  
HAMILTON COUNTY, OHIO

**PLANTING NOTES & DETAILS**

**bayer becker**  
www.bayerbecker.com  
1404 Race Street, Suite 204  
Cincinnati, OH 45202 - 513.634.6151

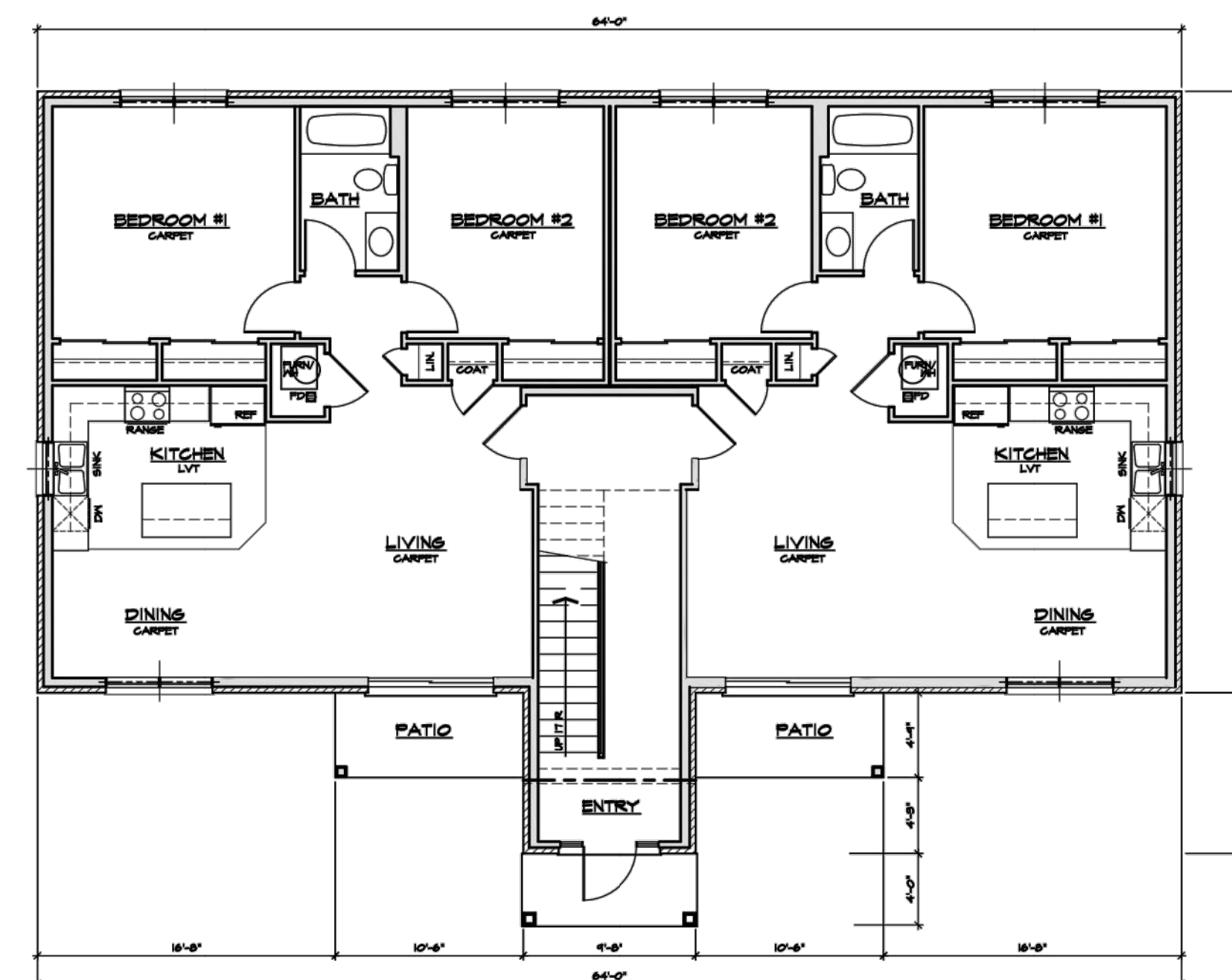
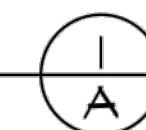
Drawing: 20-0148.LA 2100211  
Drawn by: ADH  
Checked by:  
Issue Date: 21-02-16  
Sheet:

