



Sycamore Township
Planning & Zoning

APPROVED

ZONING COMPLIANCE PLAN

Circle Storage Operating Company

ZONING CASE NUMBER: **2021-16MI**

APPROVAL DATE: **12/14/2021**

**SYCAMORE TOWNSHIP
ZONING COMPLIANCE PLAN
FOR**

11573 Deerfield Road, Sycamore Township

Date: 12/13/2021

Case No.: 2021-16MI

Zoning Compliance Plan for:

Circle Storage

11573 Deerfield Road
Cincinnati, Ohio 45242

Owner:

Circle Storage Operating Company I, LLC
10988 Deerfield Road
Blue Ash, Ohio 45242
(513) 842-2359

Architect:

Stinard Architecture, Inc.
217 South Erwin Street
Cartersville, GA 30120
(770) 842-2359

Engineer:

Abercrombie & Associates, Inc.
8111 Cheviot Road, Unit 200
Cincinnati, Ohio 45247
(513) 385-5757

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Sycamore Township Zoning Commission Case No.: 2021-16MI
Sycamore Township Resolution No.: 2020-78

Conditions:

1. A detailed landscape plan be submitted that meets all requirements of the Sycamore Township Zoning Resolution, including a detailed planting schedule, and offsite credits on adjoining parcels.
2. Sycamore Township Zoning Commission recommends approval of offsite parking and applicant provide an easement for required parking spaces.
3. Copies of the fully executed and recorded easements, including, parking, ingress/egress, and drainage shall be required for zoning compliance plan approval.
4. Township approval shall be conditioned on the successful approval of plan, as proposed, by the City of Blue Ash.
5. Any substantial alterations to the Blue Ash side of the plan shall be shown on the zoning compliance plan.
6. Applicant shall document existing trees, along the northern property line, within the area from the right-of-way line back to the building face. Any area that is within the boundary between the parcels, the applicant shall provide landscaping compliant with the Sycamore Township boundary buffers requirements.
7. Any PUD 2 approval should be noted to reference the revised site plan (Scheme "F") as received by Sycamore Township on October 29, 2020.



Deed of Acceptance

The owner of the property described herein does hereby make the following declarations which shall be deemed as covenants and restrictions that run with the land, and which shall be binding upon the owner, as well as the owner's heirs, executors, administrators, successors and assigns, and which are imposed upon the within described tract(s) of land as an obligation or charge against the same, and as a general plan for the benefit of said tract(s) of land. The tract(s) of land shown hereon is(are) developed under a plan ("Plan of Development") as specified in the Sycamore Township Zoning Resolution, adopted November 19, 1999, and which hereby is being updated. Said entire tract(s) of land and improvements thereon shall not be divided into individual lots or tracts, except in accordance with the Plan of Development, and the owner of the property described herein shall comply in all respects with the then existing rules and regulations contained in the Sycamore Township Zoning Resolution. We the undersigned do hereby adopt and confirm the Plan of Development as shown herein for the purposes indicated and agree to comply with all terms, covenants, conditions and restrictions included as part thereof.

[Signature] 12/13/21
Property Owner Signature & Date

Notary Seal and Signature Required

(This Deed of Acceptance must be notarized before it will be accepted into our offices)

**SWORN TO AND SUBSCRIBED BEFORE ME THIS
13TH DAY OF DECEMBER, 2021.**

Dennis Padker, Attorney at Law
Notary Public, State of Ohio
My commission has no expiration date
O.R.C. Section 147.03

[Signature]
NOTARY PUBLIC

GENERAL CONSTRUCTION NOTES

OVERALL:
APPROPRIATE UTILITY COMPANIES SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO BREAKING GROUND FOR THE PURPOSE OF VERIFYING BY FIELD INSPECTION, THE EXACT LOCATION OF UNDERGROUND UTILITIES.

THE CONTRACTOR SHALL EXERCISE DUE CARE DURING CONSTRUCTION SO AS NOT TO DESTROY ANY TREES, PLANTS, SHRUBS OR STRUCTURES OUTSIDE OF THE INDICATED WORK LIMITS AND THOSE NOT SPECIFICALLY MARKED FOR REMOVAL OR RELOCATION WITHIN THE WORK LIMITS.

ALL MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH "CONSTRUCTION AND MATERIAL SPECIFICATIONS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION".

UNLESS OTHERWISE NOTED ALL CONSTRUCTION DETAILS SHALL CONFORM WITH THE "STANDARD CONSTRUCTION DRAWINGS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION".

THE ENGINEER/SURVEYOR DOES NOT ASSUME ANY LIABILITY FOR THE LOCATION OF UTILITIES, INCLUDING INDIVIDUAL SERVICE LINES & PRIVATE MAINS NOT SHOWN ON PUBLIC RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXACTLY LOCATING AND PROTECTING ALL UTILITIES, BOTH ABOVE AND BELOW GROUND, THAT EXIST IN THE WORK AREA AND WHICH MAY COME IN CONFLICT WITH HIS OPERATIONS. ANY DAMAGE TO UTILITIES WHICH HAVE BEEN ACCURATELY LOCATED, WHICH IS CAUSED BY THE CONTRACTOR'S OPERATIONS, SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ASSISTANCE IN LOCATING UNDERGROUND UTILITIES CAN BE OBTAINED BY CONTACTING THE UTILITY COMPANIES AT THE LOCATIONS LISTED ON THIS PAGE. IF A DISCREPANCY IS FOUND TO EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

EACH INSTALLING CONTRACTOR IS RESPONSIBLE FOR THEIR OWN COORDINATION OF INSTALLATION OF THEIR SYSTEMS UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER, OR APPROPRIATE PARTY. ABERCROMBIE & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR CONTRACTOR MEANS & METHODS OF CONSTRUCTION ON DRAWINGS.

THE CONTRACTOR SHALL OBTAIN OR VERIFY THAT ALL PERMITS ARE OBTAINED.

THE CONTRACTOR SHALL VERIFY EXISTING SITE INFORMATION AND REQUIRED EARTHWORK. A GEOTECHNICAL INSPECTION IS RECOMMENDED AND ALL RECOMMENDATIONS IN THE GEOTECHNICAL REPORT SHALL BE FOLLOWED.

ALL PROPOSED SPOT ELEVATIONS ARE TO FINISHED GRADE.

TYPICAL PARKING SPACES ARE 9' WIDE AND 18' LONG, UNLESS OTHERWISE NOTED.

PAVEMENT MARKINGS TO BE HIGH SOLIDS, WATER BASED ACRYLIC PAINT CONTAINING ULTRAVIOLET RESISTANT PIGMENTS, LEAD & CHROMATE FREE, READY MIXED, COMPLYING WITH FTS II-PP-1952 WITH A DRYING TIME OF LESS THAN 45 MINUTES. PARKING & LAKE PARKERS STRIPING TO BE WHITE, HANDICAP SPACES TO BE BLUE, PEDESTRIAN CROSSING LANES & NO PARKING ZONES TO BE YELLOW. APPLY PAINT WITH MECHANICAL EQUIPMENT AT MANUFACTURER'S RECOMMENDATIONS & AT A MINIMUM WET FILM THICKNESS OF 15 MILS.

UTILITY SPECIFICATION:
ALL STORM SEWER TO BE PRIVATE, MAINTAINED BY THE OWNER AND BE CORRUGATED POLYETHYLENE SMOOTH LINED PIPE, CONFORMING TO ODOT ITEM 707.33 OR PVC CORRUGATED SMOOTH INTERIOR PIPE, CONFORMING TO ODOT ITEM 707.42 AND INSTALLED PER ODOT ITEM 603.

DOMESTIC AND IRRIGATION WATER SERVICE TO BE TYPE "K" COPPER, UNLESS OTHERWISE NOTED. FIRE LINE TO BE DUCTILE IRON CLASS 53 (O.D.O.T. ITEM 748.01) OR PVC ANMA C900, (ODOT ITEM 748.02) UNLESS OTHERWISE NOTED. FIRE HYDRANTS TO BE "MUELLER" OR "KENNEDY" OR APPROVED EQUAL.

PROPERLY SIZED THRUST BLOCKS SHALL BE PROVIDED FOR FIRE LINE AT EVERY CHANGE IN DIRECTION SUCH THAT IT PROVIDES ADEQUATE RESISTANCE TO MAINTAIN THE INTEGRITY OF THE JOINTS. SEE DETAILS ON PLANS FOR BLOCKING DETAILS.

ALL SANITARY SEWER PIPE SHALL BE P.V.C., SDR 35, ASTM D-3034.

UTILITY TRENCH BACKFILL SHALL BE PER THE DETAILS SHOWN ON THE PLANS.

EROSION CONTROL:
ALL EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY STRIPPING OF VEGETATION OR EXCAVATION.

EROSION CONTROL WILL BE ACCOMPLISHED BY STRATEGICALLY PLACING ROCK CHECK DAMS, MULCH, BERMS AND/OR SILT FENCES IN SWALES AND RUNOFF AREAS, SUCH ITEMS TO BE REPLACED AND EXPANDED AS NECESSARY TO AFFORD NECESSARY CONTROL.

SILT FENCES USED FOR EROSION AND SEDIMENT CONTROL ARE TO BE ENTRENCHED AT LEAST 6" INCHES BELOW GRADE, AND FOLDED ACCORDING TO THE DETAIL AS SHOWN.

ALL EROSION CONTROLS SHALL BE INSPECTED AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT PRODUCING GREATER THAN 1/2 INCH OF RAIN IN A 24 HOUR PERIOD. ALL EROSION CONTROLS MUST BE MAINTAINED DURING CONSTRUCTION BY REMOVING COMPACTED SILT AND SEDIMENT, AND REDISTRIBUTING IT AS IS APPROPRIATE. SEEDING AND MULCHING SHALL BE APPLIED IN ACCORDANCE WITH OHIO RAINWATER AND LAND DEVELOPMENT MANUAL TO ALL DISTURBED AREAS WITHIN 7 DAYS IF THE AREA IS AT FINAL GRADE OR IS TO REMAIN DORMANT FOR MORE THAN 14 DAYS.

