

**SYCAMORE TOWNSHIP, OH**  
 DEPARTMENT OF PLANNING & ZONING  
 8540 KENWOOD ROAD, CINCINNATI, OH 45236

513.792.7250 PHONE      513.792.8564 FAX

**ZONING COMMISSION APPLICATION**

**FEES:**

ZONE CHANGE	\$1,000	MINOR ADJUSTMENT TO A PUD	\$200
PUD I	\$1,000	MAJOR ADJUSTMENT TO A PUD	\$1,000
PUD II	\$1,200	MINOR ADJUSTMENT TO LASR	\$200
LASR	\$1,000	MAJOR ADJUSTMENT TO LASR	\$1,000

THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN

**APPLICATION NUMBER**

2022-12P1

DO NOT WRITE IN THIS SPACE

1. PROJECT ADDRESS: 7251 E. Kemper Rd Sycamore Township ZIP CODE: 45249

2. NAME	STREET ADDRESS	CITY	ST	ZIP	PHONE NUMBER
OWNER <u>ALRE Property Holdings, LP</u>	<u>11405 Gramms Rd</u>	<u>Blue Ash</u>	<u>OH</u>	<u>45242</u>	<u>513 985-0500</u>
CONTRACTOR <u>CARRERA Construction</u>	<u>2409 Spring Grove Ave</u>	<u>Cin</u>	<u>OH</u>	<u>45214</u>	<u>513 929-9800</u>
DESIGNER <u>Abecrombie</u>	<u>8111 CHEVIE RD</u>	<u>CIN</u>	<u>OH</u>	<u>45247</u>	<u>513 385-5757</u>
APPLICANT <u>Ben Bransick</u>	<u>2409 Spring Grove</u>	<u>CIN</u>	<u>OH</u>	<u>45214</u>	<u>513 929-9800</u>
APPLICANTS E-MAIL ADDRESS	<u>bransick@CARRERAbuilds.com</u>				

3. ZONING COMMISSION ACTION REQUESTED:

- ZONE CHANGE  FROM ZONE \_\_\_\_\_ TO ZONE \_\_\_\_\_
- PUD I  PUD II  LASR
- MAJOR ADJUSTMENT TO A PUD  MINOR ADJUSTMENT TO A PUD
- MAJOR ADJUSTMENT TO A LASR  MINOR ADJUSTMENT TO A LASR

4. STATE IN DETAIL ALL EXISTING & PROPOSED USES OF THIS BUILDING OR PREMISES:

THE existing building is mixed use, office & manufacturing. THE proposed addition (approx 864 SF) will be used for storage only.

5. SQUARE FEET: 864 6. USE: STORAGE 7. HEIGHT: 16'

8. EST. START DATE: 10/1/22 9. EST. FINISH DATE: 12/8/22 10. # OF SIGNS: 0

THE DEPARTMENT OF PLANNING & ZONING IS DEDICATED TO THE CONTINUING PROSPERITY OF SYCAMORE TOWNSHIP. WE PROMOTE HIGH STANDARDS FOR DEVELOPMENT AND QUALITY PROJECTS. WE LOOK FORWARD TO SERVING OUR CITIZENS AND BUSINESS COMMUNITY TO MAKE SYCAMORE TOWNSHIP THE BEST IT CAN BE.

The owner of this project and undersigned do hereby certify that all of the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct. The applicant and owner of the real property agree to grant Sycamore Township access to the property for review and inspection related to this Zoning Commission application.

**NOTE: FILING THIS APPLICATION DOES NOT CONSTITUTE PERMISSION TO BEGIN WORK.**

[Signature] 6/28/22  
 APPLICANT'S SIGNATURE DATE

[Signature] 6/28/22  
 PROPERTY OWNER'S SIGNATURE DATE  
owners Rep

June 28, 2022

To: Sycamore Township Planning & Zoning  
8540 Kenwood RD  
Sycamore Township, OH 45236  
Attn: Skylor Miller

Project: ARKU  
7251 E Kemper Rd  
Sycamore Township, OH 45249

Applicant: Carrera Construction  
2409 Spring Grove Ave  
Cincinnati, OH 45249  
Attn: Ben Ransick  
[bransick@carrerabuilds.com](mailto:bransick@carrerabuilds.com)

Civil Engineer: Abercrombie & Associates  
8111 Cheviot Rd  
Cincinnati, OH 45247  
Attn: Craig Abercrombie

Owner: ALRE Property Holding, LP  
11405 Grooms Rd  
Cincinnati, OH 45242  
Attn: Nicholas Miller

Dear Skylor,

Please accept this letter as acknowledgement of our letter of intent to proceed with a PUD-1 for the property located at 7251 E Kemper Rd the current property is presently zoned "F" light industrial district zoning designation.

- A. The project entails the following changes to the property.
  - a. (1) 864 sf single story, slab on grade addition for material storage purposes.
  - b. The proposed structure will match the existing exterior, including CMU, OH doors, and membrane roof
  - c. The existing parking lot will be extended into the proposed storage area, eliminating five parking stalls
  - d. A 6' sidewalk will be extended down the side of the proposed storage area.
  
- B. The proposed use is storage of steel coils.



