

SYCAMORE TOWNSHIP, OH
DEPARTMENT OF PLANNING & ZONING
8540 KENWOOD ROAD, CINCINNATI, OH 45236

513.792.7250 PHONE 513.792.8564 FAX



ZONING COMMISSION APPLICATION			
FEES:			
ZONE CHANGE	\$1,000	MINOR ADJUSTMENT TO A PUD	\$200
PUD I	\$1,000	MAJOR ADJUSTMENT TO A PUD	\$1,000
PUD II	\$1,200	MINOR ADJUSTMENT TO LASR	\$200
LASR	\$1,000	MAJOR ADJUSTMENT TO LASR	\$1,000
THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN			

APPLICATION NUMBER
2021-04 LASR
DO NOT WRITE IN THIS SPACE

1. PROJECT ADDRESS: 7755 Montgomery rd ZIP CODE: 45236

2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER
OWNER KHD-Ar LLC 40 Blue Mark Capital	400 205 W. 4th St	Cincinnati	OH	45202	
CONTRACTOR Atlantic Sign Company	2328 Florence Ave	Cincinnati	OH	45206	513 241-6775
DESIGNER Atlantic Sign Company	2328 Florence Ave	Cincinnati	OH	45206	513 241-6775
APPLICANT Broskie Alini	2328 Florence Ave	Cincinnati	OH	45206	513 241-6775
APPLICANTS E-MAIL ADDRESS Broskie@AtlanticSigncompany.com					

3. ZONING COMMISSION ACTION REQUESTED:

ZONE CHANGE ☐ FROM ZONE _____ TO ZONE _____
PUD I ☐ PUD II ☐ LASR ☒
MAJOR ADJUSTMENT TO A PUD ☐ MINOR ADJUSTMENT TO A PUD ☐
MAJOR ADJUSTMENT TO A LASR ☐ MINOR ADJUSTMENT TO A LASR ☐

4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:

We are proposing three additional signs to the existing two signs

5. SQUARE FEET: 200 6. USE: Business 7. HEIGHT: _____
8. EST. START DATE: ASAP 9. EST. FINISH DATE: ASAP 10. # OF SIGNS: 3

THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Zoning Commission application.

NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.

[Signature] 3/23/2021
APPLICANT'S SIGNATURE DATE
Todd Earl 3-23-2021
PROPERTY OWNER'S SIGNATURE DATE



March 17, 2021

Members of the Board
Sycamore Township
8540 Kenwood Rd.
Sycamore Township, OH 45236

Re: Redstone ID Building Signage
7755 Montgomery Rd.
Sycamore Township, OH 45236

RECEIVED

MAR 22 2021

SYCAMORE TWP.

Members of the Board:

Times have changed so much that the "New Normal" is still undefined.

As much as we all would like to think things will get back to normal, the reality is, there will be a change.

Besides some of the obvious changes, the Real Estate Industry will be impacted but to exactly what extent.....Is a guess for us all.

What we do know, is there will be a definite change and most probably in the reduction in office space usage. We have already seen "at home" work requirements by many employers set at "indefinite" furlough. What the future holds is more difficult than we can pinpoint.

Redstone Building is strategizing, not only for the future, but for the anticipation of a more challenging period of leasing available office space.

One of the forefront questions asked by potential Lessees is simply "does my company have availability of exterior signage?". The importance of "branding" cannot be overstated.

The "need" and the "want" cannot be underestimated by both the Lessees and the Real Estate Industry.

If the Redstone Building were a "retail development", "E" RETAIL DISTRICT with a multitude of tenants as they have now and projected to have in the future, the Sign Code (Section 13-12.4.B) would permit up to a maximum of 100 sq. ft. of signage for each tenant based on each individual tenant building frontage.

Redstone realizes this is not the case! However, the building itself is substantial with approximately 430' of "building frontage" and façade (13-3.B.11 and 13-3.B.8) facing Montgomery Rd.

Our request is to consider that extensive amount of building frontage and to review our request of 300 sq. ft.

This is not an attempt to overwhelm the building frontage with signage but to provide Sycamore Township with an attractive and proper destination and signature signage program for a substantial presence in the community.

Careful review of the signage code, extensive field surveying of the building and building positioning, the analysis of the "New Normal" and lastly the desire to present a product that is minimally invasive to the public's Health, Safety and Welfare have concluded that our request serves the "needs" and "wants" of future Lessees and the property owner.

Thank you for your assistance and considerations.