ALL CATCH BASINS SHALL HAVE SEDIMENT INLET PROTECTION METHODS INSTALLED DURING CONSTRUCTION, USING THE DETAILS SHOWN ON THE PLAN.

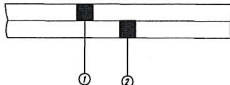
THE BOTTOM OF THE DETENTION BASIN SHALL BE BROUGHT BACK TO ORIGINAL GRADE AFTER CONSTRUCTION BY REMOVING ALL DEPOSITED SEDIMENT BEFORE THE BASIN IS SEEDED AND MULCHED.

DETENTION BASIN AND FILL AREAS GRASS SEED MIXTURE:

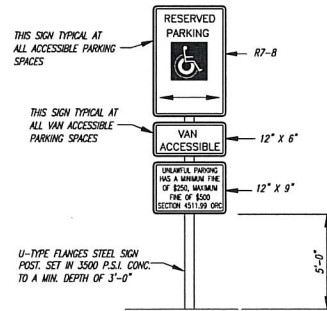
- 1/2 # RED FESCUE PER 1,000 SQUARE FEET
- 1/2 # BLUEGRASS PER 1,000 SQUARE FEET
- 1/2 # DOMESTIC PERGRASS PER 1,000 SQUARE FEET
- 2# PERENNIAL RYE PER 1,000 PER SQUARE FEET
- FERTILIZE WITH 12# OF 10-10-10 PER 1,000 SQUARE FEET
- MULCH WITH 3 BALES OF STRAW PER 1,000 SQUARE FEET

AN ASPHALT MULCH THE DOWN AT THE RATE OF 5 GALLONS PER 1,000 SQUARE FEET SHALL BE USED.

DUMPSTER PAD PAVEMENT DETAIL

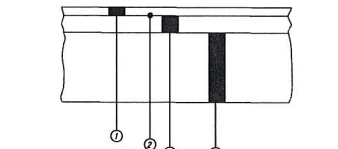


- ① 7" Unreinforced Concrete
- ② Item 304 6" Aggregate Base



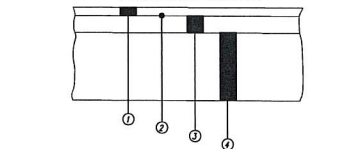
HANDICAP ACCESSIBLE PARKING SIGN

HEAVY DUTY PAVEMENT DETAIL

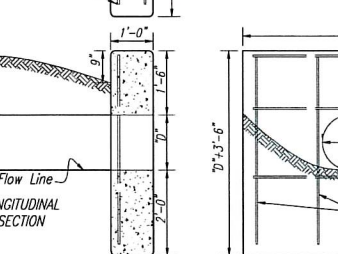
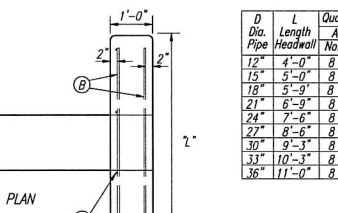


- ① Item 448 1 1/2" Asphalt Concrete Surface Course, Type 1 (PG 64-22)
- ② Item 407 Tack Coat
- ③ Item 448 3" Asphalt Concrete Intermediate Course (1 1/2" Courses) Type 2 (PG 64-22)
- ④ Item 304 6" Aggregate Base (4" Courses)

LIGHT DUTY PAVEMENT DETAIL



- ① Item 448 1 1/2" Asphalt Concrete Surface Course Type 1 (PG-64-22)
- ② Item 407 Tack Coat
- ③ Item 448 2" Asphalt Concrete Intermediate Course, Type 2 (PG-64-22)
- ④ Item 304 6" Aggregate Base (3" Courses)



REINFORCED CONCRETE HEADWALL

SYCAMORE TOWNSHIP ZONING COMPLIANCE PLAN FOR CIRCLE STORAGE

RECEIVED
DEC 06 2021
SYCAMORE TWP. 11573 DEERFIELD ROAD
CITY OF BLUE ASH, SYCAMORE TOWNSHIP
HAMILTON COUNTY, OHIO

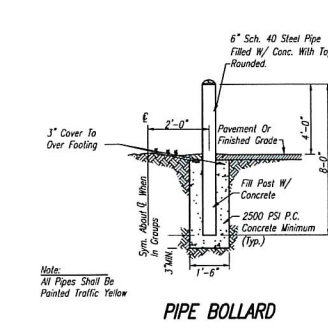
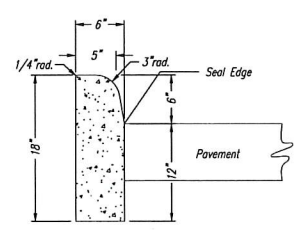


VICINITY MAP

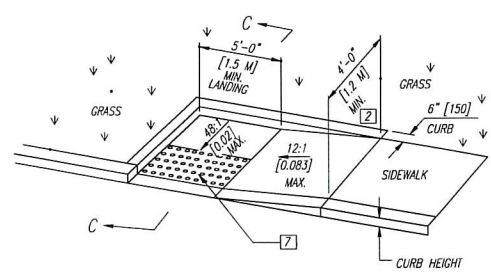
SHEET INDEX:

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SHEET 5	UTILITY PLAN
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SHEET 7	LANDSCAPE PLAN
SHEET 8	PARKING PLAN
SHEET 9	FLOOR PLANS
SHEET 10	BUILDING ELEVATIONS

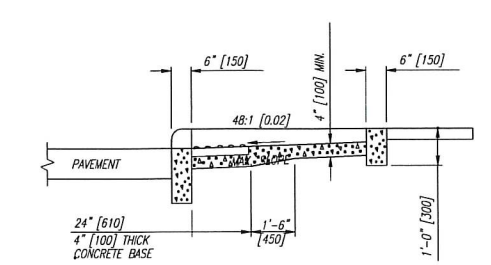
TYPE 6 CONCRETE CURB



PIPE BOLLARD

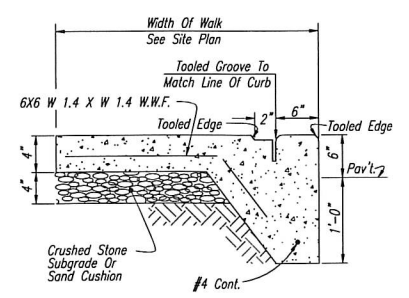


PARALLEL CURB RAMP DETAIL Type B1 (Single Sided Parallel)



SECTION C-C

SIDEWALK DETAIL



LEGEND

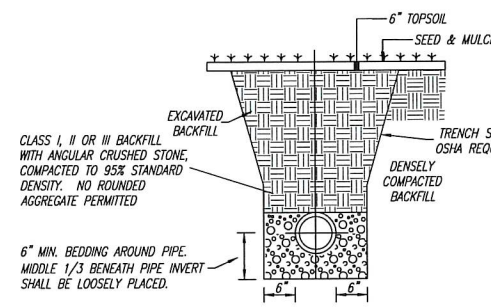
1. May be reduced to 3'-0" [915] in existing sidewalks if the landing is unconstrained along the back edge.
2. May be reduced to 3'-4" [1.02 m] in existing sidewalks to better fit the walk configuration or where site conditions are restricted by narrow walks, pole foundations, drainage inlets, etc. The width may be tapered.
3. Where landing width (D) has been reduced to 3'-0" [915] the flared sides shall have a maximum slope of 12:1 [0.083].
Flared sides are not required where the edges of a curb ramp are protected by landscaping or other barriers to travel by wheel chair users or pedestrians across the edge of the curb ramp. However, if the flared sides are used in these areas, they may be of any slope.
4. The minimum length of a perpendicular ramp is 6' [2.0 m] from the back of a 6" [150] curb and may be increased where feasible to obtain a flatter ramp slope or to better blend with the walk configuration.
5. Gutter counter slopes at the foot of perpendicular curb ramps should not exceed 20:1 [0.05] over a distance of 2'-0" [610] from the curb.
6. Detectable Warnings (fruncated domes) are to be installed in the location shown. Dimensions of the domes are 24" [610] from the back of the curb by the width of the ramp.

SYCAMORE TOWNSHIP ZONING COMMISSION CASE NO.: 2021-16M
SYCAMORE TOWNSHIP RESOLUTION NO.: 2020-78
CONDITIONS:

EXHIBIT A

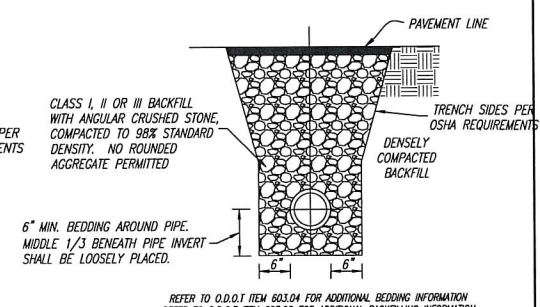
1. A DETAILED LANDSCAPE PLAN BE SUBMITTED THAT MEETS ALL REQUIREMENTS OF THE SYCAMORE TOWNSHIP ZONING RESOLUTION, INCLUDING A DETAILED PLANTING SCHEDULE, AND OFFSITE CREDITS ON ADJOINING PARCELS.
2. SYCAMORE TOWNSHIP ZONING COMMISSION RECOMMENDS APPROVAL OF OFFSITE PARKING AND APPLICANT PROVIDE AN EASEMENT FOR REQUIRED PARKING SPACES.
3. COPIES OF THE FULLY EXECUTED AND RECORDED EASEMENTS, INCLUDING, PARKING, INGRESS/EGRESS, AND DRAINAGE SHALL BE REQUIRED FOR ZONING COMPLIANCE PLAN APPROVAL.
4. TOWNSHIP APPROVAL SHALL BE CONDITIONED ON THE SUCCESSFUL APPROVAL OF PLAN, AS PROPOSED, BY THE CITY OF BLUE ASH.
5. ANY SUBSTANTIAL ALTERATIONS TO THE BLUE ASH SIDE OF THE PLAN SHALL BE SHOWN ON THE ZONING COMPLIANCE PLAN.
6. APPLICANT SHALL DOCUMENT EXISTING TREES, ALONG THE NORTHERN PROPERTY LINE, WITHIN THE AREA FROM THE RIGHT-OF-WAY LINE BACK TO THE BUILDING FACE. ANY AREA THAT IS WITHIN THE BOUNDARY BETWEEN THE PARCELS, THE APPLICANT SHALL PROVIDE LANDSCAPING COMPLIANT WITH THE SYCAMORE TOWNSHIP BOUNDARY BUFFERS REQUIREMENTS.
7. ANY PLD 2 APPROVAL SHOULD BE NOTED TO REFERENCE THE REVISED SITE PLAN (SCHEME "7") AS RECEIVED BY SYCAMORE TOWNSHIP ON OCTOBER 29, 2020.