- C. The property is zoned "F" light industrial district, like the surrounding land uses in Sycamore Township
- D. The reason for the proposed addition is to create additional on-site storage so off-site storage will not be required. Trucking the materials back and forth has created inefficiencies and added costs to Arku's process.
- E. There will be no added strain to the existing utilities
- F. This request only slightly differs from a previously approved request that was not moved upon.
- G. The applicant is asking for the following variance:
  - a. Variance in the ISR of .50 to be increased to .61

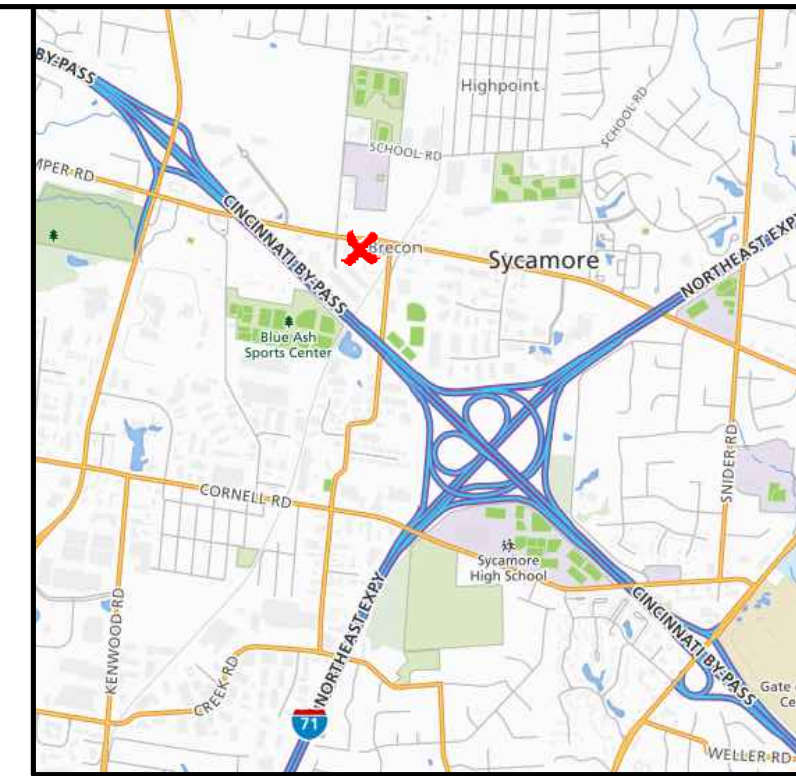
With this letter of intent please schedule us for the July, 2022 Zoning Commission Meeting As required for the first step in the process for a major adjustment to an existing PUD. if you have any questions or clarifications feel free to contact me at any time.

Best Regards,

Ben Ransick

# ARKU, INC. BUILDING ADDITION

## SYCAMORE TOWNSHIP HAMILTON COUNTY, OHIO



VICINITY MAP

**ZONING SUMMARY**  
 ZONING DISTRICT : T\* LIGHT INDUSTRIAL  
 PROPOSED USE: STORAGE GARAGE  
 FLOOR AREA = 1,664 SQ. FT. GROSS  
 IMPERVIOUS SURFACE RATIO  
 TOTAL SITE AREA= 70,859.98 SQ. FT.  
 TOTAL IMPERVIOUS AREA = 42,795 SQ. FT.  
 42,795 SQ. FT./70,859.98 SQ. FT. = 0.61 (61%)  
 MIN. FRONT YARD SETBACK = 40'  
 MIN. SIDE YARD SETBACK = 0'  
 MIN. REAR YARD SETBACK = 10'

ZONING MAP NOTE:  
 ALL VISIBLE PROPERTIES ARE  
 ZONED T\* LIGHT INDUSTRIAL

**LEGEND**

	Ex. Gas Meter
	Ex. Storm Sewer Manhole
	Ex. Catch Basin

EXISTING UNDERGROUND UTILITIES REPRESENTED ON THIS DRAWING ARE APPROXIMATE LOCATION ONLY BASED ON FIELD OBSERVATIONS AND AVAILABLE RECORDS. CONTACT THE LOCAL UTILITY PROTECTION SERVICES AND AGENCIES PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DESIGN.

**GENERAL CONSTRUCTION NOTES**

**OVERALL:**  
 APPROPRIATE UTILITY COMPANIES SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO BREAKING GROUND FOR THE PURPOSE OF VERIFYING BY FIELD INSPECTION, THE EXACT LOCATION OF UNDERGROUND UTILITIES.

THE CONTRACTOR SHALL EXERCISE DUE CARE DURING CONSTRUCTION SO AS NOT TO DESTROY ANY TREES, PLANTS, SHRUBS OR STRUCTURES OUTSIDE OF THE INDICATED WORK LIMITS AND THOSE NOT SPECIFICALLY MARKED FOR REMOVAL OR RELOCATION WITHIN THE WORK LIMITS.

ALL MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH "CONSTRUCTION AND MATERIAL SPECIFICATIONS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION."

UNLESS OTHERWISE NOTED ALL CONSTRUCTION DETAILS SHALL CONFORM WITH THE "STANDARD CONSTRUCTION DRAWINGS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION."