Respectfully submitted,

Mike Cassedy
Preferred Resources, LLC

LASR Proposal

Redstone – 7755 Montgomery Rd.

RECEIVED
MAR 22 2021
SYCAMORE TWP.



Current Owner: KHD – AR LLC C/O Blue Mark Capital LLC
205 West Fourth St Cincinnati, OH 45202

Contractor: Atlantic Sign Company
2326 Florence Ave Cincinnati, OH 45206

Presenter: Mike Cassedy



For lease

Redstone of Kenwood

7755 Montgomery Road
Cincinnati, Ohio 45236



Property Features

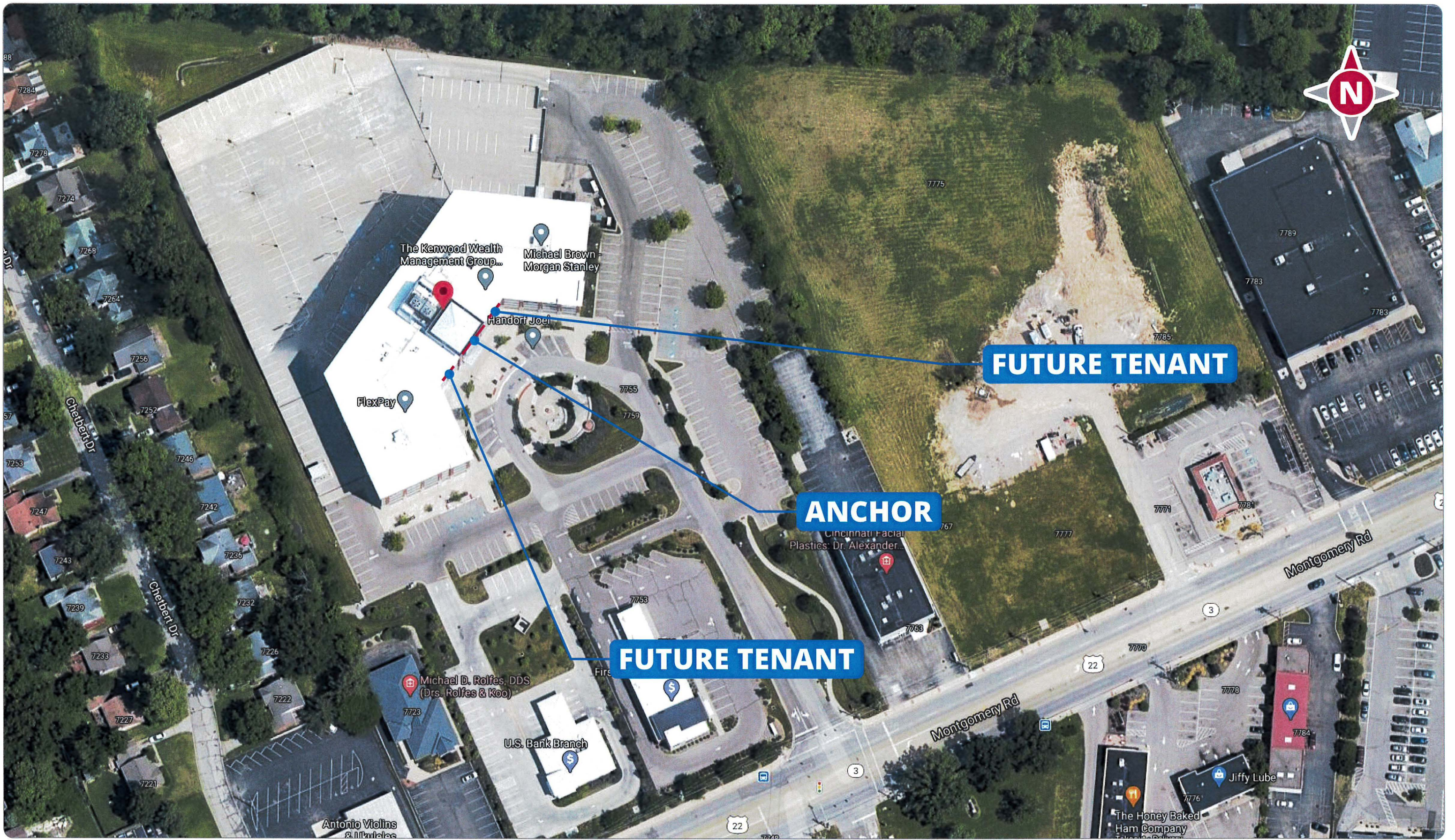
- Kenwood location and amenities
- 11' ceilings
- Free, covered garage parking
- Exceptional access / egress with signalized access
- Favorable earnings tax
- Striking lobby and design
- Close proximity to Madeira, Indian Hill, Montgomery, Amberley, Mariemont, Sycamore and other fine residential neighborhoods