STANDARD UTILITY TRENCH FOR PIPES NOT UNDER PAVEMENT



REFER TO O.D.O.T. ITEM 603.04 FOR ADDITIONAL BEDDING INFORMATION
REFER TO O.D.O.T. ITEM 603.08 FOR ADDITIONAL BACKFILLING INFORMATION

STANDARD UTILITY TRENCH FOR PIPES UNDER PAVEMENT



REFER TO O.D.O.T. ITEM 603.04 FOR ADDITIONAL BEDDING INFORMATION
REFER TO O.D.O.T. ITEM 603.08 FOR ADDITIONAL BACKFILLING INFORMATION

DEED OF ACCEPTANCE

THE OWNER OF THE PROPERTY DESCRIBED HEREIN DOES HEREBY MAKE THE FOLLOWING DECLARATIONS WHICH SHALL BE DEEMED AS COVENANTS AND RESTRICTIONS THAT RUN WITH THE LAND, AND WHICH SUCCESSORS AND ASSIGNS, AND WHICH ARE IMPOSED UPON THE WITHIN DESCRIBED TRACT(S) OF LAND AS AN OBLIGATION OR CHARGE AGAINST THE SAME, AND AS A GENERAL PLAN FOR THE BENEFIT OF SAID TRACT(S) OF LAND. THE TRACT(S) OF LAND SHOWN HEREON IS(ARE) DEVELOPED UNDER A PLAN ("PLAN OF DEVELOPMENT") AS SPECIFIED IN THE SYCAMORE TOWNSHIP ZONING RESOLUTION, ADOPTED NOVEMBER 19, 1999, AND WHICH HEREBY IS BEING UPDATED. SAID ENTIRE TRACT(S) OF LAND AND IMPROVEMENTS THEREON SHALL NOT BE DIVIDED INTO INDIVIDUAL LOTS OR TRACTS, EXCEPT IN ACCORDANCE WITH THE PLAN OF DEVELOPMENT, AND THE OWNER OF THE PROPERTY DESCRIBED HEREIN SHALL COMPLY IN ALL RESPECTS WITH THE THEN EXISTING RULES AND REGULATIONS CONTAINED IN THE SYCAMORE TOWNSHIP ZONING RESOLUTION. WE THE UNDERSIGNED DO HEREBY ADOPT AND CONFIRM THE PLAN OF DEVELOPMENT AS SHOWN HEREIN FOR THE PURPOSES INDICATED AND AGREE TO COMPLY WITH ALL TERMS, COVENANTS, CONDITIONS AND RESTRICTIONS INCLUDED AS PART THEREOF.

PROPERTY OWNER SIGNATURE & DATE

NOTARY SIGNATURE & SEAL

SUMMARY TABLE:

SYCAMORE TOWNSHIP PROPERTY AREAS:
GROSS AREA = 1.02 ACRES
R/W AREA = 0.00 ACRES
NET AREA = 1.02 ACRES

BLUE ASH PROPERTY AREA:
NET AREA = 1.14 ACRES

FACILITY DESCRIPTION:
THE USE OF THE FACILITY IS INDOOR MINI-STORAGE FACILITY.

PARKING SUMMARY:
REQUIRED PARKING = 3 SPACES + 1 PER 100
INDIVIDUAL STORAGE UNITS = 7 SPACES
PROVIDED PARKING = 11 SPACES

IMPERVIOUS SURFACE AREA (ISR):
TOTAL IMPERVIOUS AREA = 0.93 ACRES
TOTAL NET AREA = 2.16 ACRES
TOTAL ISR = 0.93 / 2.16 = 43%

SYCAMORE TWP. NET AREA = 1.02 ACRES
SYCAMORE TWP. IMPERVIOUS = 0.70 ACRES
SYCAMORE TWP. ISR = 0.70 / 1.02 = 69%

OWNER/DEVELOPER
CIRCLE STORAGE OPERATING COMPANY I, LLC
10988 DEERFIELD ROAD
BLUE ASH, OHIO 45242
(513) 842-2359

ARCHITECT
STINARD ARCHITECTURE, INC.
217 SOUTH ERWIN ST.
CARTERSVILLE, GA 30120
(770) 425-7400

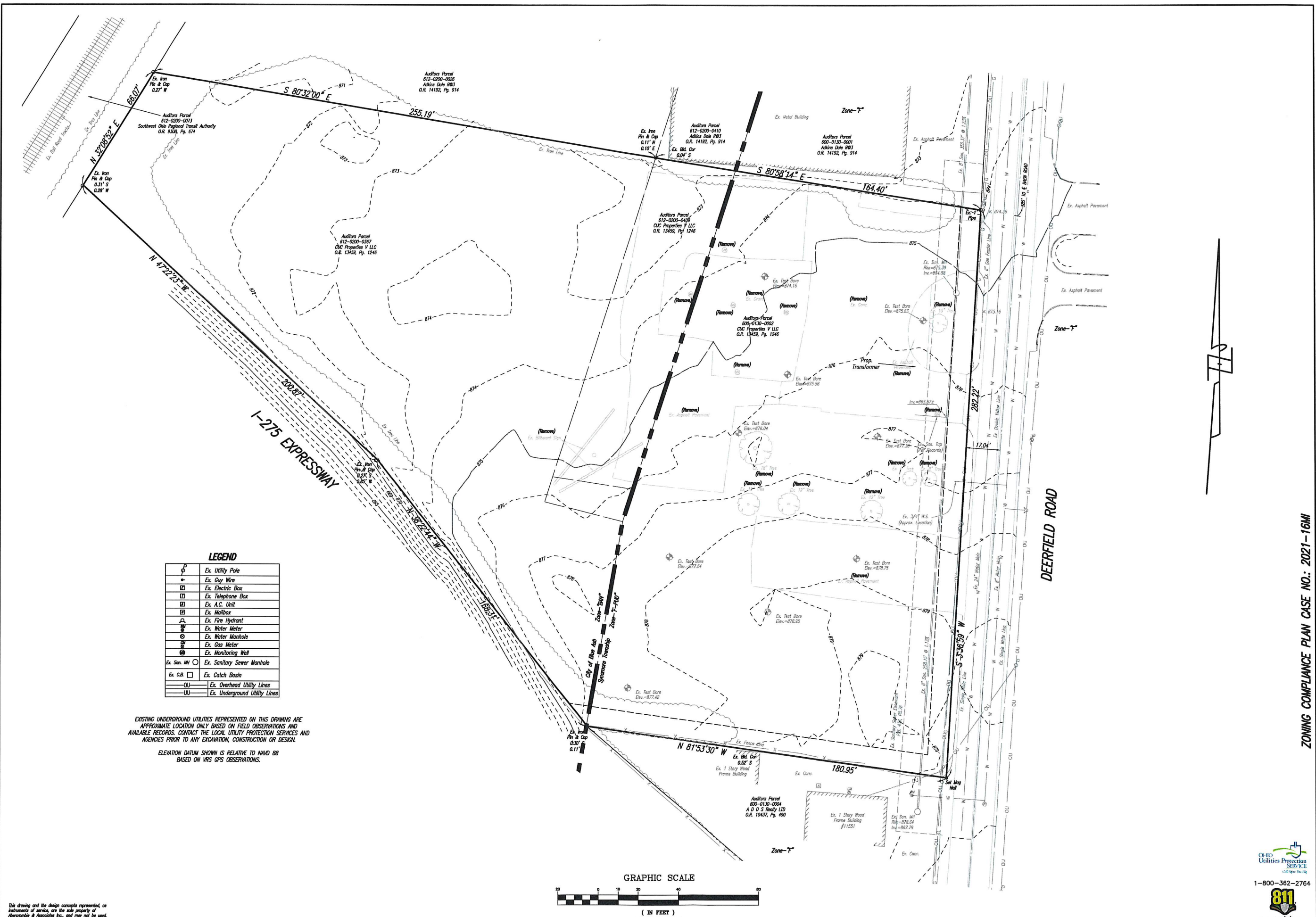


1-800-362-2764
811
Know what's below. Call before you dig.

ZONING COMPLIANCE PLAN CASE NO.: 2021-16M

Sheet Title	11-30-21
Project Title	CIRCLE STORAGE
Section	SECTION-12, TOWN-4, E-RANGE-1
City	CITY OF BLUE ASH, SYCAMORE TOWNSHIP
County	HAMILTON COUNTY, OHIO
Scale	NONE
Drawn By	B.P.
Checked By	C.A.
Scale	NONE
Project No.	DSGM(BP-ZCPL)
Job No.	21-0161
Sheet No.	1
Total Sheets	10

Abercrombie & Associates, Inc.
Civil Engineering + Surveying
11573 Deerfield Road, Suite 200
Blue Ash, Ohio 45242
513-365-9797
www.aberacrombie-associates.com

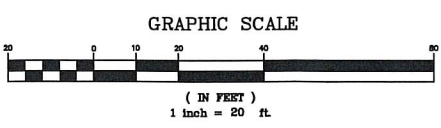


LEGEND

	Ex. Utility Pole
	Ex. Guy Wire
	Ex. Electric Box
	Ex. Telephone Box
	Ex. A.C. Unit
	Ex. Mailbox
	Ex. Fire Hydrant
	Ex. Water Meter
	Ex. Water Manhole
	Ex. Gas Meter
	Ex. Monitoring Well
	Ex. Sanitary Sewer Manhole
	Ex. Catch Basin
	Ex. Overhead Utility Lines
	Ex. Underground Utility Lines

EXISTING UNDERGROUND UTILITIES REPRESENTED ON THIS DRAWING ARE APPROXIMATE LOCATION ONLY BASED ON FIELD OBSERVATIONS AND AVAILABLE RECORDS. CONTACT THE LOCAL UTILITY PROTECTION SERVICES AND AGENCIES PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DESIGN.