THE ENGINEER/SURVEYOR DOES NOT ASSUME ANY LIABILITY FOR THE LOCATION OF UTILITIES, INCLUDING INDIVIDUAL SERVICE LINES & PRIVATE MAINS NOT SHOWN ON PUBLIC RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXACTLY LOCATING AND PROTECTING ALL UTILITIES, BOTH ABOVE AND BELOW GROUND, THAT EXIST IN THE WORK AREA AND WHICH MAY COME IN CONFLICT WITH HIS OPERATIONS. ANY DAMAGE TO UTILITIES WHICH HAVE BEEN ACCURATELY LOCATED, WHICH IS CAUSED BY THE CONTRACTOR'S OPERATIONS, SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ASSISTANCE IN LOCATING UNDERGROUND UTILITIES CAN BE OBTAINED BY CONTACTING THE UTILITY COMPANIES AT THE LOCATIONS LISTED ON THIS PAGE. IF A DISCREPANCY IS FOUND TO EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

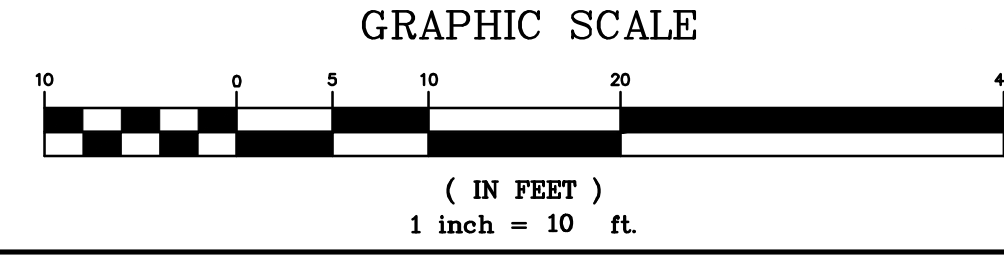
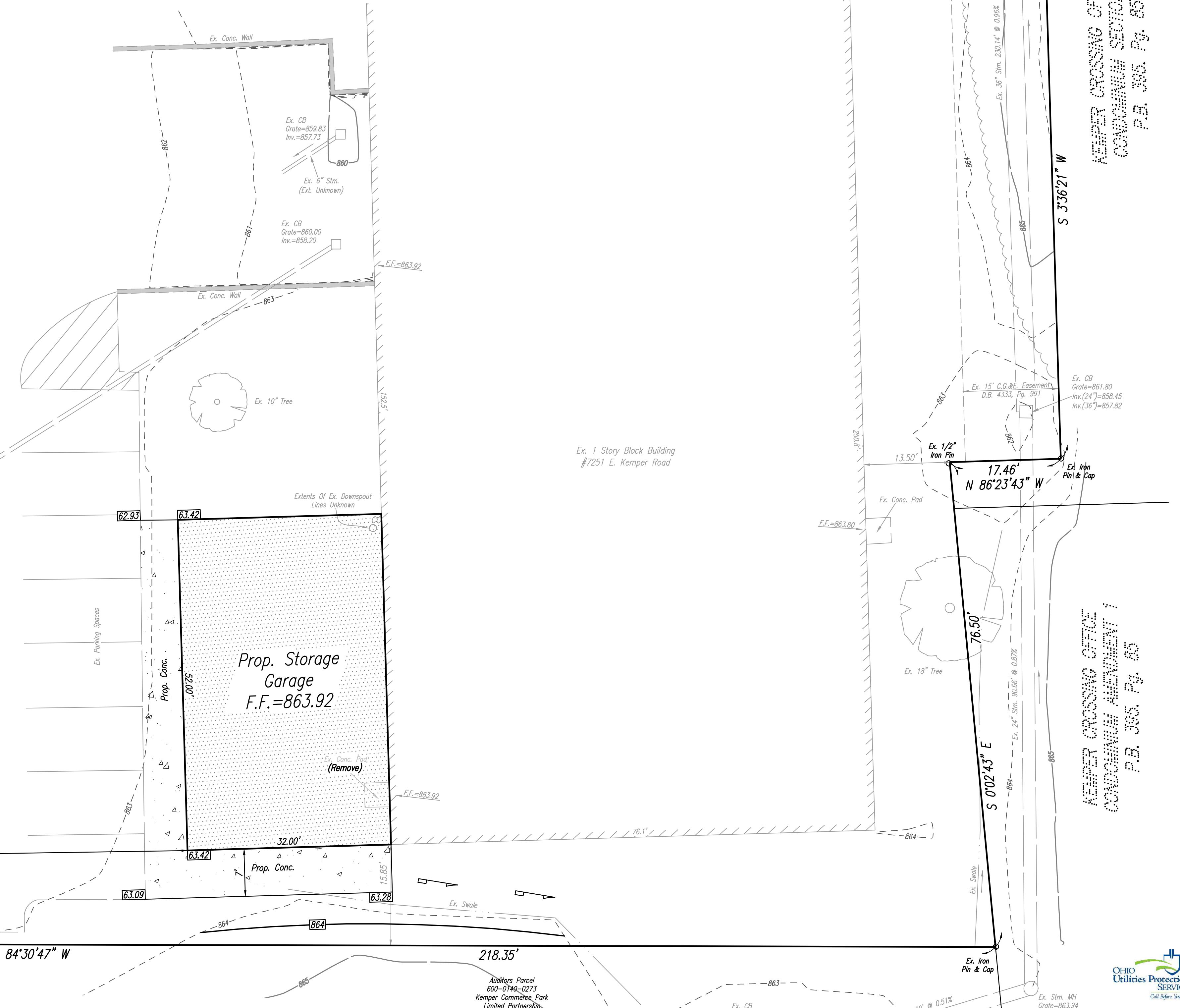
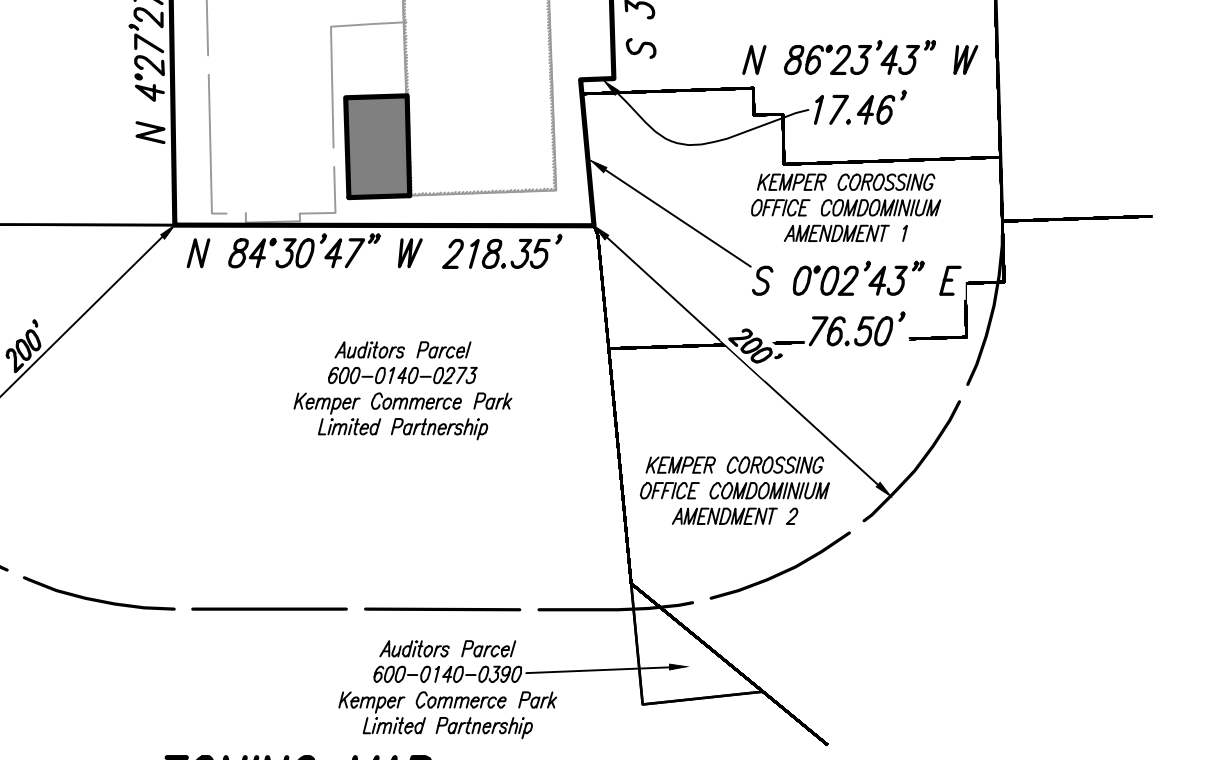
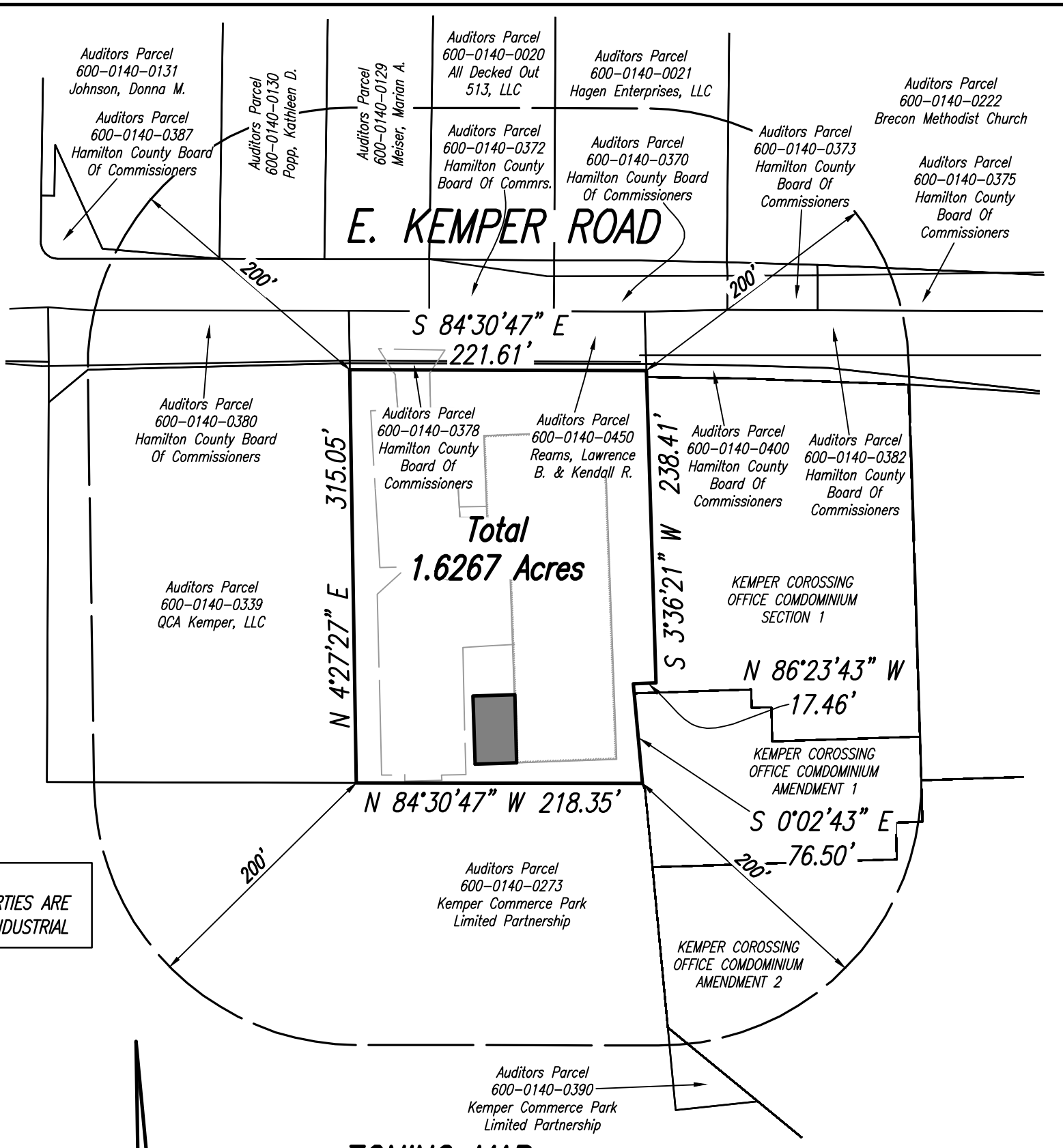
EACH INSTALLING CONTRACTOR IS RESPONSIBLE FOR THEIR OWN COORDINATION OF INSTALLATION OF THEIR SYSTEMS UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER, OR APPROPRIATE PARTY. ABERCROMBIE & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR CONTRACTOR MEANS & METHODS OF CONSTRUCTION ON DRAWINGS.