For more information, please contact:

Bill Poffenberger
Executive Vice President
+1 513 252 2107
bill.poffenberger@am.jll.com

DISCLAIMER

Although information has been obtained from sources deemed reliable, Owner, Jones Lang LaSalle, and/or their representatives, brokers or agents make no guarantees as to the accuracy of the information contained herein, and offer the Property without express or implied warranties of any kind. The Property may be withdrawn without notice. If the recipient of this information has signed a confidentiality agreement regarding this matter, this information is subject to the terms of that agreement. ©2014. Jones Lang LaSalle. All rights reserved.



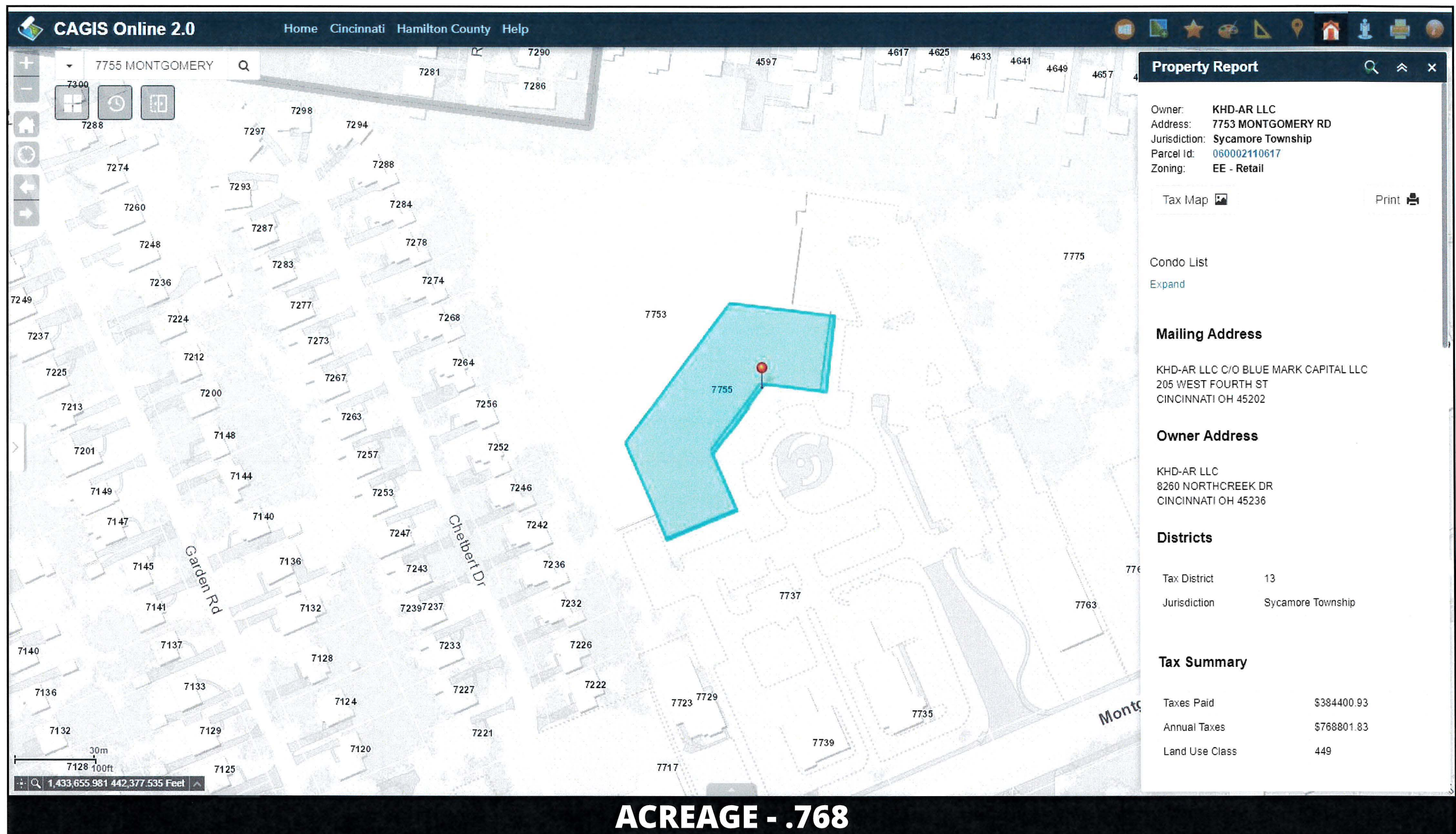
2328 Florence Avenue
Cincinnati, OH 45206
(513) 241-6775 | FAX (513) 241-5060
atlanticsigncompany.com