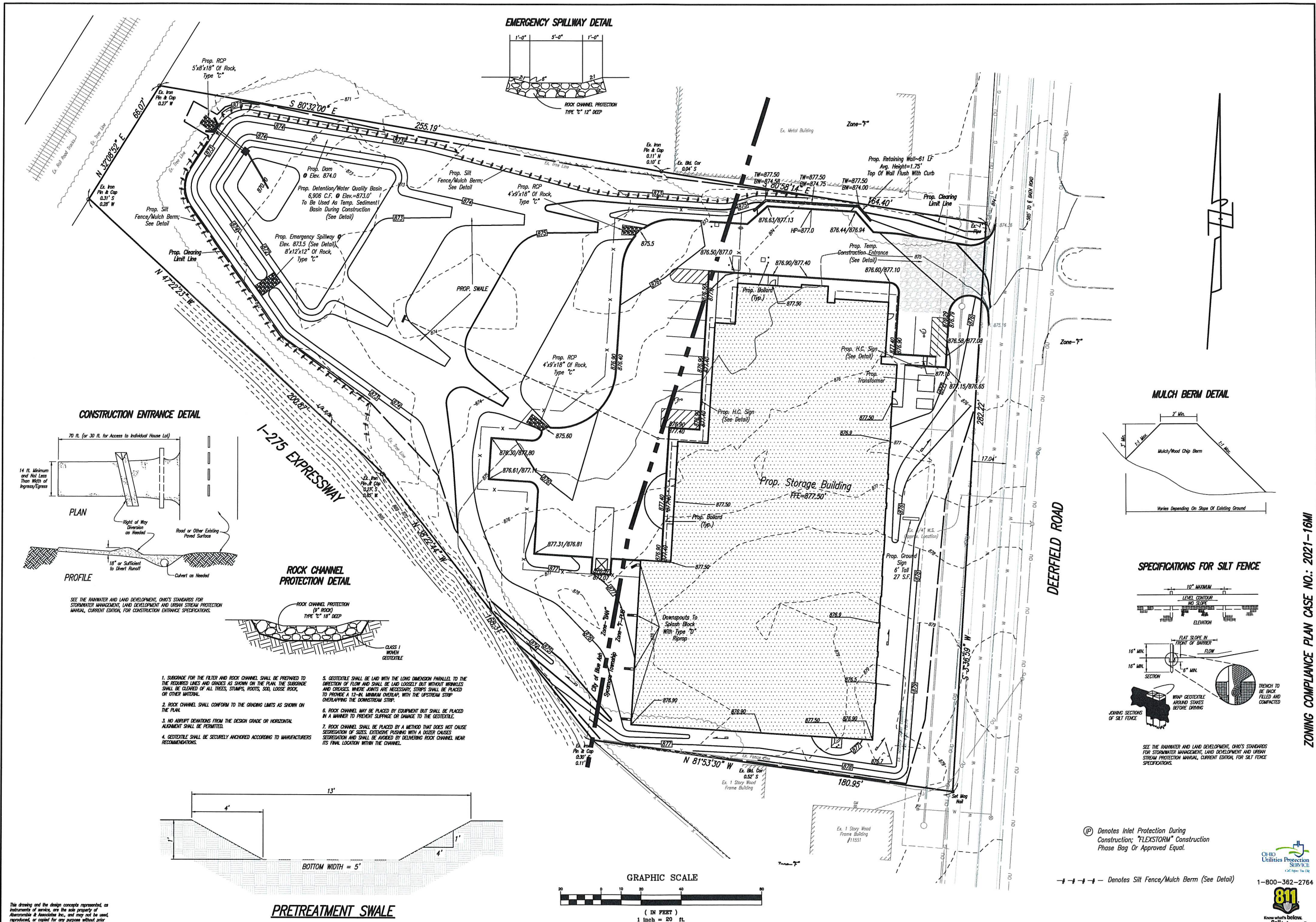
ELEVATION DATUM SHOWN IS RELATIVE TO NAVD 88 BASED ON VRS GPS OBSERVATIONS.



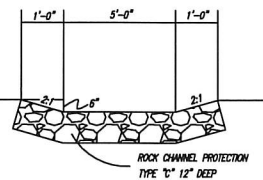
ZONING COMPLIANCE PLAN CASE NO.: 2021-16MI

Date: 11-30-21	Drawn By: B.P.	Checked By: C.A.	Scale: 1" = 20'	
REVISIONS				DWG: DSGN\BP-ZCPL
Sheet Title: EX. CONDITIONS & DEMO PLAN	CIRCLE STORAGE SECTION-12, TOWN-4, E-RANGE-1 CITY OF BLUE ASH, SYCAMORE TOWNSHIP HAMILTON COUNTY, OHIO			
Drawn Title: EX. CONDITIONS & DEMO PLAN	Abercrombie & Associates, Inc. Civil Engineering + Surveying 513-362-2764 www.aberacrombie-associates.com			
Project Title: EX. CONDITIONS & DEMO PLAN	 1-800-362-2764 Know where below. Call before you dig.			
Job No.: 21-0161	2	10		

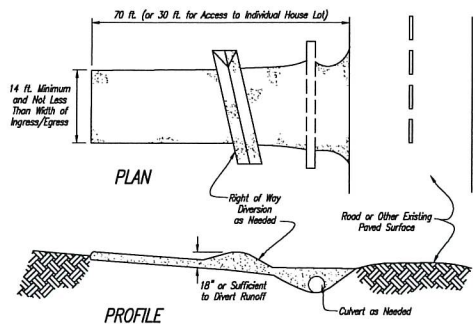
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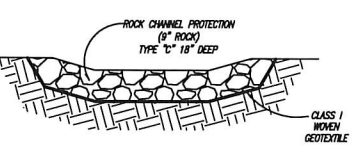
EMERGENCY SPILLWAY DETAIL



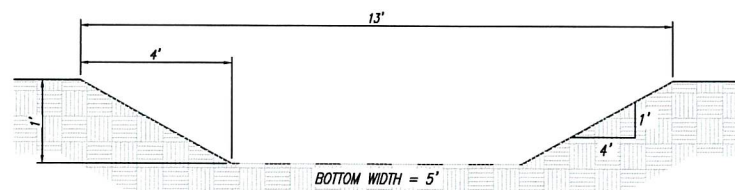
CONSTRUCTION ENTRANCE DETAIL



ROCK CHANNEL PROTECTION DETAIL

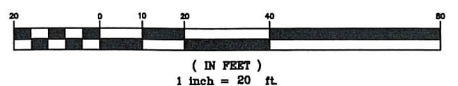


- SUBGRADE FOR THE FILTER AND ROCK CHANNEL SHALL BE PREPARED TO THE REQUIRED LINES AND GRADES AS SHOWN ON THE PLAN. THE SUBGRADE SHALL BE CLEARED OF ALL TREES, STUMPS, ROOTS, SOIL, LOOSE ROCK, OR OTHER MATERIAL.
- ROCK CHANNEL SHALL CONFORM TO THE GRADING LIMITS AS SHOWN ON THE PLAN.
- NO SHORT CUTS FROM THE DESIGN GRADE OR HORIZONTAL ALIGNMENT SHALL BE PERMITTED.
- GEOTEXTILE SHALL BE SECURELY ANCHORED ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
- GEOTEXTILE SHALL BE LAID WITH THE LONG DIMENSION PARALLEL TO THE DIRECTION OF FLOW AND SHALL BE LAID LOOSELY BUT WITHOUT WRINKLES AND CREASES. WHERE JOINTS ARE NECESSARY, STRIPS SHALL BE PLACED TO PROVIDE A 12-INCH MINIMUM OVERLAP WITH THE UPSTREAM STRIP OVERLAPPING THE DOWNSTREAM STRIP.
- ROCK CHANNEL MAY BE PLACED BY EQUIPMENT BUT SHALL BE PLACED IN A MANNER TO PREVENT SLIPPAGE OR DAMAGE TO THE GEOTEXTILE.
- ROCK CHANNEL SHALL BE PLACED BY A METHOD THAT DOES NOT CAUSE SEGREGATION OF SIZES. EXTENSIVE PUSHING WITH A DOZER CAUSES SEGREGATION AND SHALL BE AVOIDED BY DELINEATING ROCK CHANNEL NEAR ITS FINAL LOCATION WITHIN THE CHANNEL.

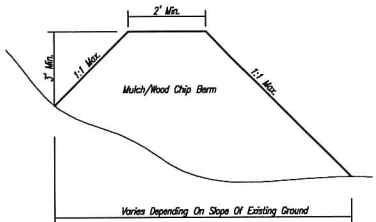


PRETREATMENT SWALE

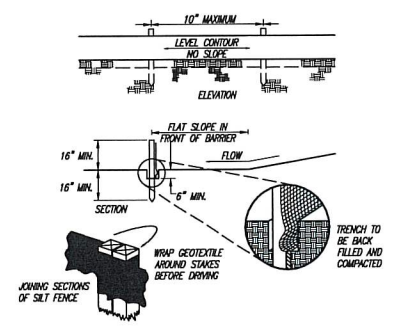
GRAPHIC SCALE



MULCH BERM DETAIL



SPECIFICATIONS FOR SILT FENCE



Ⓟ Denotes Inlet Protection During Construction; "FLEXSTORM" Construction Phase Bag Or Approved Equal.