**L2.0**

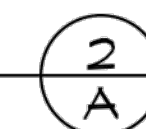





FRONT ELEVATION  
1/8"=1'-0"

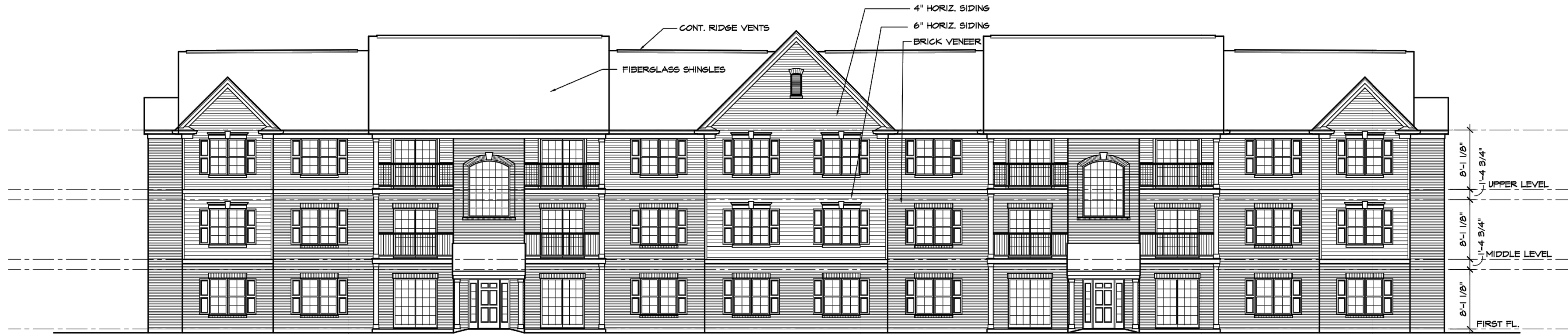


TYPICAL PLAN  
1/8"=1'-0"