This drawing and the designs herein are protected under U.S. Copyright Law and shall remain the property of Atlantic Sign Company and may not be reproduced or used in any manner without the expressed written consent of Atlantic Sign Company



APPROVED
SIGNATURE _____ DATE _____

CUSTOMER	REDSTONE
LOCATION	7755 MONTGOMERY ROAD, SUITE 190, CINCINNATI, OH, 45236
SALES REP	WILLIAM YUSKO
PROJECT MGR.	CJ McDONALD
DRAWN BY	GREG ESSERT
DATE	1-27-2021
FILE NAME:	103108_REDSTONE_R1





EXISTING



**2328 Florence Avenue
Cincinnati, OH 45206**
(513) 241-6775 | FAX (513) 241-5060
atlanticsigncompany.com

This drawing and the designs herein are protected under U.S. Copyright Law and shall remain the property of Atlantic Sign Company and may not be reproduced or used in any manner without the expressed written consent of Atlantic Sign Company



**PAGE
3**

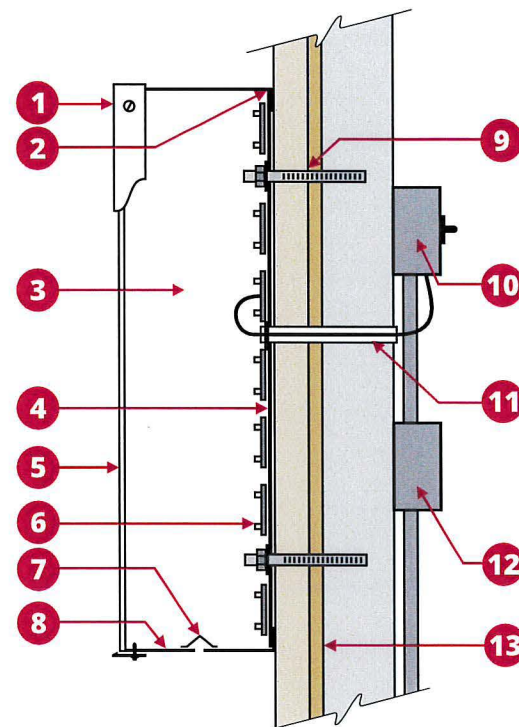
APPROVED

SIGNATURE

DATE

CUSTOMER	REDSTONE
LOCATION	7755 MONTGOMERY ROAD, SUITE 190, CINCINNATI, OH, 45236
SALES REP	WILLIAM YUSKO
PROJECT MGR.	CJ McDONALD
DRAWN BY	GREG ESSERT
DATE	1-27-2021
FILE NAME:	103108_REDSTONE_R1

FLUSH MOUNTED - FACE LIT CHANNEL LETTERS



- 1 FACE TRIM-CAP
- 2 SILICONE SEAL - TYPICAL
- 3 INTERIOR PAINTED WHITE
- 4 .063" ALUMINUM BACK
- 5 3/16" THICK ACRYLIC FACE
- 6 LED MODULES
- 7 WEEP HOLES (BAFFLES AS REQUIRED)
- 8 .040 ALUMINUM RETURN
- 9 SEE FASTENER SCHEDULE
- 10 LOW VOLTAGE LED POWER SUPPLY WITH DISCONNECT
- 11 METAL PASS-THRU WITH 16GA LOW VOLTAGE WIRE
- 12 20 AMP/120 VOLT JUNCTION BOX BY OTHERS
- 13 1 1/2" EIFS OVER 5/8" PLYWOOD ON STUDS @ 16" CC



FASTENER SCHEDULE

	TYPE	DIA.	SHEAR LBS.	EMBED	SPACING	FOR USE WITH
	THREADED ROD WITH SILICONE ADHESIVE	1/4"	900	1 1/2"	16" *MINIMUM OF 2 FASTENRS PER UNIT	CONCRETE, BRICK, CONCRETE BLOCK, OR EIFS