THE CONTRACTOR SHALL OBTAIN OR VERIFY THAT ALL PERMITS ARE OBTAINED.

THE CONTRACTOR SHALL VERIFY EXISTING SITE INFORMATION AND REQUIRED EARTHWORK.

ALL PROPOSED SPOT ELEVATIONS ARE TO FINISHED GRADE.

ZONING MAP  
 1" = 100'



**OWNER**  
 ALRE PROPERTY HOLDINGS, LP  
 7251 KEMPER ROAD  
 CINCINNATI, OHIO 45249



1-800-362-2764



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**ARKU, INC.**

Date	5-18-22	Drawn By	G.R.	Checked By	SPH
REVISIONS		Scale	AS SHOWN		
SHEET TITLE: <b>SITE PLAN</b> PROJECT TITLE: <b>SECTION-7, TOWN-3, E-RANGE-2                  SYCAMORE TOWNSHIP                  HAMILTON COUNTY, OHIO</b>					
Job No. <b>19-0156A</b>					

RENOVATIONS TO THE EXISTING FACILITY OF:

**ARKU**

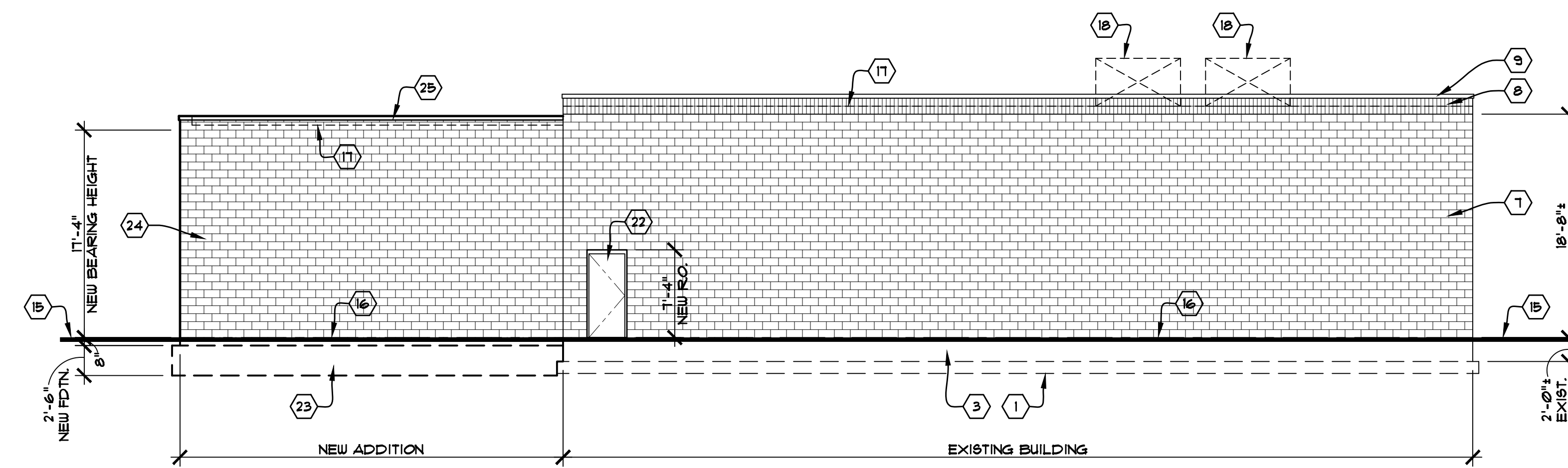
1251 EAST KEMPER ROAD  
SHARONVILLE, OHIO 45249  
HAMILTON COUNTY

CONTACT: NICHOLAS MILLER  
EMAIL: nicholasmiller@arku.com  
PHONE: 513-381-0590

**SHEET INDEX**

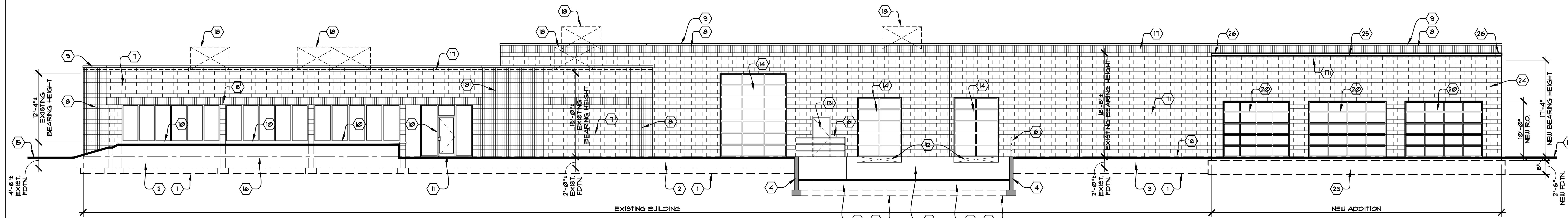
**NEW ELEVATION NOTES**

- 1 EXISTING CONCRETE FOUNDATION TO REMAIN (TYPICAL)
- 2 EXISTING CONCRETE FOUNDATION TO REMAIN
- 3 EXISTING CONCRETE MASONRY BLOCK FOUNDATION TO REMAIN
- 4 SHADED AREA DENOTES DESIGN SECTION THRU EXISTING CONCRETE RETAINING WALL TO REMAIN
- 5 EXISTING CEMENT FINISH ON EXISTING CONCRETE AND CONCRETE MASONRY BLOCK FOUNDATION TO REMAIN
- 6 EXISTING METAL GUARDRAIL ASSEMBLY TO REMAIN
- 7 EXISTING TEXTURED CONCRETE MASONRY BLOCK WALL ASSEMBLY TO REMAIN (TYPICAL)