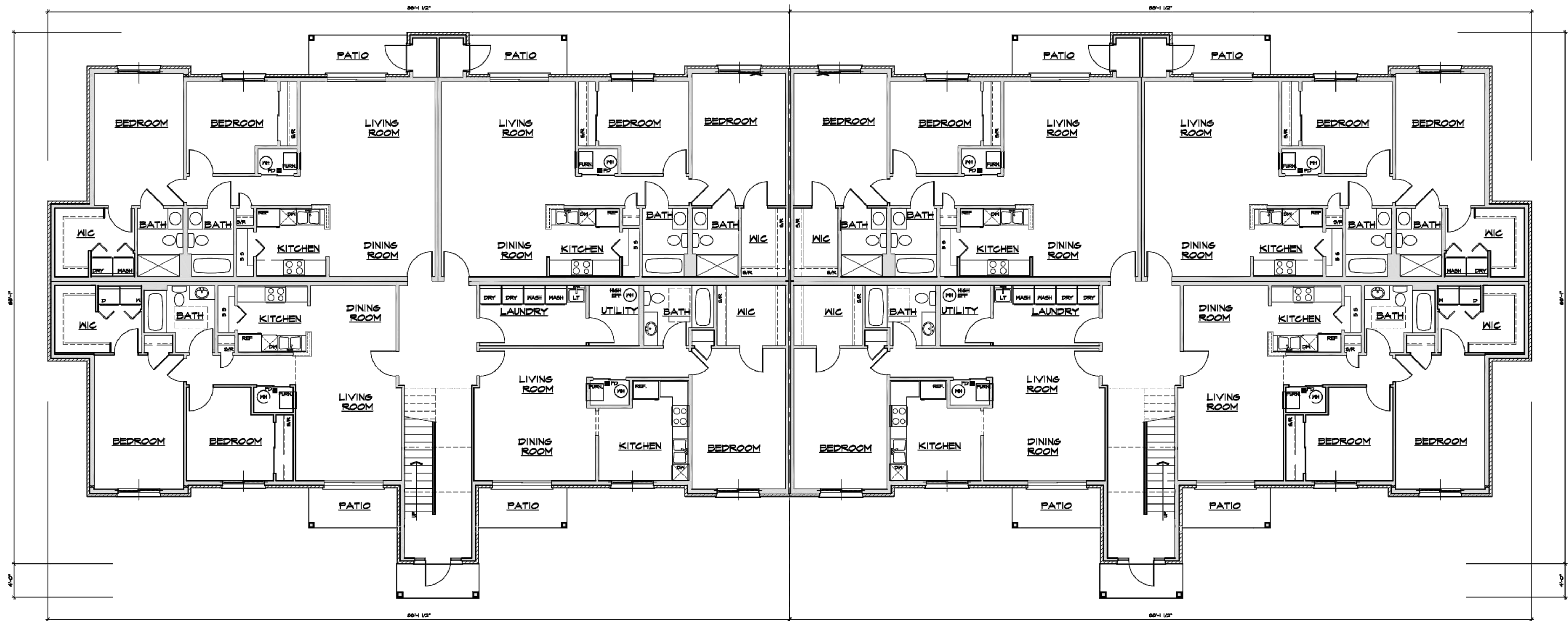
 <p> <b>bayer becker</b>  <a href="http://www.bayerbecker.com">www.bayerbecker.com</a>            1404 Race Street, Suite 204            Cincinnati, OH 45202 - 513.834.8151         </p>	<b>OAKS OF KENWOOD (KUGLER MILL SQUARE)</b> 8495 VORHEES LANE SECTION 14, TOWN 4, E. RANGE 1 SYCAMORE TOWNSHIP HAMILTON COUNTY, OHIO		<b>BUILDING FLOOR PLAN &amp; ELEVATION - TYPE A</b>	
	Item	Revision Description	Date	Drawn: Chk:
<div style="text-align: center; color: red; font-weight: bold; font-size: 2em; transform: rotate(-45deg);">             PRELIMINARY           </div>				
<small>THIS DOCUMENT AND ALL ITS DATA, DRAWINGS, SPECIFICATIONS, AND ELECTRONIC MEDIA PREPARED OR REVISED BY BAYER BECKER (BB), ARE PROPERTY OF BB. NO DISCLOSURE, USE, REPRODUCTION OR DUPLICATION IN WHOLE OR IN PART MAY BE MADE WITHOUT WRITTEN PERMISSION OF BB, AND IS DONE SO AT USER'S SOLE RISK. COPYRIGHT - ALL RIGHTS RESERVED.</small>				





FRONT ELEVATION  
1/8"=1'-0"

1  
B



TYPICAL PLAN  
1/8"=1'-0"

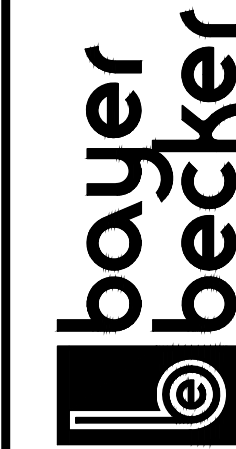
2  
B

PRELIMINARY

OAKS OF KENWOOD  
(KUGLER MILL SQUARE)

8495 VORHEES LANE  
SECTION 14, TOWN 4, E. RANGE 1  
SYCAMORE TOWNSHIP  
HAMILTON COUNTY, OHIO

BUILDING FLOOR PLAN & ELEVATION - TYPE B



www.bayerbecker.com  
1404 Race Street, Suite 204  
Cincinnati, OH 45202 - 513.834.6151

Drawing: 20-0148 ARCH

Drawn by:

Checked by:

Issue Date: 21-02-16

Sheet:

A2.0

THIS DOCUMENT AND ALL RELATED DETAIL DRAWINGS, SPECIFICATIONS, AND ELECTRONIC MEDIA PREPARED OR FURNISHED BY BAYER BECKER (BB) ARE PROPERTY OF BB. NO DISCLOSURE, USE, REPRODUCTION, OR DUPLICATION IN WHOLE OR IN PART MAY BE MADE WITHOUT WRITTEN PERMISSION OF BB. AND IS DONE SO AT USER'S SOLE RISK. COPYRIGHT - ALL RIGHTS RESERVED.

Date:

Dwnr:

Chk:

Revision Description

Item