--- Denotes Silt Fence/Mulch Berm (See Detail)



1-800-362-2764

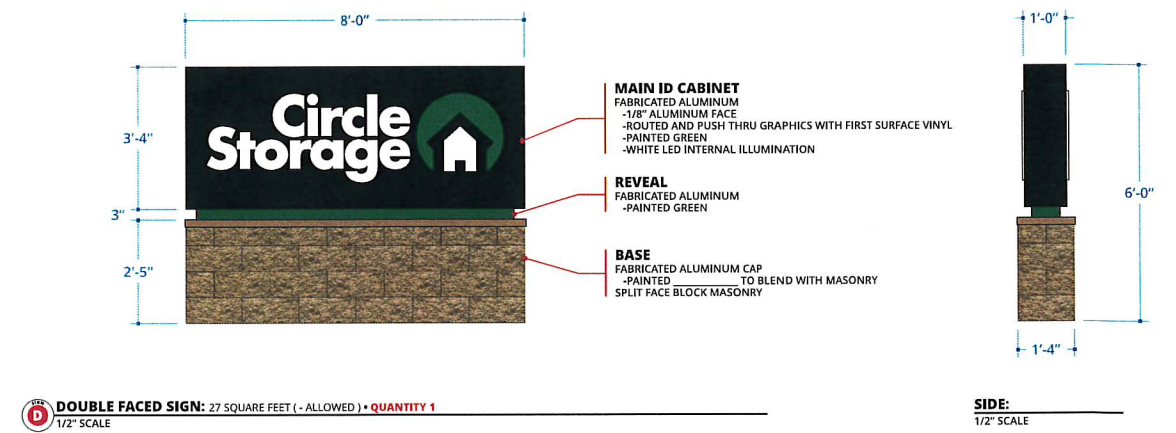
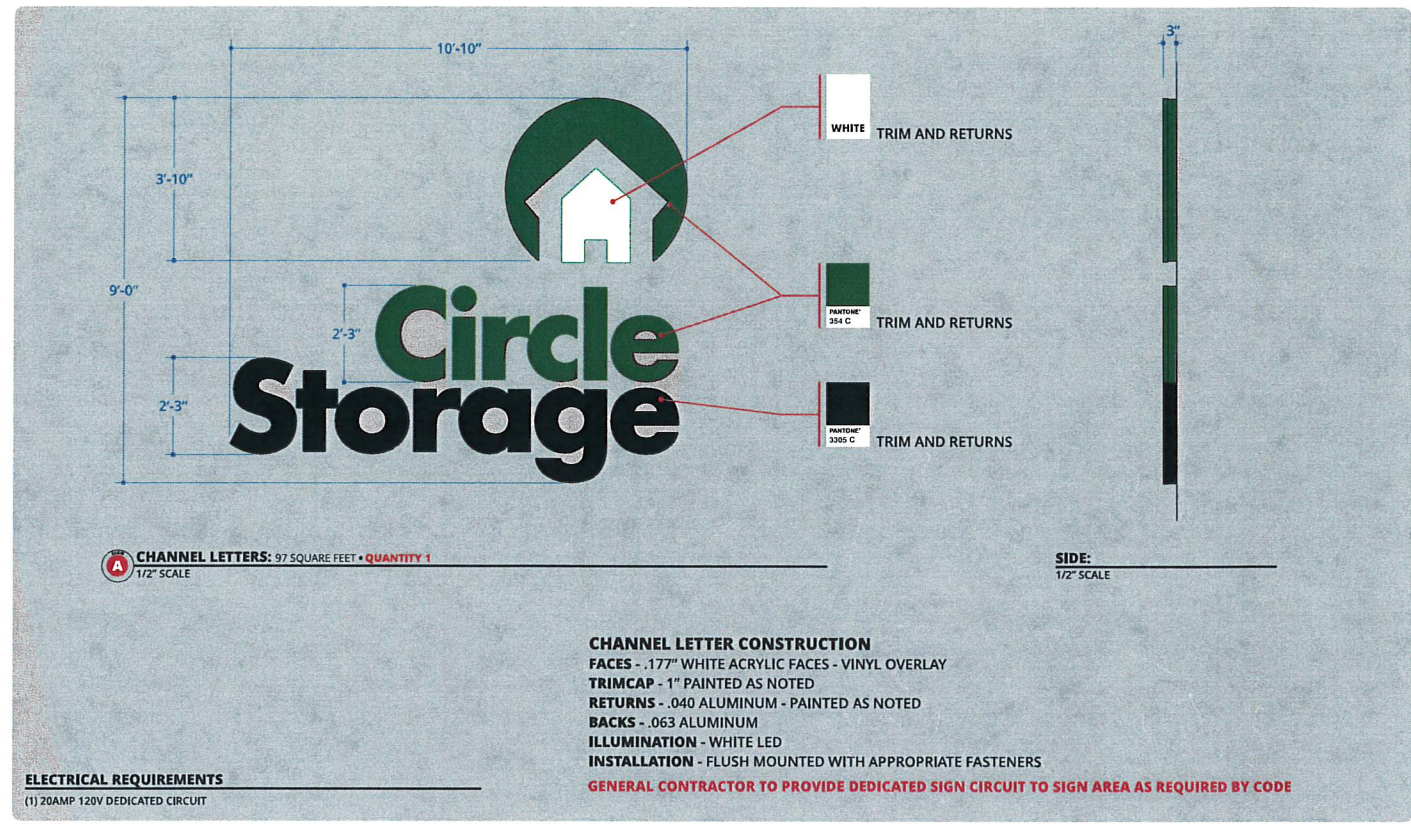


Know what's below. Call before you dig.

ZONING COMPLIANCE PLAN CASE NO.: 2021-16M

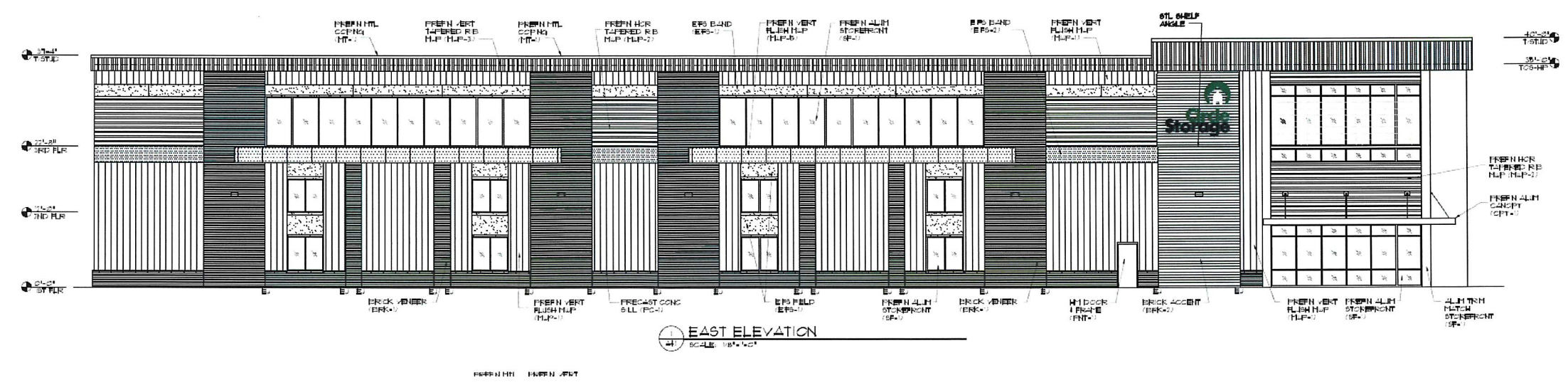
Sheet No.	11-30-21
Drawn By	B.P.
Checked By	C.A.
Scale	1" = 20'
REVISIONS	
Project Title	GRADING PLAN
Project No.	CIRCLE STORAGE SECTION-12, TOWN-4, RANGE-1
	CITY OF BLUE ASH, SYCAMORE TOWNSHIP HAMILTON COUNTY, OHIO
Client	Abercrombie & Associates, Inc.
	Civil Engineering + Surveying 8111 Cleveland Road, Suite 200 Cincinnati, Ohio 45247 513-388-5727 www.abercombie-associates.com
Job No.	21-0161
	4
	10

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COLORS USED

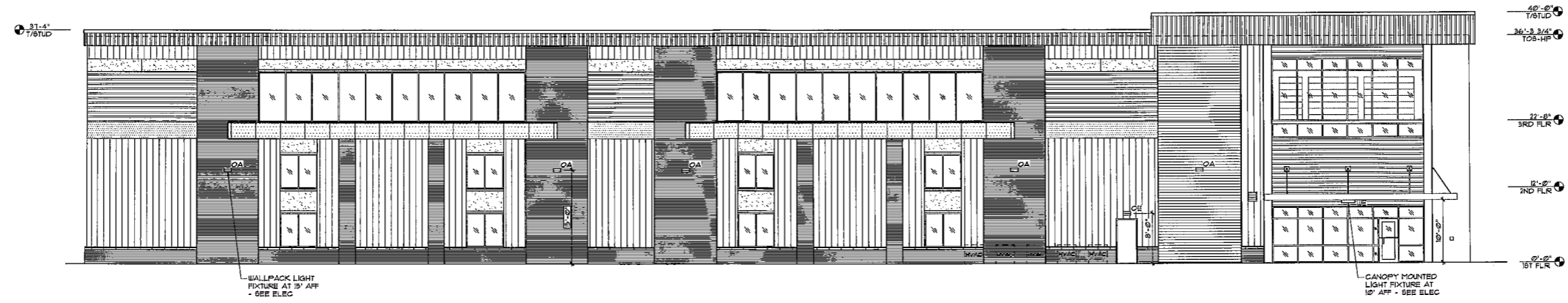
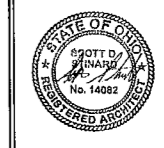
PANTONE	PANTONE
3305 Green	354 Green