- 8 EXISTING SPLIT-FACE CONCRETE MASONRY BLOCK WALL ASSEMBLY TO REMAIN (TYPICAL)
- 9 EXISTING PREPAINTED METAL PARAPET CAP TO REMAIN (TYPICAL)
- 10 EXISTING ALUMINUM STOREFRONT WINDOW ASSEMBLY TO REMAIN (TYPICAL)
- 11 EXISTING ALUMINUM STOREFRONT DOOR ASSEMBLY TO REMAIN
- 12 EXISTING LOADING DOCK BUMPER TO REMAIN
- 13 EXISTING METAL DOOR ASSEMBLY TO REMAIN
- 14 EXISTING OVERHEAD GARAGE DOOR ASSEMBLY TO REMAIN
- 15 APPROXIMATE LINE OF EXISTING/NEW GRADE
- 16 OUTLINE OF EXISTING/NEW FLOOR BEYOND (TYPICAL)
- 17 OUTLINE OF EXISTING/NEW WALL/ROOF BEYOND (TYPICAL)
- 18 OUTLINE OF EXISTING ROOFTOP HVAC UNIT BEYOND TO REMAIN
- 19 SHADED AREA DENOTES DESIGN SECTION THRU EXISTING BUILDING
- 20 NEW OVERHEAD GARAGE DOOR TO MATCH EXISTING ALUMINUM STOREFRONT COLOR W/ CLEAR TEMPERED INSULATED GLASS
- 21 NEW ALUMINUM STOREFRONT DOOR ASSEMBLY TO MATCH EXISTING ALUMINUM STOREFRONT COLOR W/ CLEAR TEMPERED INSULATED GLASS
- 22 NEW METAL INSULATED DOOR ASSEMBLY - PAINT TO MATCH BUILDING COLOR
- 23 NEW CONCRETE FOOTING (TYPICAL)
- 24 NEW SPLIT FACE CONCRETE MASONRY BLOCK WALL ASSEMBLY TO MATCH EXISTING SIZE AND TEXTURE - PAINT TO MATCH EXISTING WALL COLOR
- 25 NEW PREPAINTED ALUMINUM COPING W/ SLOPED TOP TO MATCH EXISTING PARAPET COLOR - #32 GAUGE MINIMUM
- 26 NEW PREPAINTED ALUMINUM STEP FLASHING/COUNTERFLASHING @ WALL/ROOF JUNCTURE TO MATCH EXISTING PARAPET COLOR (TYPICAL) - MINIMUM #32 GAUGE



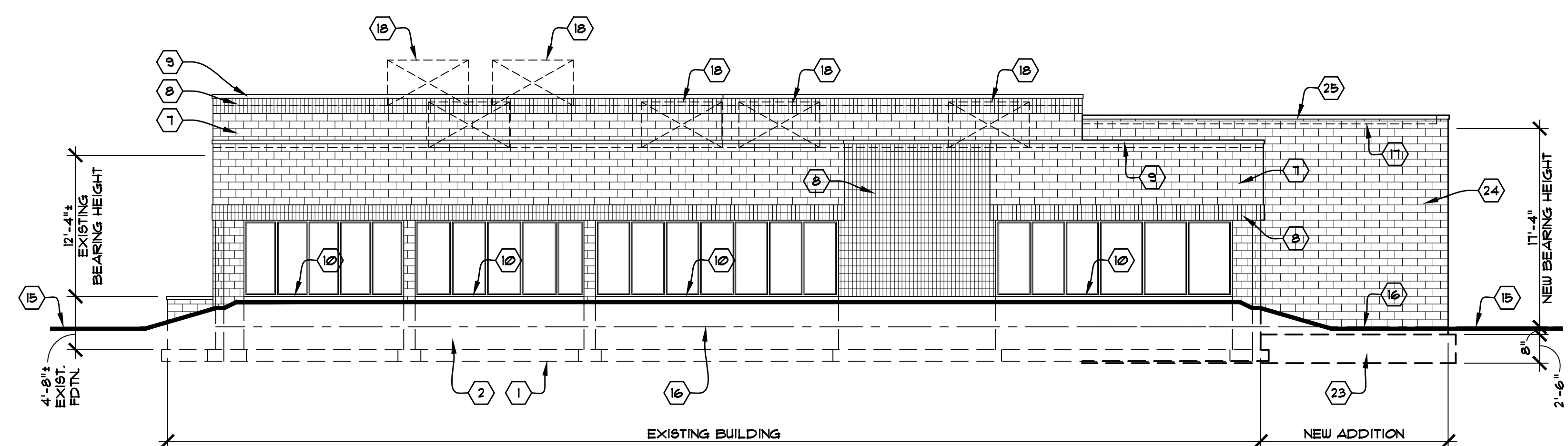
**NEW SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