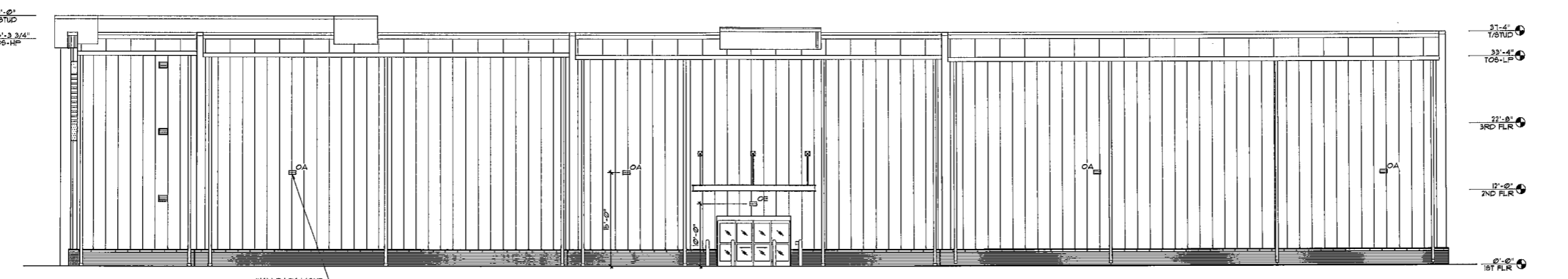
ZONING COMPLIANCE PLAN

CASE NUMBER 2021-16MI

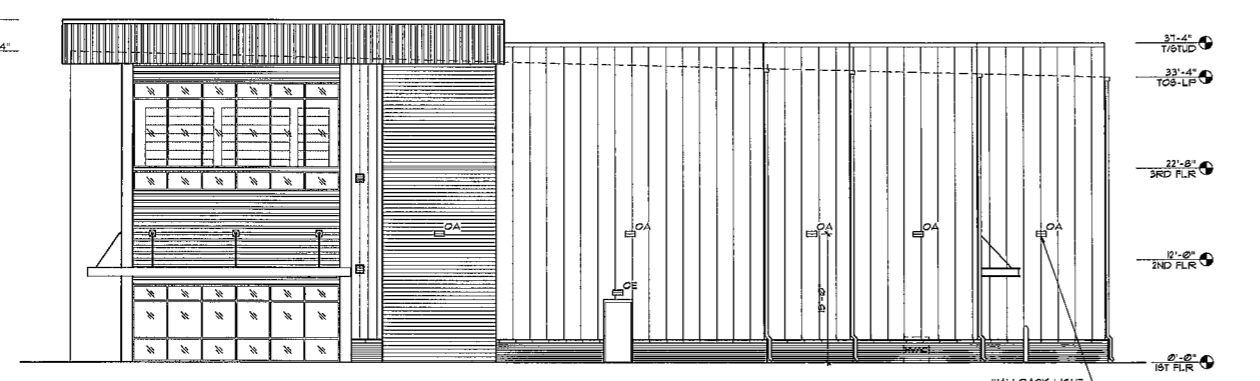
CIRCLE STORAGE
11573 DEERFIELD ROAD
SYCAMORE TOWNSHIP
BLUE ASH, OHIO
SHEET NUMBER 6 OF 10



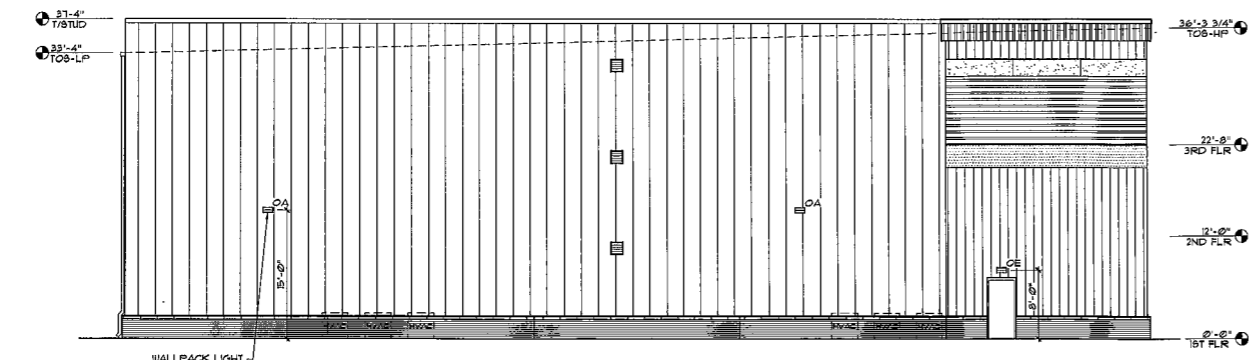
1 EAST ELEVATION
SCALE: 1/8"=1'-0"



2 WEST ELEVATION
SCALE: 1/8"=1'-0"



3 NORTH ELEVATION
SCALE: 1/8"=1'-0"



4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

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Circle Self Storage
11573 Deerfield Rd.
Cincinnati, Ohio 45242



ISSUE: FOR CONSTRUCTION REVISIONS:

PROJECT NUMBER: 202125
DATE: 11-19-21

SHEET NUMBER: A4.2


ZONING COMPLIANCE PLAN
CIRCLE STORAGE
CASE #2021-16MI
SITE LIGHTING
SHEET 6a OF 10

LIGHT SCHEDULE

SYMBOL	LOCATION	COLOR
□	EXTERIOR WALL PACK	BLACK
□	CANOPY MOUNTED FIXTURE	BLACK

OA LIGHT FIXTURE

D-Series Size 2 LED Wall Luminaire



Specifications

Back Box (BDD): 100mm x 100mm x 100mm

Depth: 100mm

Height: 100mm

Width: 100mm

Style Capable Luminaire

The D-Series is an adjustable luminaire with the following features:

- Adjustable luminaire head
- Adjustable luminaire tail
- Adjustable luminaire arm
- Adjustable luminaire base
- Adjustable luminaire mounting

Ordering Information

EXAMPLE: OSW2 LED 200 40K T8M VOLT 000120

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

Ordering Information

EXAMPLE: OSW2 LED 200 40K T8M VOLT 000120

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

Performance Data

Lumen Output

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

Performance Data

Lumen Output

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

Electrical Load

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

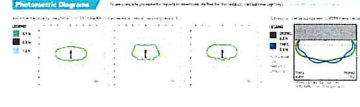
Projected LED Lumen Maintenance

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

PHI Data

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

Photometric Diagrams



FEATURES & SPECIFICATIONS

Features:

- Adjustable luminaire head
- Adjustable luminaire tail
- Adjustable luminaire arm
- Adjustable luminaire base
- Adjustable luminaire mounting

Specifications:

- Back Box (BDD): 100mm x 100mm x 100mm
- Depth: 100mm
- Height: 100mm
- Width: 100mm

Performance Data

Lumen Output

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

Performance Data

Lumen Output

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

Electrical Load

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

Projected LED Lumen Maintenance


Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

PHI Data

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

OE LIGHT FIXTURE

D-Series Size 1 LED Wall Luminaire



Specifications

Back Box (BDD): 100mm x 100mm x 100mm

Depth: 100mm

Height: 100mm

Width: 100mm

Style Capable Luminaire

The D-Series is an adjustable luminaire with the following features:

- Adjustable luminaire head
- Adjustable luminaire tail
- Adjustable luminaire arm
- Adjustable luminaire base
- Adjustable luminaire mounting

Ordering Information

EXAMPLE: OSW1 LED 200 40K T8M VOLT 000120

Part No.	Part Description	Part No.	Part Description
OSW1	OSW1 LED 200 40K T8M VOLT 000120	OSW1	OSW1 LED 200 40K T8M VOLT 000120

Performance Data

Lumen Output

Part No.	Part Description	Part No.	Part Description
OSW1	OSW1 LED 200 40K T8M VOLT 000120	OSW1	OSW1 LED 200 40K T8M VOLT 000120

Performance Data

Lumen Output

Part No.	Part Description	Part No.	Part Description
OSW1	OSW1 LED 200 40K T8M VOLT 000120	OSW1	OSW1 LED 200 40K T8M VOLT 000120

Electrical Load

Part No.	Part Description	Part No.	Part Description
OSW1	OSW1 LED 200 40K T8M VOLT 000120	OSW1	OSW1 LED 200 40K T8M VOLT 000120

Projected LED Lumen Maintenance

Part No.	Part Description	Part No.	Part Description
OSW1	OSW1 LED 200 40K T8M VOLT 000120	OSW1	OSW1 LED 200 40K T8M VOLT 000120

PHI Data

Part No.	Part Description	Part No.	Part Description
OSW1	OSW1 LED 200 40K T8M VOLT 000120	OSW1	OSW1 LED 200 40K T8M VOLT 000120

WE LIGHT FIXTURE

4762 SERIES Ceiling Mount Linear LED



Highlights

- Adjustable luminaire head
- Adjustable luminaire tail
- Adjustable luminaire arm
- Adjustable luminaire base
- Adjustable luminaire mounting

Ordering Information

EXAMPLE: OSW2 LED 200 40K T8M VOLT 000120

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

Ordering Information

EXAMPLE: OSW2 LED 200 40K T8M VOLT 000120

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

ELECTRICAL LOAD

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

LUMEN MAINTENANCE TEMPERATURE COEFFICIENTS

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

PERFORMANCE DATA

LUMEN OUTPUT

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

MOTION SENSING

PHI Data

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

HYDREL

ORDERING INFORMATION

EXAMPLE: OSW2 LED 200 40K T8M VOLT 000120

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

ELECTRICAL LOAD

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

LUMEN MAINTENANCE TEMPERATURE COEFFICIENTS

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

ORDERING INFORMATION

EXAMPLE: OSW2 LED 200 40K T8M VOLT 000120

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

ELECTRICAL LOAD

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

LUMEN MAINTENANCE TEMPERATURE COEFFICIENTS

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

PERFORMANCE DATA

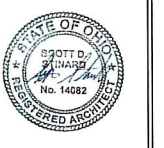
LUMEN OUTPUT

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120

MOTION SENSING

PHI Data

Part No.	Part Description	Part No.	Part Description
OSW2	OSW2 LED 200 40K T8M VOLT 000120	OSW2	OSW2 LED 200 40K T8M VOLT 000120



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Cincinnati, Ohio 45242



ISSUE: FOR CONSTRUCTION REVISIONS:

PROJECT NUMBER: 202125
DATE: 11-19-21

SHEET NUMBER: A4.3

ZONING COMPLIANCE PLAN
CIRCLE STORAGE
CASE #2021-16MI
LIGHTING SPECS
SHEET 6b OF 10

GENERAL INFORMATION

TOTAL SITE AREA = 2.16 ACRES (BOTH JURISDICTIONS)
 TOTAL SITE IMPERVIOUS AREA: 40,713 S.F. / 94,281 S.F. TOTAL SITE = 43.18% I.S.R.

SYCAMORE TOWNSHIP ZONING

SYCAMORE TOWNSHIP SITE AREA = 1.02 ACRES (44,378 S.F.)
 ZONING = "F" INDUSTRIAL DISTRICT
 IMPERVIOUS SURFACE: 30,510 IMPERVIOUS S.F. / 44,378 S.F. TOTAL SITE = 68.75% I.S.R.
 PROPOSED DEVELOPMENT AND ADJACENT PROPERTY WOULD BE CLASSIFIED AS LAND USE "TYPE IV" (PER TABLE 14A) BOUNDARY BUFFER TYPE "A" TO BE USED (PER TABLE 14B)

SYCAMORE TOWNSHIP BUFFER YARDS PER FIGURE 14A & FIGURE 14C			
BUFFER TYPE	MINIMUM WIDTH OF BUFFER	LANDSCAPE MATERIAL REQUIREMENTS PER 100 LF	
		CANOPY TREES	SHRUBS
STREETSCAPE	10'-0"	3.3	10
BOUNDARY BUFFER	10'-0"	5	15

CITY OF BLUE ASH ZONING

BLUE ASH SITE AREA = 1.14 ACRES (49,903 S.F.)
 ZONING = "BAN" BLUE ASH NORTH DISTRICT
 IMPERVIOUS SURFACE: 10,203 IMPERVIOUS S.F. / 49,903 S.F. TOTAL SITE = 20.45% I.S.R.
 INTERNAL PARKING AND CIRCULATION AREA = 4,651 S.F.
 REQUIRED PARKING LANDSCAPING AREA = 4,651 x 5% = 232.55 S.F.

GENERAL PLANTING NOTES

- *CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL LINES MARKED PRIOR TO COMMENCING WORK.
- *PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."
- *FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPORTING OR ROOT PRUNING PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- *PROVIDE TREES AND SHRUBS OF SIZES AND GRADES COMPLYING WITH ANSI Z60.1 FOR TYPE OF TREES AND SHRUBS REQUIRED. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- *IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.
- *LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- *LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- *TOPSOIL SHALL BE ASTM D 5288, PH RANGE OF 5.5 TO 7, A MINIMUM OF 4 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- *COMPOST SHALL BE WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8, MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH ONE INCH SIEVE, SOLUBLE SALT CONTENT OF 9 TO 10 DECISEMENS/CM; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
- *FERTILIZER TO BE SLOW-RELEASE, GRANULAR OR PELLETED CONSISTING OF 50 PERCENT WATER-SOLUBLE NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED FOR TYPE OF PLANT BEING GROWN.

- PREPARATION AND PLANTING**
- *LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. IF A PLANT IS SHOWN ON THE PLAN WITHIN THREE FEET OF AN UNDERGROUND UTILITY, NOTIFY LANDSCAPE ARCHITECT FOR ADJUSTMENT INSTRUCTIONS.
 - *PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWS AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
 - *PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
 - *LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
 - *TREES SHALL BE SITED IN FIELD BY LANDSCAPE ARCHITECT WHERE NOTED ON PLANS.
 - *ALL PLANTING BEDS ARE TO BE PREPARED AS FOLLOWS:
 - LOOSEN SUBGRADE TO A DEPTH OF 4" - 6". REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - SPREAD COMPOST AT A DEPTH OF 4" - 6" AND TILL WITH LOOSENED SUBGRADE, MIXING THOROUGHLY.
 - GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADE.
 - EDGE BEDS 3" - 4" DEEP (SEE DETAIL).

- ADDITIONAL PREPARATION FOR PERENNIAL BEDS**
- *PROVIDE A TOTAL OF 6" OF COMPOST AND 3" UNSPREDDED TOPSOIL, THOROUGHLY BLEND MIXTURE, DO NOT COMPACT. MULCH WITH MINI PINE NUGGETS, 100% COVERAGE. LANDSCAPE ARCHITECT TO OBSERVE AND APPROVE.
 - *ALL PLANTS ARE TO BE INSTALLED WITH ORGANIC BIO-TONE STARTER (A MYCORRHIZAL FUNGI STIMULANT).
 - *AND TRICHODERMA ABSORBENT GEL PER MANUFACTURER'S SPECIFICATIONS ON INSTALLATION MEANS AND METHODS AND APPLICATION RATES.

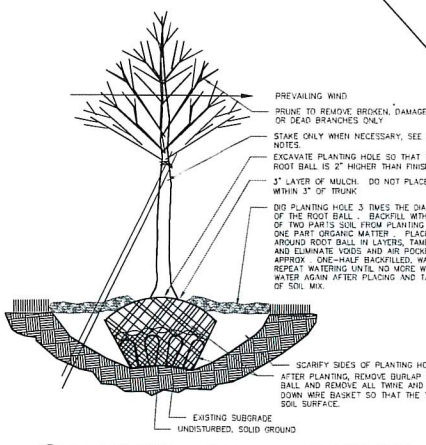
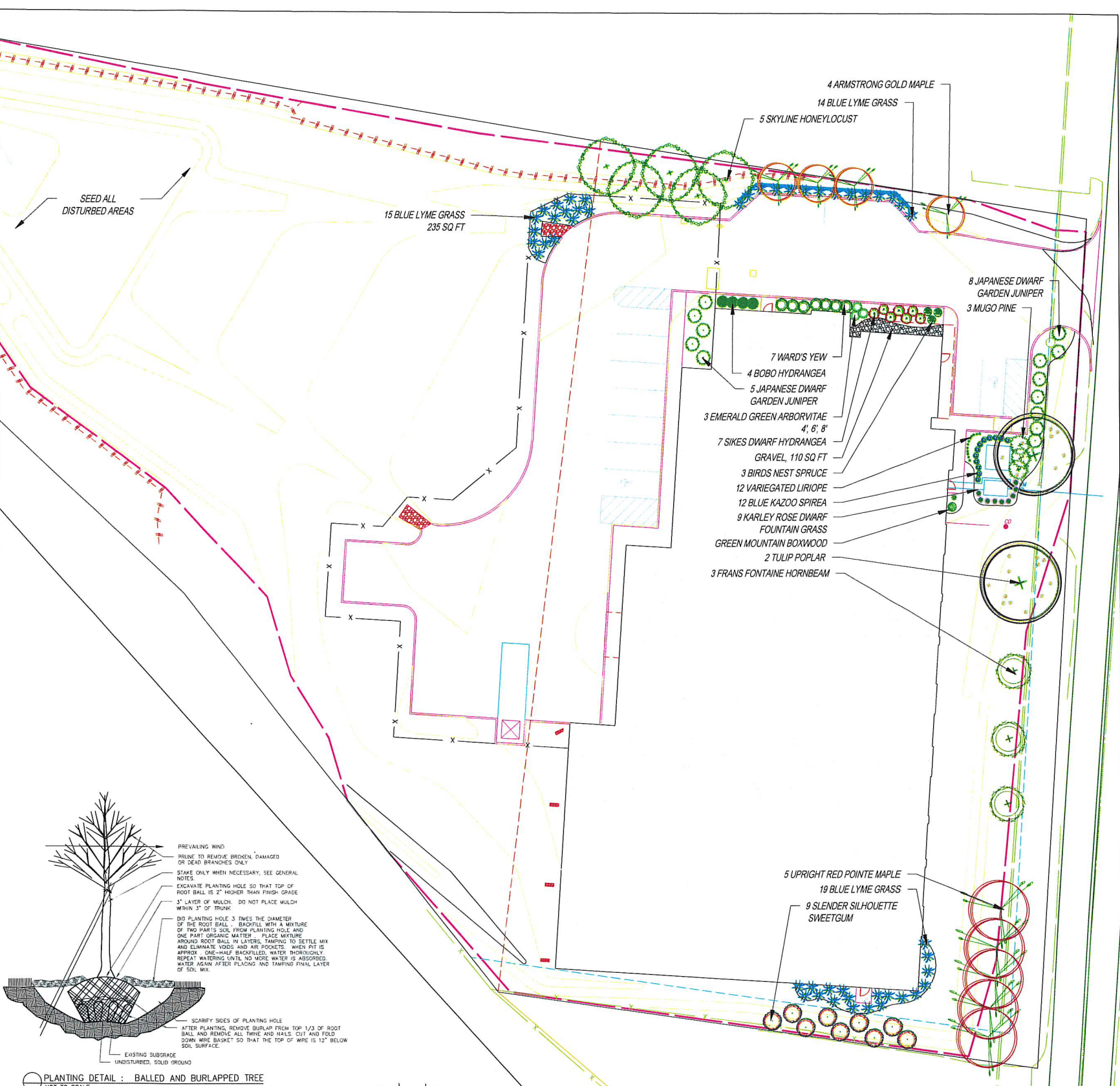
Type of Plants Normal Planting Dates

- Non-Container Crown, Deciduous October 1 to April 1
- Non-Container Crown, Other October 1 to May 1
- Non-Container Crown, Other October 1 to May 1
- Container Crown, All Year-Round, if suitable precautions are taken to protect the stock from extremes of moisture and temperatures, if there is a doubt, obtain a variance or a performance bond

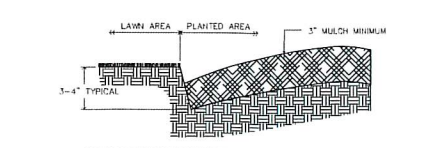
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OH OR KY DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND PROJECT MANAGEMENT SPECIFICATIONS". IN THE EVENT OF A CONFLICT THE MORE STRINGENT STANDARD SHALL APPLY.