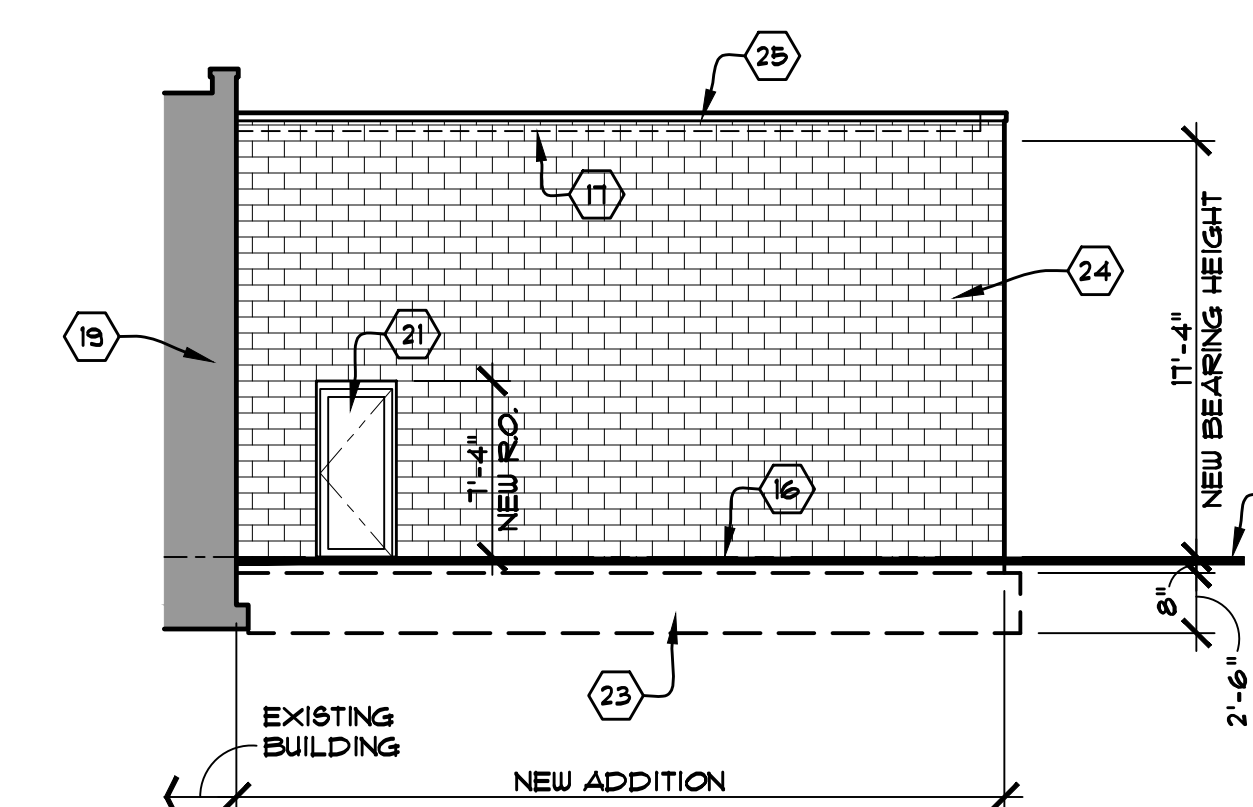
**NEW WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**NEW NORTH ELEVATION  
(EAST KEMPER ROAD)**

SCALE: 1/8" = 1'-0"



**NEW NORTH ELEVATION  
@ NEW ADDITION**

SCALE: 1/8" = 1'-0"

DATE: JULY 19, 2022

REVISIONS:


SCALE: 1/8" = 1'-0"

DRAWN BY: AMU  
CHECKED BY: MJD

NEW ELEVATIONS

**NOT FOR CONTRACT BIDDING OR BUILDING PERMITS OR CONSTRUCTION**

A1

RENOVATIONS TO THE EXISTING FACILITY OF:

**ARKU**

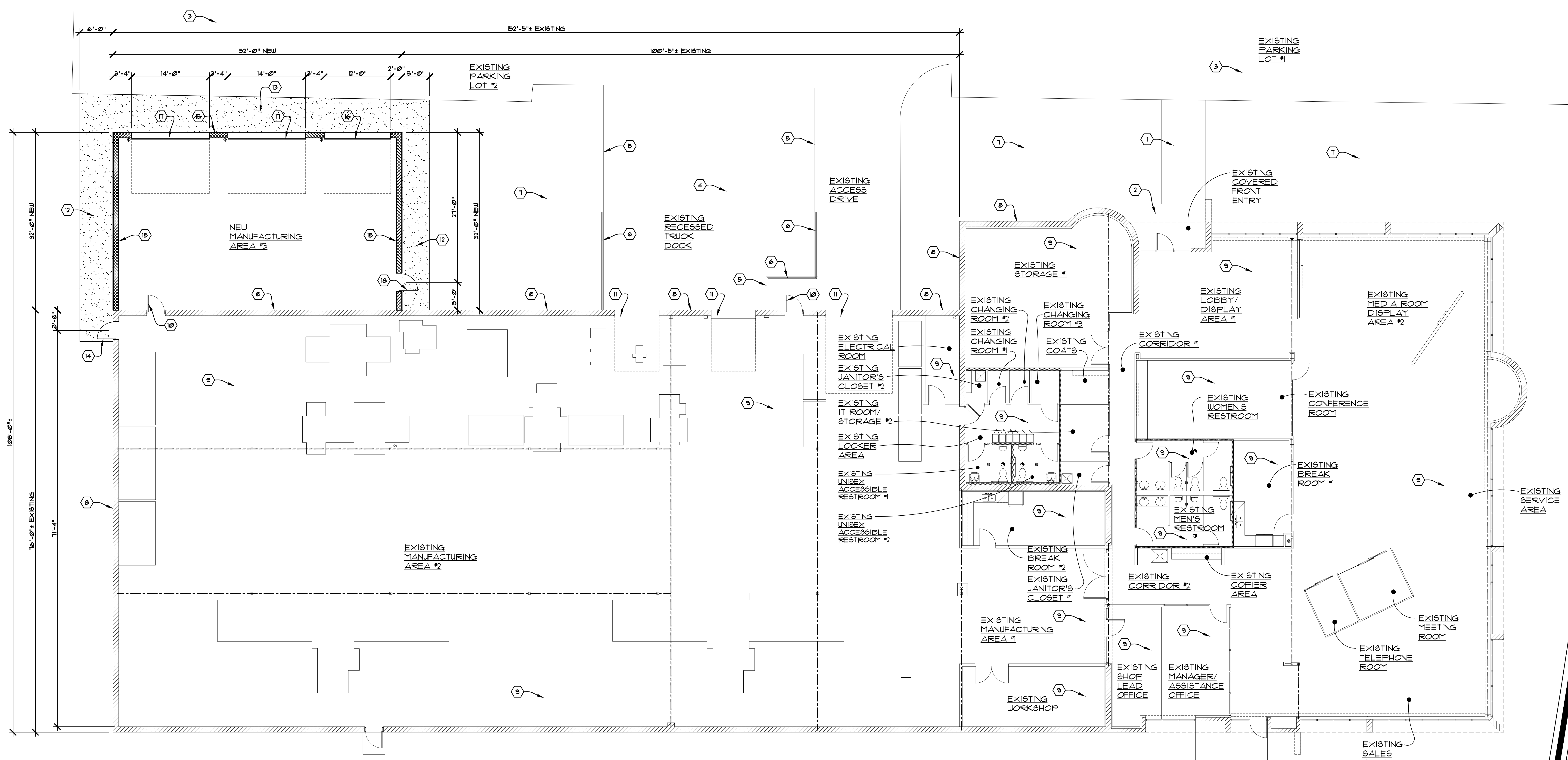
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HAMILTON COUNTY

CONTACT: NICHOLAS MILLER  
EMAIL: nicholasmiller@arku.com  
PHONE: 513-381-0590

**SHEET INDEX**

**NEW FIRST FLOOR PLAN NOTES**

- 1 EXISTING CONCRETE SIDEWALK TO REMAIN
- 2 EXISTING CONCRETE LANDING TO REMAIN
- 3 EXISTING CONCRETE PARKING LOT TO REMAIN
- 4 EXISTING CONCRETE DRIVEWAY TO REMAIN
- 5 EXISTING CONCRETE RETAINING WALL ASSEMBLY TO REMAIN
- 6 EXISTING METAL GUARDRAIL ASSEMBLY TO REMAIN
- 7 EXISTING LANDSCAPING AREA TO REMAIN
- 8 EXISTING SPLIT-FACE OR TEXTURED CONCRETE MASONRY BLOCK WALL ASSEMBLY TO REMAIN (TYPICAL)
- 9 NO WORK IN THIS AREA UNLESS NOTED OTHERWISE
- 10 EXISTING METAL DOOR ASSEMBLY TO REMAIN
- 11 EXISTING OVERHEAD GARAGE DOOR ASSEMBLY TO REMAIN
- 12 NEW CONCRETE SIDEWALK
- 13 NEW CONCRETE DRIVEWAY
- 14 NEW METAL DOOR ASSEMBLY TO MATCH EXISTING - PAINT TO MATCH EXISTING WALL COLOR
- 15 NEW SPLIT FACE CONCRETE MASONRY BLOCK WALL ASSEMBLY TO MATCH EXISTING SIZE AND TEXTURE - PAINT TO MATCH EXISTING WALL COLOR
- 16 NEW 12' WIDE x 10'-0" HIGH OVERHEAD GARAGE DOOR TO MATCH EXISTING ALUMINUM STOREFRONT COLOR W/ CLEAR TEMPERED INSULATED GLASS
- 17 NEW 14' WIDE x 10'-0" HIGH OVERHEAD GARAGE DOOR TO MATCH EXISTING ALUMINUM STOREFRONT COLOR W/ CLEAR TEMPERED INSULATED GLASS
- 18 NEW 3'-0" WIDE x 7'-0" HIGH ALUMINUM STOREFRONT DOOR ASSEMBLY TO MATCH EXISTING ALUMINUM STOREFRONT COLOR W/ CLEAR TEMPERED INSULATED GLASS



**NEW FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"

DATE: JULY 19, 2022

REVISIONS:


SCALE: 1/8" = 1'-0"

DRAWN BY: AMU  
CHECKED BY: MJD

NEW FIRST FLOOR PLAN

**NOT FOR CONTRACT BIDDING OR BUILDING PERMITS OR CONSTRUCTION**

A2