CIRCLE STORAGE PLANT KEY			
QNT	SIZE	COMMON	LATIN
4	2 in	Armstrong Gold Maple	Acer rubrum 'Armstrong Gold'
5	2 in	Redpointe Red Maple	Acer rubrum 'Redpointe'
5	2 in	Skyline Honeylocust	Gleditsia triacanthos inermis 'Skyline'
9	2 in	Sweetgum slender silhouete	Liquidambar styraciflua 'Slender Silhouette'
2	2 in	Emerald City Tulip Tree	Liriodendron tulipifera 'Emerald City'
3	2 in	Frans Fontaine Columnaris Hornbeam	Carpinus betulus 'Frans Fontaine'
4	3 gal	Bobo Panicle Hydrangea	Hydrangea paniculata 'Bobo'
7	3 gal	Sikes Dwarf Hydrangea	Hydrangea serricata 'Sikes Dwarf'
12	3 gal	Blue Kazoo Spirea	Spiraea media Double Play 'Blue Kazoo'
1	36 in	Green Mountain Boxwood	Buxus x 'Green Mountain'
13	2 gal	Dwarf Japanese Garden Juniper	Juniperus procumbens Nana
3	3 gal	Bird's Nest Spruce	Picea abies 'Nidiformis'
3	3 gal	Mugo Pine	Pinus mugo var. 'Mugo'
7	18-24 in	Ward's Angled Yaw	Taxus x media 'Ward'
1	4-5'	Emerald Green Arborvitae	Thuja occidentalis 'Emerald'
2	6'	Emerald Green Arborvitae	Thuja occidentalis 'Emerald'
48	2 gal	Blue Lyme Grass	Leymus arenarius
9	2 gal	Karley Rose Fountain Grass	Pennisetum orientale 'Karley Rose'
12	1 gal	Variegated Lily Turf	Liriope muscari 'Variegata'

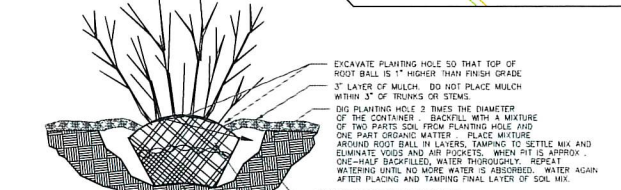
- *NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION IN TRENCHES OR PITS.
- *NOTIFY LANDSCAPE ARCHITECT IF A LIGHT FIXTURE OR OTHER UTILITY HAS BEEN BUILT WITHIN 10' OF PROPOSED TREE.
- *ALL PLANTS ARE TO BE FERTILIZED WITH A SLOW-RELEASE FERTILIZER PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *REFER TO TYPICAL PLANTING DETAILS FOR PLANT INSTALLATION.
- *IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE A TREE, BUT IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ASSURE PLANTS REMAIN IN AN UPRIGHT POSITION UNTIL THE END OF THE WARRANTY PERIOD.
- *ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS ARE TO BE MULCHED AT A DEPTH OF 3". APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *FOR ALL PLANT MATERIALS, PRUNE TO REMOVE DEAD OR INJURED BRANCHES ONLY, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.
- *IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
 - KEEP ADJACENT PAVINGS AND CONSTRUCTION CLEAN, AND MAINTAIN WORK AREA IN AN ORDERLY CONDITION, FOR DURATION OF PROJECT.
 - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS, TREAT, REPAIR, OR REPLACE DAMAGED EXTERIOR PLANTING.
 - REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- *CONTRACTOR SHALL PROVIDE OWNER WITH A WRITTEN WARRANTY FOR LABOR AND MATERIALS.
- *CONTRACTOR SHALL WARRANT EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- *WARRANTY SHALL INCLUDE SPECIFIC WARRANTY PERIODS FOR TREES AND SHRUBS, SEED INSTALLATION, GROUND COVERS, AND OTHER EXTERIOR PLANTS.
- *SERVICES PROVIDED BY WARRANTY SHALL INCLUDE:
 - MAINTAINING UPRIGHT POSITION OF EXTERIOR PLANTINGS DURING WARRANTY PERIOD.
 - IMMEDIATE REMOVAL OF DEAD EXTERIOR PLANTS AND IMMEDIATE REPLACEMENT, UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.
 - REPLACEMENT OF EXTERIOR PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
- *WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.
- *TILL AREA TO BE SEED TO A DEPTH OF 4". RAKE TILLED AREA TO REMOVE DEBRIS 1" OR LARGER IN SIZE THAT HAS BEEN BROUGHT TO THE SURFACE DURING TILLING.
- *SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURER'S WRITTEN RECOMMENDED RATE.
- *RAKE SEED LIGHTLY INTO TOP OF TOPSOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
- *PROTECT SEEDING AREAS WITH SLOPES EXCEEDING 1:6 AND/OR SWALES/AREAS OF HIGHER WATER FLOW WITH EROSION-CONTROL FIBER MESH INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- *SEED CONTRACTOR SHALL IDENTIFY THESE POTENTIAL AREAS OF EROSION AND PROVIDE MEANS TO MITIGATE SUCH.
- *PROTECT ALL OTHER SEEDING AREAS BY SPREADING STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1-1/2" IN LOOSE DEPTH OVER.
- *SEED INSPECTION SHALL BE PERFORMED TO WARRANT A 90% GERMINATION, YIELDING 80% OPACITY WITHIN 90 DAYS OR INSTALLATION.
- *SEED ONLY AS THE WEATHER AND TEMPERATURE ALLOWS FOR SUCCESS.



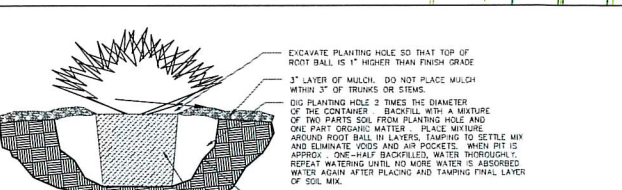
PLANTING DETAIL : BALLED AND BURLAPPED TREE NOT TO SCALE



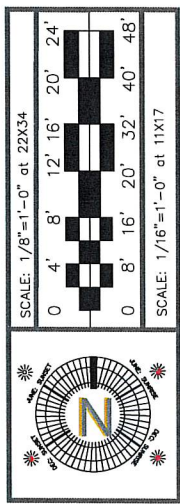
PLANTING DETAIL : BED EDGE NOT TO SCALE



PLANTING DETAIL : BALLED AND BURLAPPED SHRUB NOT TO SCALE

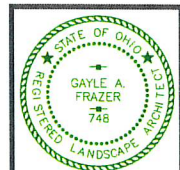


PLANTING DETAIL : CONTAINERIZED PLANTS NOT TO SCALE



GAYLE A. FRAZER
 REGISTERED LANDSCAPE ARCHITECT

CIRCLE STORAGE
 11573 DEERFIELD ROAD
 SYCAMORE TOWNSHIP, BLUE ASH, OHIO
 CASE NUMBER 2021-16M1



ZONING COMPLIANCE PLAN

SCALE AT 22X34
 1/8"=1'-0"
 SCALE AT 11X17
 1/16"=1'-0"
 12/2/2021

REVISIONS:
 SHEET
 7 OF 10



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Circle Self Storage
 11573 Deerfield Rd.
 Cincinnati, Ohio 45242



ISSUE: FOR CONSTRUCTION REVISIONS:

PROJECT NUMBER: 202125
 DATE: 11-19-21

SHEET NUMBER:

A1.1



1 FIRST FLOOR PLAN
 SCALE: 1/8"=1'-0"
 NET SF: 17,971
 GROSS SF: 22,881

MARK	PLAN	DESCRIPTION
◆	---	1 HR RATED 8" CMU FIRE BARRIER
◆	---	4" FULL HGT STUD PARTITION
◆	---	6" FULL HGT STUD PARTITION
◆	---	4" STUD SOUND PARTITION
◆	---	6" STUD SOUND PARTITION
◆	---	MTL STORAGE UNIT PARTITION
◆	---	MTL STORAGE UNIT PARTITION
◆	---	FULL HGT 4" STUD PARTITION - DISPLAY
◆	---	FULL HGT 1 HR RATED BRG WALL

ZONING COMPLIANCE PLAN
 CIRCLE STORAGE
 CASE #2021-16M1
 FIRST FLOOR PLAN
 SHEET 9a OF 10



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Circle Self Storage
 11573 Deerfield Rd.
 Cincinnati, Ohio 45242

STANFORD ARCHITECTURE, INC.
 CANTONVILLE OGA BLDG
 267 S. DEERFIELD STREET
 STAMFORD, OHIO 43084



ISSUE FOR CONSTRUCTION
 REVISIONS:

PROJECT NUMBER
 202125
 DATE
 11-19-21

SHEET NUMBER

A1.3



THIRD FLOOR PLAN
 SCALE: 1/8"=1'-0"
 NET SF: 17,000
 GROSS SF: 22,981

MARK	PLAN	DESCRIPTION
◆	---	1 HR RATED 6" CMU FIRE BARRIER
◆	---	4" FULL HGT STUD PARTITION
◆	---	6" FULL HGT STUD PARTITION
◆	---	4" STUD BOND PARTITION
◆	---	6" STUD BOND PARTITION
◆	---	MTL STORAGE UNIT PARTITION
◆	---	MTL STORAGE UNIT PARTITION
◆	---	FULL HGT 4" STUD PARTITION - DISPLAY
◆	---	FULL HGT 1 HR RATED BRG WALL

ZONING COMPLIANCE PLAN
 CIRCLE STORAGE
 CASE #2021-16MI
 THIRD FLOOR PLAN
 SHEET 9c OF 10

